



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Large Project Authorization & Shadow Findings

HEARING DATE: OCTOBER 5, 2017
CONTINUED FROM: MAY 18, 2017 AND JULY 27, 2017

Date: September 28, 2017
Case No.: 2013.0977SHD
Project Address: 980 FOLSOM STREET
Project Zoning: MUR (Mixed Use-Residential) Zoning District
SoMa Youth and Family Special Use District
85-X/45-X Height and Bulk District
Block/Lot: 3732/028, 035 & 152
Project Sponsor: John Goldman
Goldman Architecture
172 Russ Street
San Francisco, CA 94103
Staff Contact: Ella Samonsky – (415) 575-9112
ella.samonsky@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The proposed project includes demolition of the existing single-story automotive paint and repair shop (measuring approximately 2,560 gross square feet) and construction of an eight-story (85-foot tall) mixed-use residential building (measuring approximately 36,340 gross square feet) with up to 33 dwelling units, approximately 951 square feet of ground floor commercial space, 14 off-street vehicular parking spaces, 34 Class 1 bicycle parking spaces and 4 Class 2 bicycle parking spaces. The proposed project includes approximately 3,426 square feet of common open space and 1334 square feet of private open space via a second floor courtyard and roof decks.

SITE DESCRIPTION AND PRESENT USE

The project site is located at the west side of Folsom Street, between 5th and 6th Streets, and is comprised of three lots (Lots 028, 035 and 152 on Block 3732) that connect through to Clementina Street. The Project site has approximately 6,863 square feet of lot area, with approximately 64-foot of frontage along Folsom Street and 21-foot of frontage along Clementina Street. Currently, the subject property is occupied by a single-story automotive paint and repair shop (measuring approximately 7,530 gross square feet) constructed in 1986.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the MUR Zoning District in the East SoMa Area Plan. The surrounding neighborhood is a mix of low rise industrial and commercial building, offices and residential building, with recently constructed mixed use buildings of four to nine stories. Immediately to the north is a one-story automotive body shop, while to the south is a three story industrial building, and three-story residential and commercial buildings abut the site along Clementina Street. To the east, across Folsom Street, is a mix of one to three-story commercial and residential buildings and the corner lot at 6th Street is proposed for a mixed use development with 84 dwelling units (See Case No. 2013.0538ENX– 301 6th Street). The project site is in proximity to Gene Friend Recreation Center and Victoria Manolo Davies Park, which are properties owned and managed by the San Francisco Recreation and Parks Commission. Other zoning districts in the vicinity of the project site include: MUG (Mixed Use-General), P (Public), and SoMa NCT (SoMa Neighborhood Commercial Transit).

ENVIRONMENTAL REVIEW

Pursuant to the Guidelines of the State Secretary of Resources for the implementation of the California Environmental Quality Act (CEQA), on July 14, 2017, the Planning Department of the City and County of San Francisco determined that the proposed application was exempt from further environmental review under Section 15183 of the CEQA Guidelines and California Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Area Plan Final EIR. Since the Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	September 15, 2017	September 13, 2017	22 days
Posted Notice	20 days	September 15, 2017	September 15, 2017	20 days
Mailed Notice	20 days	September 15, 2017	September 15 2017	20 days

The proposal requires a Section 312 Neighborhood notification, which was conducted in conjunction with the required hearing notification for the Large Project Authorization.

PUBLIC COMMENT

As of September 28, 2017, the Planning Department has received correspondence from three residents expressing concern for the effect of the project on light to the adjacent properties and that the amount of on-site parking may be insufficient for the proposed dwelling units. The Department has received correspondence from three residents in support of the project, and the addition of new residences and commercial space to the neighborhood. The Alliance for a Better District 6 and its Land Use / Planning

Chair expressed general concerns of the cumulative effects of loss of the automotive repair, service, gas stations and car washes in the Eastern Neighborhood Plan area, and the addition of vehicle parking spaces, on jobs and economic vitality of the community, but found the Project overall supportable.

ISSUES AND OTHER CONSIDERATIONS

- Large Project Authorization Exceptions: As part of the Large Project Authorization (LPA), the Commission may grant exceptions from certain Planning Code requirements for projects that exhibit outstanding overall design and are complementary to the design and values of the surrounding area. The proposed project requests exceptions from the Planning Code requirements for: 1) rear yard (Planning Code Section 134); 2) dwelling unit exposure (Planning Code Section 140); 3) street frontage (Planning Code Section 145.1); 4) and off-street parking (Planning Code Section 151.1). Department staff is generally in agreement with the proposed modifications given the project's overall massing and design.
- Shadow: Per Planning Code Section 295, the Commission must grant authorization to new construction projects that will cast shade or shadow upon any property under the jurisdiction of the Recreation and Park Commission. On October 5, 2017, the Planning Commission and Recreation and Parks Commission will host a joint hearing to consider the shadow impacts upon Gene Friend Recreation Center. The Project will cast new shadow upon Gene Friend Recreation Center. Since Gene Friend Recreation Center possesses a shadow budget, the two Commissions must take joint action to increase the shadow budget of the center, and also adopt a motion that the additional shadow caused by the Project would not be adverse to the use of Gene Friend Recreation Center.
- Entertainment Commission: In compliance with Ordinance No. 70-15, the Project Sponsor reviewed the Project at the Entertainment Commission on May 2, 2017. The Entertainment Commission's recommendations are included as a condition of approval.
- Inclusionary Affordable Housing: The Project has elected the on-site ownership affordable housing alternative, identified in Planning Code Section 415.6. The project site is located within the MUR Zoning District, which requires 13.5% of the total number of units to be designated as part of the inclusionary affordable housing program, since the project filed an Environmental Evaluation Application on September 3, 2014. The Project contains 33 dwelling units and the Project Sponsor will fulfill this requirement by providing 4 affordable units on-site, which will be available for sale.
- Transportation Demand Management (TDM): In compliance with Planning Code Section 169 and the Project submitted a Transportation Demand Management Plan to achieve a target of 6 points through measures including but not limited to parking supply, unbundled parking, and bicycle parking.
- Central SoMa Area Plan: The Project Site is located within the Central SoMa Area Plan. Under the draft Central SoMa Area Plan the Project Site would be rezoned to Mixed-Use General (MUG) Zoning District, which similarly permits the residential and retail uses proposed by the Project. The 85-X and 45-X Height and Bulk Districts would remain unchanged.
- Prop X/PDR Replacement: The Project includes the removal of approximately 2,560 square feet of Production, Distribution & Repair (PDR) use. Under Planning Code Section 202.8 (also known as Proposition X), the Project is not subject to the requirement for the replacement of

PDR use because Planning Code Section 202.8 does not apply to conversion of less than 5,000 square feet of PDR use.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant a Large Project Authorization pursuant to Planning Code Section 329 to allow the demolition of the existing automotive paint and repair shop and the new construction of an eight-story (85-foot tall) mixed use building with 33 dwelling units and ground floor retail, and to allow exceptions to the Planning Code requirements for rear yard (Planning Code Section 134), dwelling unit exposure (Planning Code Section 140), street frontage (Planning Code Section 145.1), and off-street parking (Planning Code Section 151.1).

BASIS FOR RECOMMENDATION

The Department believes this project is approvable for the following reasons:

- The Project is in general compliance with the applicable requirements of the Planning Code.
- The Project is, on balance, consistent with the Objectives and Policies of the General Plan.
- The Project is consistent with the intent of the Mixed Use—Residential District to develop high-density, mid-rise housing and expanded retail and commercial space.
- The Project exhibits overall quality design, which relates to the surrounding context and neighborhood, and provides an appropriate massing and scale for a through lot on a narrow street.
- The Project adds 33 new dwelling units to the City’s housing stock.
- The Project would create a pedestrian-oriented ground floor commercial frontage on Folsom Street and provide 951 square feet of floor commercial space.
- The Project’s shadow on the nearby Gene Friend Recreation Center would not be adverse to the use and enjoyment of the public park.
- The Project will fully utilize the Eastern Neighborhoods Area Plan controls, and will pay the appropriate development impact fees.

RECOMMENDATION: Approval with Conditions
--

Attachments:

Draft Motion-Large Project Authorization
Draft Resolution-Raise Shadow Budget of Gene Friend Recreation Center
Draft Motion-Shadow Findings
Shadow Analysis
Parcel Map
Sanborn Map
Zoning Map
Height and Bulk Map
Aerial Photograph

Executive Summary
Hearing Date: October 5, 2017

CASE NO. 2013.0977ENX/SHD
980 Folsom Street

Site Photos

Affidavit for Compliance with the Inclusionary Affordable Housing Program

Affidavit for First Source Hiring Program

Affidavit for Anti-Discriminatory Housing Policy

Certificate of Determination: Exemption from Environmental Review

Exhibit C: Mitigation Monitoring & Reporting Program

Community Plan Exemption Checklist

Architectural Drawings

Project Sponsor Brief

Attachment Checklist

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project Sponsor Submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. Review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| <input checked="" type="checkbox"/> Context Photos | <input checked="" type="checkbox"/> Inclusionary Affordable Housing Program:
Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

_____ ES
Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|---|--|
| <input checked="" type="checkbox"/> Affordable Housing (Sec. 415) | <input checked="" type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input checked="" type="checkbox"/> Child Care Requirement (Sec. 414A) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input checked="" type="checkbox"/> Other (EN Impact Fees, Sec 423; TSF, Sec 411A) |

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Motion No.

HEARING DATE: OCTOBER 5, 2017

Case No.: 2013.0977ENX
Project Address: 980 FOLSOM STREET
Project Zoning: MUR (Mixed Use-Residential) Zoning District
SoMa Youth and Family Special Use District
85-X/45-X Height and Bulk District
Block/Lot: 3732/028, 035 & 152
Project Sponsor: John Goldman
Goldman Architecture
172 Russ Street
San Francisco, CA 94103
Staff Contact: Ella Samonsky – (415) 575-9112
ella.samonsky@sfgov.org

ADOPTING FINDINGS RELATING TO A LARGE PROJECT AUTHORIZATION PURSUANT TO PLANNING CODE SECTION 329, TO ALLOW EXCEPTIONS TO 1) REAR YARD PURSUANT TO PLANNING CODE SECTION 134, 2) DWELLING UNIT EXPOSURE PURSUANT TO PLANNING CODE SECTION 140, 3) STREET FRONTAGE PURSUANT TO PLANNING CODE SECTION 145.1 AND, 4) OFF-STREET PARKING PURSUANT TO PLANNING CODE SECTION 151.1, FOR THE CONSTRUCTION OF A NEW EIGHT-STORY, 85-FOOT TALL, MIXED-USE BUILDING (MEASURING APPROXIMATELY 36,188 GROSS SQUARE FEET) WITH 33 DWELLING UNITS AND APPROXIMATELY 951 GROSS SQUARE FEET OF GROUND FLOOR COMMERCIAL SPACE, LOCATED AT 980 FOLSOM STREET, LOTS 028, 035 AND 152 IN ASSESSOR'S BLOCK 3732, WITHIN THE MUR (MIXED USE-RESIDENTIAL) ZONING DISTRICT, SOMA YOUTH AND FAMILY SPECIAL USE DISTRICT, AND A 45-X/85-X HEIGHT AND BULK DISTRICT AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On February 5, 2015, John Goldman (hereinafter "Project Sponsor") filed Application No. 2013.0977ENX (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Large Project Authorization to construct a new eight-story mixed use building with 33 dwelling units and 951 gross square feet of ground floor commercial space at 980 Folsom Street (Block 3732, Lot 028, 035 and 152) in San Francisco, California.

The environmental effects of the Project were determined by the San Francisco Planning Department to have been fully reviewed under the Eastern Neighborhoods Area Plan Environmental Impact Report (hereinafter "EIR"). The EIR was prepared, circulated for public review and comment, and, at a public hearing on August 7, 2008, by Motion No. 17661, certified by the Commission as complying with the California Environmental Quality Act (Cal. Pub. Res. Code Section 21000 et seq., (hereinafter "CEQA"). The Commission has reviewed the Final EIR, which has been available for this Commission's review as well as public review.

The Eastern Neighborhoods EIR is a Program EIR. Pursuant to CEQA Guideline 15168(c)(2), if the lead agency finds that no new effects could occur or no new mitigation measures would be required of a proposed project, the agency may approve the project as being within the scope of the project covered by the program EIR, and no additional or new environmental review is required. In approving the Eastern Neighborhoods Plan, the Commission adopted CEQA Findings in its Motion No. 17661 and hereby incorporates such Findings by reference.

Additionally, State CEQA Guidelines Section 15183 provides a streamlined environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an EIR was certified, except as might be necessary to examine whether there are project-specific effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that (a) are peculiar to the project or parcel on which the project would be located, (b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent, (c) are potentially significant off-site and cumulative impacts which were not discussed in the underlying EIR, or (d) are previously identified in the EIR, but which are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for that project solely on the basis of that impact.

On July 14, 2017, the Department determined that the proposed application did not require further environmental review under Section 15183 of the CEQA Guidelines and Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Final EIR. Since the Eastern Neighborhoods Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR. The file for this project, including the Eastern Neighborhoods Final EIR and the Community Plan Exemption certificate, is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California.

Planning Department staff prepared a Mitigation Monitoring and Reporting Program (MMRP) setting forth mitigation measures that were identified in the Eastern Neighborhoods Plan EIR that are applicable to the project. These mitigation measures are set forth in their entirety in the MMRP attached to the draft Motion as Exhibit C.

On October 5, 2017, the Planning Commission ("Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Large Project Authorization Application No. 2013.0977ENX.

The Planning Department Commission Secretary is the custodian of records; the file for Case No. 2013.0977ENX is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Large Project Authorization requested in Application No. 2013.0977ENX, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project site is located at the west side of Folsom Street, between 5th and 6th Streets, and is comprised of three lots (Lots 028, 035 and 152 on Block 3732) that connect through to Clementina Street. The Project site has approximately 6,863 square feet of lot area, with approximately 64-foot of frontage along Folsom Street and 21-foot of frontage along Clementina Street. Currently, the subject property is occupied by a single-story automotive paint and repair shop (measuring approximately 7,530 gross square feet) constructed in 1986.
3. **Surrounding Properties and Neighborhood.** The project site is located in the MUR Zoning District in the East SoMa Area Plan. The surrounding neighborhood is a mix of low rise industrial and commercial building, offices and residential building, with recently constructed mixed use buildings of four to nine stories. Immediately to the north is a one-story automotive body shop, while to the south is a three story industrial building, and three-story residential and commercial buildings abut the site along Clementina Street. To the east, across Folsom Street, is a mix of one to three-story commercial and residential buildings and the corner lot at 6th Street is proposed for a mixed use development with 84 dwelling units (See Case No. 2013.0538ENX- 301 6th Street). The project site is in proximity to Gene Friend Recreation Center and Victoria Manolo Davies Park, which are properties owned and managed by the San Francisco Recreation and Parks Commission. Other zoning districts in the vicinity of the project site include: MUG (Mixed Use-General), P (Public), and SoMa NCT (SoMa Neighborhood Commercial Transit).

4. **Project Description.** The proposed project includes demolition of the existing single-story automotive paint and repair shop and construction of an eight-story (85-feet tall) mixed-use residential building (measuring approximately 36,640 gross square feet) with up to 33 dwelling units, approximately 951 square feet of ground floor commercial space, 14 off-street vehicular parking spaces, 34 Class 1 bicycle parking spaces and 4 Class 2 bicycle parking spaces. The proposed project includes approximately 3,426 square feet of common open space and 1334 square feet of private open space via a second floor courtyard and roof decks.
5. **Public Comment.** As of September 28, 2017, the Planning Department has received correspondence from three residents expressing concern for the effect of the project on light to the adjacent properties and that the amount of on-site parking may be insufficient for the proposed dwelling units. The Department has received correspondence from three residents in support of the project, and the addition of new residences and commercial space to the neighborhood. The Alliance for a Better District 6 and its Land Use / Planning Chair expressed general concerns of the cumulative effects of loss of the automotive repair, service, gas stations and car washes in the Eastern Neighborhood Plan area, and the addition of vehicle parking spaces, on jobs and economic vitality of the community, but found the Project overall supportable.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Permitted Uses in MUR Zoning District.** Planning Code Sections 841.20 and 841.45 states that residential and retail uses are principally permitted use within the MUR Zoning District.

The Project would construct new residential and retail uses within the MUR Zoning District; therefore, the Project complies with Planning Code Sections 841.20 and 841.45.

- B. **Floor Area Ratio.** Planning Code Section 124 establishes a FAR (Floor Area Ratio) for non-residential uses of 3.0 to 1 for properties within the MUR Zoning District and an 45-X Height and Bulk District and 6.0 to 1 for properties within 85-X Height and Bulk District.

The Project site is 6,864 square feet. The Project would construct a total of 951 gross square feet of non-residential space, resulting in a FAR of 0.13, and would comply with Planning Code Section 124.

- C. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard equal to 25 percent of the total lot depth of the lot to be provided at every residential level. Therefore, the Project would have to provide a rear yard, which measures approximately 40 feet from the rear lot line.

The Project is seeking an exception to the rear yard requirement as part of the Large Project Authorization. The proposed building encroaches into the required rear yard at the second level and above along Clementina Street. The Project would provide a courtyard that is 40 in depth (measuring

approximately 1,033 square feet) at the second level and above. The courtyard would be the equivalent of the rearmost 25 percent of the three lots that comprise the Project site. However, this open area is not located adjacent to the rear property line (Clementina Street) as required by the Planning Code, though it does aligns with the mid-block open space on the subject block.

- D. **Useable Open Space.** Planning Code Section 135 requires a minimum of 80 square feet of open space per dwelling units, or a total of 2,640 square feet of open space for the 33 dwelling units.

The Project satisfies this requirement with a 541 square-foot courtyard at the second level and a 2,885 square-foot roof deck on top of the Folsom Street building for a total of 3,462 square feet of common open space. Additionally, six units have private open space totaling 1,334 square feet. This exceeds the open space requirement for a project containing 33 dwelling units.

- E. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street, code compliant rear yard or other open area that meets minimum area and horizontal dimensions. Planning Code Section requires that an open area be a minimum of 25 feet in every horizontal dimension and at the level of the dwelling unit and the floor above and then increase of five feet in every horizontal dimension at each subsequent floor above the fifth floor.

Under the Large Project Authorization, the Project is seeking an exception to the dwelling unit exposure requirements for the dwelling units at the 2nd through 8th floors that face onto the narrow portion of the courtyard, which does not meet the dimensional requirements of the Planning Code. Otherwise, all other dwelling units face onto a public street or a complaint portion of the courtyard.

- F. **Street Frontage in Mixed Use Districts.** Planning Code Section 145.1 requires that active uses are occupy the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street; that non-residential uses have a minimum floor-to-floor height of 14 feet; that off-street parking be set back a minimum of 25 from any street facing façade and screened from the public right-of-way; that entrances to off-street parking be no more than one third the width of the street frontage or 20 feet, whichever is less; and that frontages with active uses that are not residential or PDR be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level.

The Project is seeking an exception to the street frontage requirement on the Clementina Street frontage as part of the Large Project Authorization, since the proposed garage door width is more than one third the length of the street frontage. The Project meets the requirements of Planning Code Section 145.1 on the Folsom Street frontage; the Project features active uses on the ground floor with a 951 square feet commercial space and the residential lobby, and residences on the upper floors. The ground floor ceiling height for the commercial space, as well as the residential lobby, is 14 feet -3 inches, which meets the requirements for ground floor ceiling height. The ground floor parking is setback approximately 33 feet from the face of the building and screened by active uses. Finally, the Project features appropriate the ground level transparency and fenestration requirements. However,

on Clementina Street, the garage door opening is 9 feet-2 inches in width, and is greater than one third the length of the frontage.

- G. **Off-Street Parking.** Off-Street vehicular parking is not required within the MUR Zoning District. Rather, per Planning Code Section 151.1, off-street parking is principally permitted within the MUR Zoning District at a ratio of one car for each four dwelling units (0.25) or conditionally permitted at a ratio of three cars for each four dwelling units (0.75). For projects subject to Planning Code Section 329 which that requests residential accessory parking in excess of that which is principally permitted, but does not exceed the maximum permitted, shall be reviewed as a Large Project Authorization exception.

The project proposes 14 residential off-street parking spaces, which is equivalent to a parking ration of 0.42. Therefore, the Project exceeds the amount of principally permitted off-street parking specified in Planning Code Section 151.1. Therefore, the Project is seeking an exception to the off-street residential parking requirement as part of the Large Project Authorization.

- H. **Bicycle Parking.** Per Planning Code Section 155.2, one Class 1 bicycle parking space for each dwelling unit and one Class 2 bicycle parking space for each 20 dwelling units. For retail use below 7,500 sq ft, a minimum of two Class 2 bicycle parking spaces are required, as well as one Class 2 bicycle parking space for every 2,500 sq ft. of occupied floor area.

The Project includes 33 dwelling units and 951 square feet of retail use; therefore, the Project is required to provide 33 Class 1 bicycle parking spaces and 4 Class 2 bicycle parking spaces. The Project will provide 34 Class 1 bicycle parking spaces and 4 Class 2 bicycle parking spaces. Therefore, the Project complies with Planning Code Section 155.2.

- I. **Unbundled Parking.** Planning Code Section 167 requires that all off-street parking spaces accessory to residential uses in new structures of 10 dwelling units or more be leased or sold separately from the rental or purchase fees for dwelling units for the life of the dwelling units.

The Project is providing off-street parking that is accessory to the dwelling units. These spaces will be unbundled and sold and/or leased separately from the dwelling units.

- J. **Transportation Demand Management (TDM) Plan.** Pursuant to Planning Code Section 169 and the TDM Program Standards, the Project shall finalize a TDM Plan prior Planning Department approval of the first Building Permit or Site Permit. As currently proposed, the Project must achieve a target of 15 points.

The Project submitted a completed Environmental Evaluation Application prior to September 4, 2016. Therefore, the Project must only achieve 50% of the point target established in the TDM Program Standards, resulting in a required target of 6 points. As currently proposed, the Project will achieve its required 6 points through the following TDM measures:

1. *Unbundled Parking*
2. *Parking Supply*

3. *Bicycle Parking*

- K. **Dwelling Unit Mix.** Planning Code Section 207.6 requires that no less than 40 percent of the total number of proposed dwelling units contain at least two bedrooms, or no less than 30 percent of the total number of proposed dwelling units contain at least three bedrooms, or no less than 35 percent of the total number of proposed Dwelling Units shall contain at least two or three bedrooms with at least 10 percent of the total number of proposed Dwelling Units containing three bedrooms.

For the 33 dwelling units, the Project is required to provide either 13 two-bedroom units or 10 three-bedroom units or 12 two or three-bedroom units, with no less than 3 three-bedroom units. Currently, the Project provides 15 two bedrooms units; therefore, the proposed project complies with Planning Code Section 207.6.

- L. **Shadow.** Planning Code Section 295 restricts net new shadow, cast by structures exceeding a height of 40 feet, upon property under the jurisdiction of the Recreation and Park Commission. Any project in excess of 40 feet in height and found to cast net new shadow must be found by the Planning Commission, with comment from the General Manager of the Recreation and Parks Department, in consultation with the Recreation and Park Commission, to have no adverse impact upon the property under the jurisdiction of the Recreation and Park Commission.

Based upon a detail shadow analysis, the Project would cast new shadow upon Gene Friend Recreation Center, which is a property under the jurisdiction of the Recreation and Parks Commission. Based upon the recommendation of the General Manager of the Recreation and Parks Department, in consultation with Recreation and Park Commission, the net new shadow would not be adverse to the use of Gene Friend Recreation Center. The Commission has adopted findings regarding an increase to the shadow budget of this recreation center and park, and the impact of the new shadow on Gene Friend Recreation Center, as documented in Motion Nos. XXXXX and XXXXX.

- M. **Inclusionary Affordable Housing Program.** Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Section 415.3, these requirements apply to projects that consist of 10 or more units. The applicable percentage is dependent on the number of units in the project, the zoning of the property, and the date that the project submitted a complete Environmental Evaluation Application. A complete Environmental Evaluation Application was submitted on August 29, 2014; therefore, pursuant to Planning Code Section 415.3 the Inclusionary Affordable Housing Program requirement for the On-site Affordable Housing Alternative is to provide 13.5% of the proposed dwelling units as affordable.

The Project Sponsor has demonstrated that it is eligible for the On-Site Affordable Housing Alternative under Planning Code Section 415.5 and 415.6, and has submitted an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program by providing the affordable

housing on-site instead of through payment of the Affordable Housing Fee. In order for the Project Sponsor to be eligible for the On-Site Affordable Housing Alternative, the Project Sponsor must submit an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to the Planning Department stating that any affordable units designated as on-site units shall be sold as ownership units and will remain as ownership units for the life of the project or submit to the Department a contract demonstrating that the project's on- or off-site units are not subject to the Costa Hawkins Rental Housing Act, California Civil Code Section 1954.50 because, under Section 1954.52(b), the Project Sponsor has entered into an agreement with a public entity in consideration for a direct financial contribution or any other form of assistance specified in California Government Code Sections 65915 et seq. and submits an Affidavit of such to the Department. All such contracts entered into with the City and County of San Francisco must be reviewed and approved by the Mayor's Office Housing and Community Development and the City Attorney's Office. The Project Sponsor has indicated the intention to enter into an agreement with the City to qualify for a waiver from the Costa-Hawkins Rental Housing Act based upon the proposed density bonus and concessions provided by the City and approved herein. The Project Sponsor submitted such Affidavit on March 9, 2017. The applicable percentage is dependent on the total number of units in the project, the zoning of the property, and the date that the project submitted a complete Environmental Evaluation Application. A complete Environmental Evaluation Application was submitted on September 3, 2014; therefore, pursuant to Planning Code Section 415.3 the Inclusionary Affordable Housing Program requirement for the On-site Affordable Housing Alternative is to provide 13.5% of the total proposed dwelling units as affordable. Four units (two one-bedroom and two two-bedroom) of the total 33 units provided will be affordable units. If the Project becomes ineligible to meet its Inclusionary Affordable Housing Program obligation through the On-site Affordable Housing Alternative, it must pay the Affordable Housing Fee with interest, if applicable.

- N. Transportation Sustainability Fee.** Planning Code Section 411A is applicable to new development that results in more than twenty dwelling units.

The Project includes approximately 31,602 gross square feet of new residential use and 951 gross square feet of retail use. This square footage shall be subject to the Transportation Sustainability Fee, as outlined in Planning Code Section 411A. The Project shall receive a prior use credit for the 7,530 square feet of existing non-residential space.

- O. Residential Child-Care Impact Fee.** Planning Code Section 414A is applicable to new development that results in at least one net new residential unit.

The Project includes approximately 31,450 gross square feet of new residential use associated with the new construction of 33 dwelling units. This square footage shall be subject to the Residential Child-Care Impact Fee, as outlined in Planning Code Section 411A.

- P. Eastern Neighborhood Infrastructure Impact Fees.** Planning Code Section 423 is applicable to any development project within the MUO (Mixed Use Office) Zoning District that results in the addition of gross square feet of non-residential space.

The Project includes approximately 36,188 gross square feet of new development consisting of approximately 31,450 square feet of new residential use, 3,787 square feet of garage use and 951 square feet of new retail use. These uses are subject to Eastern Neighborhood Infrastructure Impact Fees, as outlined in Planning Code Section 423. These fees must be paid prior to the issuance of the building permit application.

7. **Large Project Authorization in Eastern Neighborhoods Mixed Use District.** Planning Code Section 329(c) lists nine design criteria that must be considered by the Planning Commission when considering LPAs. The Planning Commission finds that the project is compliant with these nine criteria as follows:

A. Overall building mass and scale.

The Project's mass and scale are appropriate for a through lot fronting on an alley and a commercial thoroughfare, and surrounded by low scale residential building on Clementina Street and a mix of residential and commercial buildings and four to eight story mixed-use buildings on Folsom Street. As part of the Eastern Neighborhoods Area Plan, this portion of Folsom Street was rezoned to increase the overall height and density. The Project complies with the East SoMa Area, which is part of the Eastern Neighborhoods Area Plan, by providing for a new eight-story, 85-foot tall mixed-use building and introducing new height along Folsom Street, while providing a four story frontage on Clementina Street. The second story courtyard aligns with the developing mid-block open space. Thus, the Project is appropriate and consistent with the mass and scale of the surrounding neighborhood, which is transitioning to a higher density mixed-use area as envisioned by the East SoMa Area Plan.

B. Architectural treatments, facade design and building materials.

Overall, the Project has a contemporary frame architectural style that utilized concrete and aluminum frame glazing that complements the adjacent industrial/commercial buildings. The facades create visual interest and depth with alternating angled bay windows on the upper floors and decorative colored glass panels.

- C. The design of lower floors, including building setback areas, commercial space, townhouses, entries, utilities, and the design and siting of rear yards, parking and loading access.

Overall, the design of the lower floors enhances the pedestrian experience and will promote street activity by providing new ground floor retail uses and a prominent residential lobby on Folsom Street. The Project's courtyard aligns with the mid-block open space. The vehicular access is on Clementina Street, with a single curb. While the garage opening occupies more than one third of the Clementina Street frontages, the garage entrance is minimized to less than 10 feet in width and the frontage is improved from the existing condition with the residential lobby

- D. The provision of required open space, both on- and off-site. In the case of off-site publicly accessible open space, the design, location, access, size, and equivalence in quality with that otherwise required on-site.

The Project exceeds the required open space for the 33 dwelling units through common open space on the roof and a courtyard on the second floor, and the private decks on the second and fifth floors.

- E. The provision of mid-block alleys and pathways on frontages between 200 and 300 linear feet per the criteria of Section 270, and the design of mid-block alleys and pathways as required by and pursuant to the criteria set forth in Section 270.2.

Planning Code Section 270.2 does not apply to the Project, since the project does not possess more than 200-ft of frontage along any single street.

- F. Streetscape and other public improvements, including tree planting, street furniture, and lighting.

The Project provides the required number of new street trees, as well as new sidewalks and bicycle racks. These improvements will enhance the public realm.

- G. Circulation, including streets, alleys and mid-block pedestrian pathways.

The Project provides circulation on the ground floor, with the vehicular entrance on Clementina Street, the primary entry for the residents on Folsom Street and a secondary residential lobby on Clementina Street. The ground floor layout provides internal connections between the garage, bicycle parking and residential lobbies.

- H. Bulk limits.

The Project is within an 'X' Bulk District, which does not restrict bulk.

- I. Other changes necessary to bring a project into conformance with any relevant design guidelines, Area Plan or Element of the General Plan.

On balance the Project meets the Objectives and Policies of the General Plan. See Below.

8. **Large Project Authorization Exceptions.** Planning Code Section 329 allows exceptions for Large Projects in the Eastern Neighborhoods Mixed Use Districts:

- A. Exception for rear yards, pursuant to the requirements of Section 134(f):

(1) Modification of Requirements in the Eastern Neighborhoods Mixed Use Districts. The rear yard requirement in Eastern Neighborhoods Mixed Use Districts may be modified or waived by the Planning Commission pursuant to Section 329.

(A) A comparable, but not necessarily equal amount of square footage as would be created in a code conforming rear yard is provided elsewhere within the development;

The Project provides for a comparable amount of open space, in lieu of the required rear yard. The Project site is 6,863 square feet and would be required to provide a rear yard measuring 1,716 square feet, or 25 percent of the lot. The Project provides a second level courtyard, which aligns with the location of the rear yard for the three parcels that comprise the project site, of 1,716 square feet, private roof decks of 842 square feet and a common roof deck of 2,885 square feet. The open space provided by the project exceeds the amount of area that would have been provided in a code-conforming rear yard.

(B) The proposed new or expanding structure will not significantly impede the access to light and air from adjacent properties or adversely affect the interior block open space formed by the rear yards of adjacent properties; and

The Project is located on a through lot that spans between Folsom and Clementina Streets. The courtyard is designed to connect with the established pattern of mid-block open space. The configuration with the central courtyard also maximizes light and air to the adjacent low rise buildings on Clementina Street in the 45-X height and bulk district.

(C) The modification request is not combined with any other residential open space modification or exposure variance for the project, except exposure modifications in designated landmark buildings under Section 307(h)(1).

The Project is not seeking an exception to the open space requirements; however, the Project is seeking an exception to the exposure requirements for 9 of the 33 dwelling units. The majority of the Project meets the intent of exposure requirements defined in Planning Code Section 140, since all of the other dwelling units face onto a public right-of-way or a courtyard of greater than 25 feet in depth. The seven dwelling units that require the exception to the exposure requirements face onto the portion of the second floor courtyard that is 20 feet in depth. This courtyard abuts the rear yard of residential building at 481 Clementina Street and will provide access to light and air. If the three parcels were not proposed for merger to create the project site, the 20-foot courtyard would have been a compliant rear yard. Given the overall design and composition of the Project, the Commission finds this exception is warranted, due to the Project's quality of design and comparable amounts of open space, provided at the second floor and roof levels, in place of a code complaint rear yard.

- B. Exceeding the principally permitted accessory residential parking ratio described in Section 151.1:
- a. In granting approval for parking accessory to Residential Uses above that principally permitted in Table 151.1, the Planning Commission shall make the following affirmative findings in addition to those stated in Section 303(c):
 - i. For projects with 50 units or more, all residential accessory parking in excess of 0.5 parking spaces for each Dwelling Unit shall be stored and accessed by

mechanical stackers or lifts, valet, or other space-efficient means that allow more space above-ground for housing, maximizes space efficiency, and discourages use of vehicles for commuting or daily errands. The Planning Commission may authorize the request for additional parking notwithstanding that the project sponsor cannot fully satisfy this requirement provided that the project sponsor demonstrates hardship or practical infeasibility (such as for retrofit of existing buildings) in the use of space-efficient parking given the configuration of the parking floors within the building and the number of independently accessible spaces above 0.5 spaces per unit is de minimus and subsequent valet operation or other form of parking space management could not significantly increase the capacity of the parking space above the maximums in Table 151.1;

Planning Code Section 151.1 permits up to one vehicle parking space for each four dwelling units, or 0.75 parking space per dwelling unit with a Conditional Use Authorization. The Project is principally permitted 8 off-street parking spaces for the 33 dwelling units and conditionally permitted up to a maximum of 25 parking spaces. The Project has a parking rate of 0.42. All the parking is stored and accessed by mechanical stackers.

- ii. All parking meets the active use and architectural screening requirements in Section 145.1 and the project sponsor is not requesting any exceptions or variances requiring such treatments elsewhere in this Code;

All the parking at the ground floor level is setback more than 30 feet from the street and appropriately screened by active used, commercial space and the residential lobby. The entrance to the off-street parking is limited to one opening off of Clementina Street, which is minimized to 9 feet -3 inches in width.

- iii. Demonstration that trips to the use or uses to be served, and the apparent demand for additional parking, cannot be satisfied by the amount of parking classified by this Code as accessory, by transit service which exists or is likely to be provided in the foreseeable future, by carpool arrangements, by more efficient use of existing on-street and off-street parking available in the area, and by other means;

According to the Project Sponsor, two-bedroom condo buyers typically request or demand one garage parking space because owners of larger units consistently own a car. As proposed, the project includes 15 two-bedroom units, and 14 parking spaces. There is little on-street or off-street parking available in the neighborhood, so the Project Sponsor wants to provide parking in the building equivalent to the number of two-bedroom units. In terms of floor area, there are only 7 parking spaces in the garage, one less than principally permitted, which is doubled through the use of space efficient mechanical stackers. Furthermore the proposed parking rate of 0.42 spaces per dwelling unit is less than the neighborhood parking rate of 0.68.

- iv. Demonstration that the apparent demand for additional parking cannot be satisfied by the provision by the applicant of one or more car-share parking spaces in addition to those that may already be required by Section 166 of this Code;

According to the Project Sponsor, car share would not be a feasible solution because a building with 33 dwelling units would not generate enough demand for a car share company to place and maintain a vehicle on-site; experience with projects of over 100 units have failed to generate the demand necessary for an car share space. Additionally, car share companies require their vehicle to be accessible to any member of the car share service, which would result in compromised security for the private garage and building. With large garages this can be solved by making a separate area for the car share spaces beyond which there is a separately secured private garage for the residents of the building. However, that is not possible with the small garage space and the configuration of the ground floor of the Project. Also, all the proposed parking in the Project requires the use of the mechanical lifts, which would require any member of the public to know how to operate a mechanical lift to access their car share car.

- v. The absence of potential detrimental effects of the proposed parking upon the surrounding area, especially through unnecessary demolition of sound structures, contribution to traffic congestion, or disruption of or conflict with transit services, walking, and cycling; and

The Project is demolishing an automotive paint and repair shop and replacing it with a mixed use building, therefore no sound structure is being demolished for the purpose of vehicle parking. The Project would not unduly impact pedestrian movement or transit in the neighborhood. The entrance to the off-street parking is limited to one opening off of Clementina Street, which has lower vehicle, pedestrian and bicycle traffic than the commercial thoroughfare of Folsom Street; which has multiple MUNI lines and is identified as a bike route under the San Francisco Bicycle Plan and is the primary east/west route through SOMA connecting the Embarcadero to the Mission District.

- vi. Accommodating excess accessory parking does not degrade the overall urban design quality of the project proposal nor diminish the quality and viability of existing or planned streetscape enhancements.

The accommodation of the additional 6 parking spaces does not degrade or impact the overall Project and its urban design quality as the parking is provided by utilizing mechanical stackers and does not occupy additional ground floor space. Access to parking is provided by a single garage entrance on Clementina Street, which would not interfere with planner streetscape improvements on Folsom Street.

- C. Where not specified elsewhere in Planning Code Section 329(d), modification of other Code requirements which could otherwise be modified as a Planned Unit Development (as set forth in Section 304), irrespective of the zoning district in which the property is located;

In addition to the exceptions for rear yard and off-street parking, the Project is seeking an exception to the requirements for dwelling unit exposure (Planning Code Section 140) and street frontage (Planning Code Section 145.1).

Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street, code-complaint rear yard or other open space no less than 25 feet in every horizontal dimension for the floor at which the Dwelling Unit in question is located and the floor immediately above it, with an increase of five feet in every horizontal dimension at each subsequent floor. As proposed, seven dwelling units (two on the second, one on the fourth floor and two townhome units on the fifth and seventh floors) do not face onto an open area which meets the dimensional requirements. These dwelling units still face onto the second-floor courtyard that provides reasonable access to light and air. Given the overall design and composition of the Project, the Commission finds this exception is warranted, due to the Project's quality of design and suitable access to light and air provided by the courtyard that is comparable in area to a code complaint rear yard.

Planning Code Section 145.1 requires that no more than one-third of the width or 20 feet, whichever is less, of any given street frontage shall be devoted to parking and loading ingress or egress. The Clementina Street frontage is 21 feet -7 inches in width. The opening for the garage entrance is 9 feet - 3 inches. Due to the unusually short frontage on Clementina Street, even the narrowest garage opening, would not be less than one third the length of the frontage. The remainder of the frontage is a residential lobby that meets the standards for an active ground floor use per Planning Code Section 145.1, and improves the streetscape from the existing condition, which is a blank wall with a 16-foot wide roll-up garage door. Given the constraints of the frontage length and the proposed ground floor design, the Commission finds this exception is warranted due to the overall improvement in the streetscape and activation of the project frontage on Clementina Street.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING

Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

The Project is a mixed-use building containing 33 dwelling units in an area that was rezoned to MUR as part of a long term objective to create a cohesive, higher density residential and mixed-use neighborhood. The Project provides a mix of one-bedroom and two-bedroom units, ranging in size from 415 to 1,096 square feet, which will suite a range of households. The Project includes 4 on-site affordable dwelling units, which complies with the inclusionary affordable housing requirements.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

The design of this Project responds to the site's location within a mixed-use area with industrial, commercial and residential uses, and proximity to existing and proposed eight-story buildings in the neighborhood. The massing and scale are appropriate for a parcel that spans from Folsom Street, in the 85-X height and Bulk District, to Clementina Street, in the 45-X Height and Bulk District and is in keeping with the development controls applicable to this site. The Project design includes an active ground floor commercial frontage on Folsom Street, with seven floors of residences above it, which will continue the commercial character of the surrounding neighborhood and orient the building massing towards the larger thoroughfare. On Clementina Street the project will provide a four-story building with residential entrance consistent with small scale residential buildings along the street. The Project utilizes a limited palette of durable materials, and alternating angled bay windows within a concrete frame facade to create a visually interesting contemporary building that is compatible with the mixed industrial, commercial and residential character of the neighborhood.

TRANSPORTATION ELEMENT

Objectives and Policies

OBJECTIVE 24:

IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT.

Policy 24.2:

Maintain and expand the planting of street trees and the infrastructure to support them.

Policy 24.4:

Preserve pedestrian-oriented building frontages.

The Project will install new street trees along Folsom and Clementina Streets, as permitted by the Department of Public Works (DPW). The proposed building will provide active spaces, commercial storefront and residential lobbies, at the ground floor on both street frontages. The proposed street frontage will improve the pedestrian experience as compared to the automotive paint and repair shop, which did not engage the street.

OBJECTIVE 28:

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

Policy 28.1:

Provide secure bicycle parking in new governmental, commercial, and residential developments.

Policy 28.3:

Provide parking facilities which are safe, secure, and convenient.

The Project includes 34 Class 1 bicycle parking spaces in a secure and convenient location, and 4 Class 2 bicycle parking spaces, which are publically-accessible.

OBJECTIVE 34:

RELATE THE AMOUNT OF PARKING IN RESIDENTIAL AREAS AND NEIGHBORHOOD COMMERCIAL DISTRICTS TO THE CAPACITY OF THE CITY'S STREET SYSTEM AND LAND USE PATTERNS.

Policy 34.1:

Regulate off-street parking in new housing so as to guarantee needed spaces without requiring excesses and to encourage low auto ownership in neighborhoods that are well served by transit and are convenient to neighborhood shopping.

Policy 34.5:

Minimize the construction of new curb cuts in areas where on-street parking is in short supply and locate them in a manner such that they retain or minimally diminish the number of existing on-street parking spaces.

The Project propose accessory vehicular parking at a rate of 0.42, which is below the average neighborhood parking rate of 0.68, and includes transportation demand management measures in compliance with Planning Code Section 169, and thereby promotes the City's transit first policies and strategies that encourage the use of alternative modes of transportation.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.7:

Recognize the natural boundaries of districts, and promote connections between districts.

The Project is located within the East SoMa neighborhood. The surrounding area is mixed in character with industrial, commercial and residential uses. The Project provides an appropriate pedestrian oriented commercial ground floor with seven floors of residences above along Folsom Street and a residential entrance with three stories of residences above on Clementina Street, which responds to the transitioning form and scale of the neighborhood. The Project sensitively locates open space on the second floor courtyard in the middle of the project site, where is connects to the mid-block open space and separates the larger scale building appropriate for the Folsom Street corridor from the smaller scale development on Clementina Street.

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.5:

Design walkways and parking facilities to minimize danger to pedestrians.

Policy 4.13:

Improve pedestrian areas by providing human scale and interest.

Currently, the site is used as an automotive paint and repair shop with wide driveway entrances on both frontages and no transparency into the site. The Project provides active commercial and residential uses at the ground floor that will engage the street and will reduce the number and size of curb cuts and driveway

to one driveway from Clementina Street. The pedestrian experience will be improved along both street frontages of the project site and the potential for pedestrian and vehicle conflict will be reduced.

EAST SOMA AREA PLAN

Objectives and Policies

Land Use

OBJECTIVE 1.1

ENCOURAGE PRODUCTION OF HOUSING AND OTHER MIXED-USE DEVELOPMENT IN EAST SOMA WHILE MAINTAINING ITS EXISTING SPECIAL MIXED-USE CHARACTER.

Policy 1.1.8

Permit small and moderate retail establishments in mixed use areas of East SoMa, but permit larger retail only as part of a mixed-use development.

OBJECTIVE 1.2

MAXIMIZE HOUSING POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER

Policy 1.2.1

Encourage development of new housing throughout East SoMa.

Policy 1.2.2

Ensure that in-fill housing development is compatible with its surroundings.

Policy 1.2.3

For new construction, and as part of major expansion of existing buildings, encourage housing development over commercial.

Policy 1.2.4

In general, where residential development is permitted, control residential density through building height and bulk guidelines and bedroom mix requirements.

The Project proposes replacement of an automotive paint and repair shop with a mixed-use building containing 33 new dwelling units and 951 square feet of ground floor commercial space within the prescribed height and bulk guidelines. Over forty percent of the dwelling units will have two or more bedrooms and the ground floor commercial space is appropriate for small scale retail.

Housing

OBJECTIVE 2.3

ENSURE THAT NEW RESIDENTIAL DEVELOPMENTS SATISFY AN ARRAY OF HOUSING NEEDS WITH RESPECT TO TENURE, UNIT MIX AND COMMUNITY SERVICES

Policy 2.3.5

Explore a range of revenue- generating tools including impact fees, public funds and grants, assessment districts, and other private funding sources, to fund community and neighborhood improvements.

Policy 2.3.6

Establish an Eastern Neighborhoods Public Benefit Fund to mitigate the impacts of new development on transit, pedestrian, bicycle, and street improvements, park and recreational facilities, and community facilities such as libraries, child care and other neighborhood services in the area.

The Project will pay the appropriate development impact fees, including the Eastern Neighborhoods Impact Fees, Transportation Sustainability Fee and the Residential Child-Care Fee.

Built Form

OBJECTIVE 3.1

PROMOTE AN URBAN FORM THAT REINFORCES THE EAST SOMA'S DISTINCTIVE PLACE IN THE CITY'S LARGER FORM AND STRENGTHENS ITS PHYSICAL FABRIC AND CHARACTER

Policy 3.1.1

Adopt heights that are appropriate for SoMa's location in the city, the prevailing street and block pattern, and the anticipated land uses, while preserving the character of its neighborhood enclaves.

Policy 3.1.8

New development should respect existing patterns of rear yard open space. Where an existing pattern of rear yard open space does not exist, new development on mixed-use-zoned parcels should have greater flexibility as to where open space can be located.

OBJECTIVE 3.2

PROMOTE AN URBAN FORM AND ARCHITECTURAL CHARACTER THAT SUPPORTS WALKING AND SUSTAINS A DIVERSE, ACTIVE AND SAFE PUBLIC REALM

Policy 3.2.1

Require high quality design of street-facing building exteriors.

Policy 3.2.4

Strengthen the relationship between a building and its fronting sidewalk.

The Project provides a mix of uses encouraged by the Area Plan for this location and is within the prescribed height and bulk guidelines. The Project massing and 85-foot height is appropriately oriented towards the Folsom Street frontage. The Project locates a second floor courtyard to connect with the established pattern of mid-block open space. The Project architecture creates a well fenestrated, active

ground floor commercial frontage along Folsom Street and established a residential entry on Clementina Street that will engage the streets.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The current use is an automotive paint and repair shop. The Project will reduce the total commercial square footage of the site to the proposed 591 square feet of ground floor retail space On Folsom Street. While replacing the automotive paint and repair shop, the mixed use project does provide new opportunities for existing and future residents' employment and ownership in the businesses that will occupy the retail spaces.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No housing exists on the project site. The Project will provide 33 dwelling units, thus resulting in an increase in the neighborhood housing stock. The Project would also provide new commercial space that is compatible with the mix of existing residential, industrial and commercial uses.

- C. That the City's supply of affordable housing be preserved and enhanced.

The Project will not displace any affordable housing because there is currently no housing on the site. The Project will provide 4 on-site affordable dwelling units, thus increasing the City's stock of affordable housing units.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project site is well-served by public transportation. The Project is located within walking distance (.25 mile) of several Muni bus stops, including the 12-Folsom/Pacific, 14X-Mission Express, 14R –Mission Rapid, 19-Polk , 30- Stockton and 47 –Van Ness and within a half mile of the Powell BART and MUNI train stations. The Project also provides off-street parking at a ratio of 0.42 per dwelling unit, as well as sufficient bicycle parking for residents and their guests.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not displace an industrial or service sector use for commercial office development, as the Project is not a commercial office development. The Project is consistent with the East SoMa Area Plan, which encourages new residential development with ground floor commercial uses. The Project

would enhance opportunities for resident employment and ownership by providing new housing and commercial space, which will provide new potential neighborhood-serving uses.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code.

- G. That landmarks and historic buildings be preserved.

There are no landmarks or historic buildings on the project site or within the immediate vicinity.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will cast additional shadow on the nearby Gene Friend Recreation Center and will have an effect on a property managed and owned by the Recreation and Parks Commission. As noted in Planning Commission Motion No. XXXXX, the additional shadow cast by the Project would not compromise the usability of Gene Friend Recreation Center.

10. **First Source Hiring.** The Project is subject to the requirements of the First Source Hiring Program as they apply to permits for residential development (Section 83.4(m) of the Administrative Code), and the Project Sponsor shall comply with the requirements of this Program as to all construction work and on-going employment required for the Project. Prior to the issuance of any building permit to construct or a First Addendum to the Site Permit, the Project Sponsor shall have a First Source Hiring Construction and Employment Program approved by the First Source Hiring Administrator, and evidenced in writing. In the event that both the Director of Planning and the First Source Hiring Administrator agree, the approval of the Employment Program may be delayed as needed.

The Project Sponsor submitted a First Source Hiring Affidavit and prior to issuance of a building permit will execute a First Source Hiring Memorandum of Understanding and a First Source Hiring Agreement with the City's First Source Hiring Administration.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Large Project Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Large Project Authorization Application No. 2013.0977ENX** under Planning Code Section 329 to allow the new construction of an eight-story (85-foot tall) residential building with up to 33 dwelling units and approximately 951 square feet of ground floor commercial space, and exceptions to the requirements for: 1) rear yard (Planning Code Section 134); 2) dwelling unit exposure (Planning Code Section 140); 3) ground floor active use (Planning Code 145.1) and; 4) off-street parking (Planning Code Section 151.1); within the MUR (Mixed Use-Residential) Zoning District, SoMa Youth and Family Special Use District, and a 45-X/85-X Height and Bulk District. The project is subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated July 11, 2017, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

The Planning Commission hereby adopts the MMRP attached hereto as Exhibit C and incorporated herein as part of this Motion by this reference thereto. All required mitigation measures identified in the Eastern Neighborhoods Plan EIR and contained in the MMRP are included as conditions of approval.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Section 329 Large Project Authorization to the Board of Appeals within fifteen (15) days after the date of this Motion. The effective date of this Motion shall be the date of adoption of this Motion if not appealed (after the 15-day period has expired) OR the date of the decision of the Board of Appeals if appealed to the Board of Appeals. For further information, please contact the Board of Appeals at (415) 575-6880, 1660 Mission, Room 3036, San Francisco, CA 94103.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

Motion No. XXXXX
October 5, 2017

CASE NO. 2013.0977ENX
980 Folsom Street

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on October 5, 2017.

Jonas P. Ionin
Commission Secretary

AYES:

ABSENT:

NAYS:

ADOPTED: October 5, 2017

EXHIBIT A

AUTHORIZATION

This authorization is for a Large Project Authorization to construct a new eight-story (85-foot tall) mixed use building with 33 dwelling units and 951 gross square feet of ground floor commercial space at 980 Folsom Street (Block 3732 Lot 028, 035 and 152) within the MUR (Mixed Use-Residential) Zoning District, SoMa Youth and Family Special Use District, and a 45-X/85-X Height and Bulk District, in general conformance with plans dated July 11, 2017 and stamped "EXHIBIT B" included in the docket for Case No. 2013.0977ENX and subject to conditions of approval reviewed and approved by the Commission on July 27, 2017 under Motion No. XXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on October 5, 2017 under Motion No. XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Office Development Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

6. **Mitigation Measures.** Mitigation measures described in the MMRP for the Eastern Neighborhoods Plan EIR (Case No. 2013.0977ENV) attached as Exhibit C are necessary to avoid potential significant effects of the proposed project and have been agreed to by the project sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
7. **Additional Project Authorization.** Per Planning Code Section 295, the Project Sponsor must obtain an approval from the Planning Commission to adopt a finding that the net new shadow cast upon the nearby Gene Friend Recreation Center would not be adverse to the use of the park, and satisfy all the conditions thereof. The conditions set forth below are additional conditions required in connection with the Project. If these conditions overlap with any other requirement imposed on the Project, the more restrictive or protective condition or requirement, as determined by the Zoning Administrator, shall apply.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

8. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
9. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
10. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application for each building. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
11. **Transformer Vault.** The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they

may not have any impact if they are installed in preferred locations. Therefore, the Planning Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:

- a. On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
- b. On-site, in a driveway, underground;
- c. On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;
- d. Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding effects on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
- e. Public right-of-way, underground; and based on Better Streets Plan guidelines;
- f. Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
- g. On-site, in a ground floor façade (the least desirable location).

Unless otherwise specified by the Planning Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

ENTERTAINMENT COMMISSION – NOISE ATTENUATION CONDITIONS

The Project Sponsor shall comply with the "Recommended Noise Attenuation Conditions for Chapter 116 Residential Projects," which were recommended by the Entertainment Commission on May 2, 2017. These conditions state:

12. **Community Outreach.** Project Sponsor shall include in its community outreach process any businesses located within 300 feet of the proposed project that operate between the hours of 9PM-5AM. Notice shall be made in person, written or electronic form.
13. **Sound Study.** Project sponsor shall conduct an acoustical sound study, which shall include sound readings taken when performances are taking place at the proximate Places of Entertainment, as well as when patrons arrive and leave these locations at closing time. Readings should be taken at locations that most accurately capture sound from the Place of Entertainment to best of their ability. Any recommendation(s) in the sound study regarding window glaze ratings and soundproofing materials including but not limited to walls, doors, roofing, etc. shall be given highest consideration by the project sponsor when designing and building the project.
14. **Design Considerations.**
 - a. During design phase, project sponsor shall consider the entrance and egress location and paths of travel at the Place(s) of Entertainment in designing the location of (a) any entrance/egress for the residential building and (b) any parking garage in the building.

- b. In designing doors, windows, and other openings for the residential building, project sponsor should consider the POE's operations and noise during all hours of the day and night.
15. **Construction Impacts.** Project sponsor shall communicate with adjacent or nearby Place(s) of Entertainment as to the construction schedule, daytime and nighttime, and consider how this schedule and any storage of construction materials may impact the POE operations.
16. **Communication.** Project Sponsor shall make a cell phone number available to Place(s) of Entertainment management during all phases of development through construction. In addition, a line of communication should be created to ongoing building management throughout the occupation phase and beyond.
17. **Additional Conditions.** In addition to the Entertainment Commission standard "*Recommended Noise Attenuation Conditions for Chapter 116 Projects*", the project sponsor shall comply with the following:
 - a. The Project Sponsor shall update the 2015 acoustical study to include readings performed a weekend during entertainment for 1015 Folsom and The End Up, permitted Places of Entertainment.
 - b. The Project Sponsor shall include sufficient lighting on the exterior of the building to secure sidewalk safety at night.

For information about compliance, contact the Entertainment Commission, at 415-554-7793, maggie.weiland@sfgov.org

PARKING AND TRAFFIC

18. **Parking Maximum.** Pursuant to Planning Code Section 151.1, the Project shall provide no more than **fourteen (14)** off-street parking spaces.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
19. **Bicycle Parking.** Pursuant to Planning Code Sections 155.2, the Project shall provide no fewer than **33** Class 1 bicycle parking spaces and **4** Class 2 bicycle parking spaces. Currently, the Project provides **34** Class 1 bicycle parking spaces and **4** Class 2 bicycle parking spaces.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
20. **Transportation Demand Management (TDM) Program.** Pursuant to Planning Code Section 169, the Project shall finalize a TDM Plan prior to the issuance of the first Building Permit or Site Permit to construct the project and/or commence the approved uses. The Property Owner, and all successors, shall ensure ongoing compliance with the TDM Program for the life of the Project, which may include providing a TDM Coordinator, providing access to City staff for site

inspections, submitting appropriate documentation, paying application fees associated with required monitoring and reporting, and other actions.

Prior to the issuance of the first Building Permit or Site Permit, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property to document compliance with the TDM Program. This Notice shall provide the finalized TDM Plan for the Project, including the relevant details associated with each TDM measure included in the Plan, as well as associated monitoring, reporting, and compliance requirements.

21. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

22. **Managing Loading Activities.** The project sponsor shall coordinate with the SFMTA to minimize traffic congestion during residential move-in/move-out activities and freight loading activities associated with the retail space.

PROVISIONS

23. **Anti-Discriminatory Housing.** The Project shall adhere to the requirements of the Anti-Discriminatory Housing policy, pursuant to Administrative Code Section 1.61.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

24. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

25. **Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

26. **Child Care Fee - Residential.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

27. **Eastern Neighborhoods Infrastructure Impact Fee.** Pursuant to Planning Code Section 423 the Project Sponsor shall contribute to the Eastern Neighborhoods Public Benefit Fund through payment of an Impact Fee.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING

28. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

29. **Revocation Due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

30. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>

31. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

32. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to

deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

33. **Lighting.** All Project lighting shall be directed onto the project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

INCLUSIONARY HOUSING

Affordable Units. The following Inclusionary Affordable Housing Requirements are those in effect at the time of Planning Commission action. In the event that the requirements change, the Project Sponsor shall comply with the requirements in place at the time of issuance of first construction document.

34. **Number of Required Units.** Pursuant to Planning Code Section 415.3, the Project is required to provide 13.5% of the proposed dwelling units as affordable to qualifying households. The Project contains 33 units; therefore, 4 affordable units are currently required. The Project Sponsor will fulfill this requirement by providing the 4 affordable units on-site. If the number of market-rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development ("MOHCD").

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

35. **Unit Mix.** The Project contains 2 studios, 16 one-bedroom, and 15 two-bedroom units; therefore, the required affordable unit mix is 2 one-bedroom and 2 two-bedroom units. If the market-rate unit mix changes, the affordable unit mix will be modified accordingly with written approval from Planning Department staff in consultation with MOHCD.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

36. **Unit Location.** The affordable units shall be designated on a reduced set of plans recorded as a Notice of Special Restrictions on the property prior to the issuance of the first construction permit.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

37. **Phasing.** If any building permit is issued for partial phasing of the Project, the Project Sponsor shall have designated not less than thirteen and one half percent (13.5%), or the applicable percentage as discussed above, of the each phase's total number of dwelling units as on-site affordable units.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

38. **Duration.** Under Planning Code Section 415.8, all units constructed pursuant to Section 415.6, must remain affordable to qualifying households for the life of the project.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

39. **Other Conditions.** The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the MOHCD at 1 South Van Ness Avenue or on the Planning Department or MOHCD websites, including on the internet at:

<http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451>

As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- a. The affordable unit(s) shall be designated on the building plans prior to the issuance of the first construction permit by the Department of Building Inspection ("DBI"). The affordable unit(s) shall (1) reflect the unit size mix in number of bedrooms of the market rate units, (2) be constructed, completed, ready for occupancy and marketed no later than the market rate units, and (3) be evenly distributed throughout the building; and (4) be of comparable overall quality, construction and exterior appearance as the market rate units in the principal project. The interior features in affordable units should be generally the same as those of the market units in the principal project, but need not be the same make, model or type of such item as long they are of good and new quality and are consistent with then-

current standards for new housing. Other specific standards for on-site units are outlined in the Procedures Manual.

- b. If the units in the building are offered for rent, the affordable unit(s) shall be rented to low-income households, as defined in the Planning Code and Procedures Manual. The initial and subsequent rent level of such units shall be calculated according to the Procedures Manual. Limitations on (i) occupancy; (ii) lease changes; (iii) subleasing, and; are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.
- c. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for overseeing and monitoring the marketing of affordable units. The Project Sponsor must contact MOHCD at least six months prior to the beginning of marketing for any unit in the building.
- d. Required parking spaces shall be made available to initial buyers or renters of affordable units according to the Procedures Manual.
- e. Prior to the issuance of the first construction permit by DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that contains these conditions of approval and a reduced set of plans that identify the affordable units satisfying the requirements of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.
- f. If the Project Sponsor fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all available remedies at law.
- g. If the Project becomes ineligible at any time for the On-site Affordable Housing Alternative, the Project Sponsor or its successor shall pay the Affordable Housing Fee prior to issuance of the first construction permit. If the Project becomes ineligible after issuance of its first construction permit, the Project Sponsor shall notify the Department and MOHCD and pay interest on the Affordable Housing Fee and penalties, if applicable.



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other (EN Impact Fees)

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Resolution No. XXXXX

HEARING DATE: OCTOBER 5, 2017

Case No.: **2013.0977SHD**
Project Address: **980 FOLSOM STREET**
Project Zoning: MUR (Mixed Use-Residential) Zoning District
SoMa Youth and Family Special Use District
85-X/45-X Height and Bulk District
Block/Lot: 3732/028, 035 & 152
Project Sponsor: John Goldman
Goldman Architecture
172 Russ Street
San Francisco, CA 94103
Park Property: Gene Friend Recreation Center
Park Block/Lots: 3731/010, 011, 012 and 111
Staff Contact: Ella Samonsky – (415) 575-9112; ella.samonsky@sfgov.org
(Planning Department)
Jordan Harrison – 415-575-5609; jordan.harrison@sfgov.org
(Recreation and Park Department)

JOINT RESOLUTION TO RAISE THE ABSOLUTE CUMULATIVE SHADOW LIMIT ON GENE FRIEND RECREATION CENTER IN ORDER TO ALLOW THE PROPOSED PROJECT FOR A NEW EIGHT-STORY, 85-FOOT TALL, BUILDING (APPROXIMATELY 36,188 GROSS SQUARE FEET) WITH 33 DWELLING UNITS AND APPROXIMATELY 951 GROSS SQUARE FEET OF GROUND FLOOR COMMERCIAL SPACE AT 980 FOLSOM STREET (ASSESSOR’S BLOCK 3732 LOT 028, 035 & 152).

PREAMBLE

The people of the City and County of San Francisco, in June 1984, adopted an initiative ordinance, commonly known as Proposition K, codified as Section 295 of the Planning Code.

Section 295 requires that the Planning Commission disapprove any building permit application to construct a structure that will cast shadow on property under the jurisdiction of the Recreation and Park Department, unless it is determined that the shadow would not be significant or adverse. The Planning

Commission and the Recreation and Park Commission must adopt criteria for the implementation of that ordinance.

Section 295 is implemented by analyzing park properties that could be shadowed by new construction, including the current patterns of use of such properties, how such properties might be used in the future, and assessing the amount of shadowing, its duration, times of day, and times of year of occurrence. The Commissions may also consider the overriding social or public benefits of a project casting shadow.

Pursuant to Planning Code Section 295, the Planning Commission and the Recreation and Park Commission, on February 7, 1989, adopted standards for allowing additional shadows on the greater downtown parks (Resolution No. 11595). Per the 1989 memorandum, the quantitative standard that was established for Gene Friend Recreation Center (or "Rec Center") was zero percent or no net new shadow.

Gene Friend Recreation Center is a 1.02 acre park (44,351square feet) located at 270 6th Street in the SoMa neighborhood. It is bounded by a two-story, 26-ft tall private property on the northwest, Harriet Street to the west, Folsom Street to the south, and 6th Street to the east. Gene Friend Recreation Center provides a mix of outdoor and indoor recreation space. It includes a sports court, playground and green field to the west along Harriet Street and a 24- to 34-foot-high structure (with a 16,835 square-foot footprint (the "Rec Center Building") to the east along 6th Street. The Rec Center Building includes a full indoor gymnasium, activity room, weight room and auditorium and occupies approximately ¾ of the 6th Street frontage. A 9-foot-tall fence and guardrails encircles Gene Friend Recreation Center and is locked at night. Access to the park is provided via three gates: one at the corner of Folsom and 6th Streets, another on Harriet Street, and the third on 6th Street. Gene Friend Recreation Center is managed by the Recreation and Park Department ("RPD"). The park is open from 9:00am until 9:00pm from Tuesday to Friday. In addition, the Rec Center is open from 9:00am to 5:00pm on Saturdays. The facility is available for rentals on Sunday and Mondays and offers after school programming for children on Mondays from 3pm to 5pm. On December 15, 2015, the Trust for Public Land and the San Francisco Recreation and Parks Department presented a plan for redesign of the Gene Friend Recreation Center property. Final design of the Recreation Center is still awaiting approval.

Gene Friend Recreation Center is located within a mixed-use neighborhood in the South of Market (SoMa) neighborhood. The scale of development varies greatly in the vicinity of the project site. The immediate area is characterized by one-and-two-story commercial and industrial properties on the adjacent street corners at 6th and Folsom Streets, three-to-four-story live/work and residential buildings further west along Folsom Street, and two-story commercial buildings and an eight-story apartment complex farther north along 6th Street. Within a short distance of the Gene Friend Recreation Center is Victoria Manalo Draves Park, which is a 2.52 acres accessible park, bounded by Columbia Square, Folsom Street, Sherman Street and Harrison Street.

On an annual basis, the Theoretically Available Annual Sunlight ("TAAS") on Gene Friend Recreation Center (with no adjacent structures present) is approximately 165,049,284square-foot-hours of sunlight. Existing structures, including the shadow from the Rec Center Building, currently shade Gene Friend Recreation Center 47.91% of the year, with an existing shadow load of 79,066,849square-foot-hours ("sfh").

On February 5, 2015, John Goldman (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for a Large Project Authorization and on June 1, 2015 an

application for a Shadow Impact Study on the property at 980 Folsom Street, located on the west side of Folsom Street, between 5th and 6th Streets; Lot 028, 035 and 152 in Assessor's Block 3732, (hereinafter "Subject Property") to construct **a new eight-story, 85-foot tall, building (approximately 36,188 gross square feet) with 33 dwelling units and approximately 951 gross square feet of ground floor commercial space** (hereinafter "the Project"). The Project is located within the MUR (Mixed Use-Residential) Zoning District, SoMa Youth and Family Special Use District, and 45-X/85-X Height and Bulk District.

A technical memorandum, prepared by Adam Phillips of Prevision Design, finalized on September 18, 2017, analyzed the potential shadow impacts of the Project to properties under the jurisdiction of the Recreation and Parks Department (Case No. 2013.0977SHD).

The environmental effects of the Project were determined by the San Francisco Planning Department to have been fully reviewed under the Eastern Neighborhoods Area Plan Environmental Impact Report (hereinafter "EIR"). The EIR was prepared, circulated for public review and comment, and, at a public hearing on August 7, 2008, by Motion No. 17661, certified by the Commission as complying with the California Environmental Quality Act (Cal. Pub. Res. Code Section 21000 et seq., (hereinafter "CEQA")). The Commission has reviewed the Final EIR, which has been available for this Commission's review as well as public review.

The Eastern Neighborhoods EIR is a Program EIR. Pursuant to CEQA Guideline 15168(c)(2), if the lead agency finds that no new effects could occur or no new mitigation measures would be required of a proposed project, the agency may approve the project as being within the scope of the project covered by the program EIR, and no additional or new environmental review is required. In approving the Eastern Neighborhoods Plan, the Commission adopted CEQA Findings in its Motion No. 17661 and hereby incorporates such Findings by reference.

Additionally, State CEQA Guidelines Section 15183 provides a streamlined environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an EIR was certified, except as might be necessary to examine whether there are project-specific effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that (a) are peculiar to the project or parcel on which the project would be located, (b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent, (c) are potentially significant off-site and cumulative impacts which were not discussed in the underlying EIR, or (d) are previously identified in the EIR, but which are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for that project solely on the basis of that impact.

On July 17, 2017, the Department determined that the proposed application did not require further environmental review under Section 15183 of the CEQA Guidelines and Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Final EIR. Since the Eastern Neighborhoods Final EIR was finalized, there have been no substantial changes to the Eastern

Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR. The file for this project, including the Eastern Neighborhoods Final EIR and the Community Plan Exemption certificate, is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California.

The Planning Commission and the Recreation and Park Commission held a duly advertised joint public hearing on October 5, 2017 to consider whether to raise the absolute cumulative shadow limit equal to 0.005% of the TAAS for Gene Friend Recreation Center.

The Planning Commission has reviewed and considered reports, studies, plans and other documents pertaining to the Project.

The Planning Commission has heard and considered the testimony presented at the public hearing and has further considered the written materials and oral testimony presented on behalf of the Project Sponsor, Department staff, and other interested parties.

Therefore, the Commission hereby resolves:

FINDINGS

Having reviewed the materials identified in the recitals above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The foregoing recitals are accurate, and constitute findings of this Commission.
2. The additional shadow cast by the Project, while numerically significant, would not be adverse, and is not expected to interfere with the use of the Park, for the following reasons:
 - The new shadow would increase the shadow load on Gene Friend Recreation Center on primarily passive recreational areas such as the pathway of the Harriet Street entrance, and portions of the western edge of the basketball court.
 - New shadows would be cast upon Gene Friend Recreation Center within the morning prior to the current opening of the Recreation Center. All net new shadow would be gone by 7:30 am.
 - When new shadows occur, they would range in duration from 0 minutes to 23 minutes, and an average duration of approximately 16 minutes for 85-97 days from early May to early August.
 - The proposed project would result in a total shadow load of 79,075,417sfh annually, or and increase 0.005% of the park's TAAS.
3. The Project at 980 Folsom Street provides 33 dwelling units to the City's housing stock, and would pay the appropriate impact fees for the new residential development. The Project includes

4 inclusionary affordable housing units for ownership. Streetscape improvements would include new street trees, new sidewalks and new bicycle racks.

4. Planning Department staff recommends raising a shadow limit for the Park of 0.005% of the TAAS, equal to approximately 8,567 annual square-foot-hours of net new shadow.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Planning Department and the Recreation and Park Department, the oral testimony presented to the Planning Commission and Recreation and Park Commission at the public hearing, and all other written materials submitted by all parties, the Planning Commission hereby ADOPTS, under Shadow Analysis Application No. **2013.0977SHD**, the proposal to raise the cumulative shadow limit for Gene Friend Recreation Center by 0.005%.

I hereby certify that the foregoing Resolution was ADOPTED by the Planning Commission at its regular meeting on October 5, 2017.

Jonas P. Ionin
Commission Secretary

AYES:

ABSENT:

ADOPTED: October 5, 2017



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other (EN, TSF Impact Fees)

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Motion No.

HEARING DATE: OCTOBER 5, 2017

Case No.: **2013.0977SHD**
 Project Address: **980 FOLSOM STREET**
 Project Zoning: MUR (Mixed Use-Residential) Zoning District
 SoMa Youth and Family Special Use District
 85-X/45-X Height and Bulk District
 Block/Lot: 3732/028, 035 & 152
 Project Sponsor: John Goldman
 Goldman Architecture
 172 Russ Street
 San Francisco, CA 94103
 Staff Contact: Ella Samonsky – (415) 575-9112
ella.samonsky@sfgov.org
 Recommendation: **Approval with Conditions**

ADOPTING FINDINGS, WITH THE RECOMMENDATION FROM THE GENERAL MANAGER OF THE RECREATION AND PARK DEPARTMENT, IN CONSULTATION WITH THE RECREATION AND PARK COMMISSION, THAT NET NEW SHADOW ON GENE FRIEND RECREATION CENTER BY THE PROPOSED PROJECT FOR A NEW EIGHT-STORY, 85-FOOT TALL, BUILDING (APPROXIMATELY 36,188 GROSS SQUARE FEET) WITH 33 DWELLING UNITS AND APPROXIMATELY 951 GROSS SQUARE FEET OF GROUND FLOOR COMMERCIAL SPACE AT 980 FOLSOM STREET WOULD NOT BE ADVERSE TO THE USE OF GENE FRIEND RECREATION CENTER.

PREAMBLE

Under Planning Code Section ("Section") 295, a building permit application for a project exceeding a height of 40 feet cannot be approved if there is any shadow impact on a property under the jurisdiction of the Recreation and Park Department, unless the Planning Commission, upon recommendation from the General Manager of the Recreation and Park Department, in consultation with the Recreation and Park Commission, makes a determination that the shadow impact will not be significant or adverse.

On February 7, 1989, the Recreation and Park Commission and the Planning Commission adopted criteria establishing absolute cumulative limits for additional shadows on fourteen parks throughout San Francisco (Planning Commission Resolution No. 11595). The quantitative standard that was established for Gene Friend Recreation Center (or "Rec Center") was zero percent or no net new shadow.

Gene Friend Recreation Center is a 1.02 acre park (44,351 square feet) located at 270 6th Street in the SoMa neighborhood. It is bounded by a two-story, 26-ft tall private property on the northwest, Harriet Street to the west, Folsom Street to the south, and 6th Street to the east. Gene Friend Recreation Center provides a mix of outdoor and indoor recreation space. It includes a sports court, playground and green field to the west along Harriet Street and a 24- to 34-foot-high structure (with a 16,835 square-foot footprint (the "Rec Center Building") to the east along 6th Street. The Rec Center Building includes a full indoor gymnasium, activity room, weight room and auditorium and occupies approximately ¾ of the 6th Street frontage. A 9-foot-tall fence and guardrails encircles Gene Friend Recreation Center and is locked at night. Access to the park is provided via three gates: one at the corner of Folsom and 6th Streets, another on Harriet Street, and the third on 6th Street. Gene Friend Recreation Center is managed by the Recreation and Park Department ("RPD"). The park is open from 9:00am until 9:00pm from Tuesday to Friday. In addition, the Rec Center is open from 9:00am to 5:00pm on Saturdays, and is closed on Sunday and Mondays.

Gene Friend Recreation Center is located within a mixed-use neighborhood in the South of Market (SoMa) neighborhood. The scale of development varies greatly in the vicinity of the project site. The immediate area is characterized by one-and-two-story commercial and industrial properties on the adjacent street corners at 6th and Folsom Streets, three-to-four-story live/work and residential buildings further west along Folsom Street, and two-story commercial buildings and an eight-story apartment complex farther north along 6th Street. Within a short distance of the Rec Center is Victoria Manalo Draves Park, which is a 2.52 acres accessible park, bounded by Columbia Square, Folsom Street, Sherman Street and Harrison Street.

On an annual basis, the Theoretically Available Annual Sunlight ("TAAS") on Gene Friend Recreation Center (with no adjacent structures present) is approximately 165,049,284square-foot-hours of sunlight. Existing structures, including the shadow from the Rec Center Building, currently shade Gene Friend Recreation Center 47.905% of the year, with an existing shadow load of 79,066,849square-foot-hours ("sfh").

On February 5, 2015, John Goldman (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for a Large Project Authorization and on June 1, 2015 an application for a Shadow Impact Study on the property at 980 Folsom Street, located on the west side of Folsom Street, between 5th and 6th Streets; Lot 028, 035 and 152 in Assessor's Block 3732, (hereinafter "Subject Property") to demolish a single-story automotive paint shop and construct a new eight-story, 85-foot tall, building (approximately 36,188 gross square feet) with 33 dwelling units and approximately 951 gross square feet of ground floor commercial space (hereinafter "the Project"). The Project is located within the MUR (Mixed Use-Residential) Zoning District, SoMa Youth and Family Special Use District, and an 45-X/85-X Height and Bulk District.

A technical memorandum, prepared by Adam Phillips of Prevision Design, finalized on September 18, 2107, analyzed the potential shadow impacts of the Project to properties under the jurisdiction of the Recreation and Parks Department (Case No. 2013.0977SHD). The memorandum concluded that the Project would cast approximately 8,567square-foot-hours of net new shadow on Gene Friend Recreation Center, equal to approximately 0.005 percent of the theoretically available annual sunlight ("TAAS") on Gene Friend Recreation Center.

The environmental effects of the Project were determined by the San Francisco Planning Department to have been fully reviewed under the Eastern Neighborhoods Area Plan Environmental Impact Report

(hereinafter "EIR"). The EIR was prepared, circulated for public review and comment, and, at a public hearing on August 7, 2008, by Motion No. 17661, certified by the Commission as complying with the California Environmental Quality Act (Cal. Pub. Res. Code Section 21000 et seq., (hereinafter "CEQA"). The Commission has reviewed the Final EIR, which has been available for this Commission's review as well as public review.

The Eastern Neighborhoods EIR is a Program EIR. Pursuant to CEQA Guideline 15168(c)(2), if the lead agency finds that no new effects could occur or no new mitigation measures would be required of a proposed project, the agency may approve the project as being within the scope of the project covered by the program EIR, and no additional or new environmental review is required. In approving the Eastern Neighborhoods Plan, the Commission adopted CEQA Findings in its Motion No. 17661 and hereby incorporates such Findings by reference.

Additionally, State CEQA Guidelines Section 15183 provides a streamlined environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an EIR was certified, except as might be necessary to examine whether there are project-specific effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that (a) are peculiar to the project or parcel on which the project would be located, (b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent, (c) are potentially significant off-site and cumulative impacts which were not discussed in the underlying EIR, or (d) are previously identified in the EIR, but which are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for that project solely on the basis of that impact.

On July 14, 2017 the Department determined that the proposed application did not require further environmental review under Section 15183 of the CEQA Guidelines and Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Final EIR. Since the Eastern Neighborhoods Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR. The file for this project, including the Eastern Neighborhoods Final EIR and the Community Plan Exemption certificate, is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California.

On October 5, 2017, the Planning Commission and the Recreation and Park Commission held a duly advertised joint public hearing and raised the absolute cumulative shadow limit equal to 0.005% of the TAAS for Gene Friend Recreation Center as noted in Planning Commission Resolution No. XXXXX.

On October 5, 2017, the Recreation and Park Commission conducted a duly noticed public hearing at a regularly scheduled meeting and recommended that the Planning Commission find that the shadows cast

by the Project on Gene Friend Recreation Center will/will not be adverse to the use of Gene Friend Recreation Center.

The Planning Commission has reviewed and considered reports, studies, plans and other documents pertaining to the Project.

The Planning Commission has heard and considered the testimony presented at the public hearing and has further considered the written materials and oral testimony presented on behalf of the Project Sponsor, Department staff, and other interested parties.

FINDINGS

Having reviewed the materials identified in the recitals above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The foregoing recitals are accurate, and also constitute findings of this Commission.
2. The additional shadow cast by the Project, while numerically significant, would not be adverse, and is not expected to interfere with the use of the Park, for the following reasons:
 - a. The proposed project would cast net new shadow within the allocated shadow budget for Gene Friend Recreation Center.
 - b. The proposed project would result in a total shadow load of 79,075,417square foot hours equivalent to a shadow load of 47.91percent of the TAAS. New shadows would range in duration from 0 minutes to 23 minutes and an average duration of approximately 16 minutes for 85 to 97 days from early May to early August.
 - c. Although the additional shadow cast by the proposed project has a numerically significant effect, the magnitude of the additional shadow is well below one percent, and amounts to a reasonable loss of sunlight for a park in an area slated for increased building heights and residential density.
 - d. The net new shadow cast upon Gene Friend Recreation Center from the Project occurs within the morning prior to the current opening of the Recreation Center. All net new shadow would be gone by 7:30 am.
 - e. The new net shadow is localized to the pathways around the Harriet Street entrance and portions of the western edge of the basketball courts.
 - f. The largest shadow, occurring near 7:00 am on June 21, would be cast on approximately 805 square feet, equivalent to 1.82 percent of the area of Gene Friend Recreation Center.
 - g. The Project would produce new public benefits, including, but not limited to, new housing, new on-site affordable housing units for ownership, streetscape improvements and payment of development impact fees.

DECISION

That based upon the Record, the submissions by the Project Sponsor, the staff of the Planning Department, the recommendation of the General Manager of the Recreation and Park Department, in consultation with the Recreation and Park Commission, and other interested parties, the oral testimony presented to the Planning Commission at the public hearing, and all other written materials submitted by all parties, the Planning Commission hereby DETERMINES, under Shadow Analysis Application No. **2013.0977SHD**, that the net new shadow cast by the Project on Gene Friend Recreation Center will not be adverse to the use of Gene Friend Recreation Center.

I hereby certify that the foregoing Motion was ADOPTED by the Planning Commission at its regular meeting on October 5, 2017.

Jonas P. Ionin
Commission Secretary

AYES:

ABSENT:

ADOPTED: October 5, 2017



SEPTEMBER 18, 2017
FINAL_R2

SHADOW ANALYSIS REPORT FOR THE PROPOSED 980 FOLSOM STREET PROJECT PER SF PLANNING SECTION 295 STANDARDS



FROM:
ADAM PHILLIPS
PRINCIPAL
PREVISION DESIGN



TO:
ERIKA JACKSON, SAN FRANCISCO PLANNING DEPT.
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103

CONTENTS

EXECUTIVE SUMMARY	3
I. INTRODUCTION AND OVERVIEW	5
<i>FIGURE 1: Area Map</i>	6
<i>FIGURE 2: Project Rendering from Folsom Street</i>	7
II. PROPOSED PROJECT	7
<i>FIGURE 3: Project Site Plan</i>	8
<i>FIGURE 4: South (Folsom Street) Elevation</i>	9
<i>FIGURE 5: North (Clementina Street) Elevation</i>	10
III. AFFECTED PARKS AND OPEN SPACES	11
Gene Friend Recreation Center	11
<i>FIGURE 6: Gene Friend Recreation Center</i>	12
Other Parks and Open Spaces	13
IV. SECTION 295 EVALUATION CRITERIA	13
Quantitative Evaluation Criteria	13
Qualitative Evaluation Criteria	14
V. ANALYSIS METHODOLOGY	14
Quantitative Analysis	14
Qualitative Analysis	14
Cumulative Shadow Analysis	15
VI. QUANTITATIVE SHADOW MODELING FINDINGS	15
Existing Conditions	15
Increase in Shadow from Proposed Project	15
Timing and Location of New Shadows from Proposed Project	15
<i>FIGURE 7: Project & Cumulative Condition Quantitative Shading Breakdown</i> ..	16

Increase in Shadow under Cumulative Conditions	17
<i>FIGURE 8: Largest New Shadow @ 7am on 6/21</i>	<i>17</i>
VII. QUALITATIVE ANALYSIS	18
Observed Park Uses	18
<i>FIGURE 9: Park Use Observations</i>	<i>18</i>
The Value of Sunlight	19
Shadow Characteristics	19
VIII. DEVELOPMENT ALTERNATIVES	20
Project Alternative That Would Result in No New Shadow	20
IX. PROJECT-RELATED PUBLIC GOOD.	20
Needed Uses.	20
Building Design and Urban Form	20
Impact Fees	21
Community Outreach by the Project Sponsor	21
EXHIBIT A: REFINED SHADOW FAN DIAGRAM	23
A1 - Areas of new shading from project (full-year)	23
EXHIBIT B: SHADOW DIAGRAMS ON SUMMER SOLSTICE	25
B1 - June 21 (Date of Max Project Shading)	25
EXHIBIT C: SHADOW DIAGRAMS ON EQUINOXES	42
C1 - September 20 (Autumnal), March 22 (Vernal) similar	42
EXHIBIT D: SHADOW DIAGRAMS ON WINTER SOLSTICE	56
D1 - December 20	56
EXHIBIT E: QUANTITATIVE SHADING DATA	66
Quantitative Shading Data for Gene Friend Recreation Center.	66

EXECUTIVE SUMMARY

This report describes the results of an analysis conducted by PreVision Design to identify the potential shadow effects on Gene Friend Recreation Center that would be caused by construction of an eight-story residential building proposed by 980 Folsom LLC at 980 Folsom Street (“the proposed project” or “980 Folsom Street”) in the South of Market neighborhood of San Francisco. The analysis was conducted in accordance with requirements established by the 1989 Sunlight Ordinance (Proposition K) and encoded in the San Francisco Planning Code, along with associated standards of review established by the San Francisco Recreation and Park Department (RPD) and the San Francisco Planning Department. Using methodology and criteria established by these city agencies, PreVision Design performed an analysis to confirm, quantify, and describe shadow impacts of the proposed project on Gene Friend Recreation Center (“the park”).

Increase in Shadow from Proposed Project

The analysis found that the proposed project would cast new shadow on the park, and that shading would represent an increase of 0.005% in annual square-foot-hours (sfh) over current levels of shading. The current percentage of annual shadow coverage is 47.905%. The addition of proposed project shading would result in a new total annual shading on the park of 47.910%.

New shadows that would be cast by nearby proposed projects at 999 Folsom Street, 345 6th Street, 363 6th Street, and 1025 Howard Street were analyzed as an addition to the proposed project’s shading to determine the foreseeable cumulative shadow impacts on the park. When shading from these proposed projects was combined with new shadow generated by 980 Folsom Street, the total of shadow on the park would be 49.243%, representing an increase of 1.333% compared to the shading generated by the proposed project alone, or 1.338% over current conditions.

Timing and Location of Shadow from Proposed Project

The new shadow generated by the proposed project would be present within the first half hour after the sunrise +1 hour analysis start time between May 4 and August 8, with new shadows falling along the western periphery of the park near Harriet Street entry, affecting a small area north of the entry walkway to the Recreation Center as

well as portions along the western edge of the basketball court. The aggregate extents of all new shading throughout the year is shown in Exhibit A, and snapshots of shading conditions on the Summer Solstice (June 21), approx Vernal and Autumnal Equinoxes (March 22 and September 20), Winter Solstice (December 20) are shown in Exhibits B through D, respectively.

Observations of Existing Park Use

In order to evaluate how new shading might affect existing patterns of park use, PreVision Design conducted six site visits to the park on various days of the week at differing times of day to record the number of users and observe the nature of park use. It was observed the intensity of park usage was substantially higher during the weekdays than on weekends. The average amount of park area available for each park user ranged from 787 square feet per user (sf/user) during weekend mornings (lowest observed use) to 133 sf/user at the time of most intense use on weekday afternoons. Observed park use included visitors using the basketball court, sitting on benches, walking their dogs and using the restrooms and community center. During the highest usage period, users were observed in all areas of the park, from playing football on the lawn, playing basketball on the court, children playing in the playground and users sitting on benches, ledges and bleachers. Based on the current hours of operation, new shadow from the proposed project would only fall at times when the park is closed to the public. ■

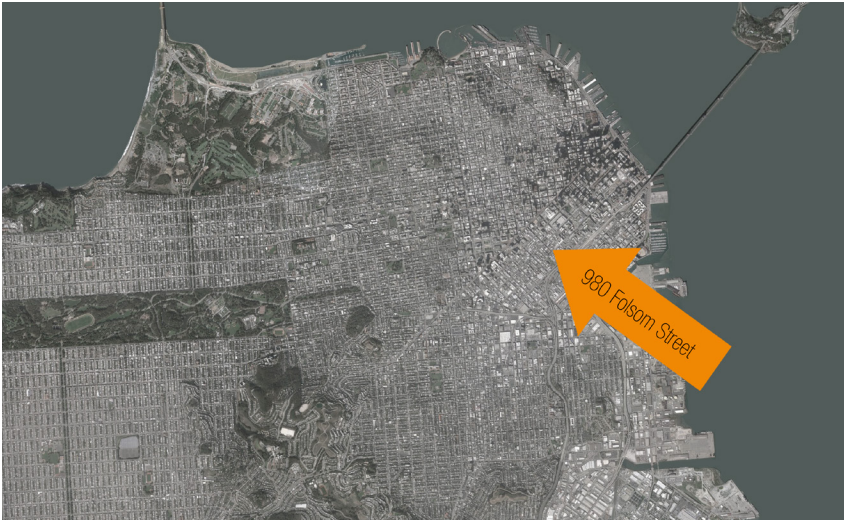


I. INTRODUCTION AND OVERVIEW

This report describes the results of an analysis conducted by PreVision Design to identify the shadow effects that would be caused by the proposed construction of an eight-story residential project at 980 Folsom Street (“the proposed project” or “980 Folsom Street”) on Gene Friend Recreation Center (“the park”), a public park protected under Section 295 of the San Francisco Planning Code. The project sponsor is 980 Folsom LLC, and the project architect is Goldman Architects.

The analysis was conducted according to criteria described in (1) the February 3, 1989 memorandum titled “Proposition K – The Sunlight Ordinance” prepared by the San Francisco Recreation and Park Department (RPD) and the San Francisco Planning Department (“the 1989 Proposition K memorandum”), and (2) the July 2014 memorandum titled “Shadow Analysis Procedures and Scope Requirements” prepared by the Planning Department.

This report includes a discussion of all criteria factored into the analysis: quantitative and qualitative reporting of new shadow generated by the project (including graphical detail of the location and extent of the project’s shading), discussion of what modifications to the project would be required to eliminate all new shadow impacts, and a description the project’s public good. This report does not present opinions or conclusions about whether or not the shadow from the proposed project would or should be considered significant/insignificant or acceptable/unacceptable. These determinations must be made by the San Francisco Planning Commission with input and recommendations from the RPD. ■



- Proposed 980 Folsom Street Project
- RPD parks
 - 1 Gene Friend Recreation Center
 - 2 Victoria Manalo Draves Park
- Cumulative Projects
 - 1 999 Folsom Street
 - 2 345 6th Street
 - 3 363 6th Street
 - 4 1025 Howard Street



FIGURE 1: Area Map



FIGURE 2: Project Rendering from Folsom Street



II. PROPOSED PROJECT

The proposed project would be located on a 2,560 square foot (sf) lot in the South of Market neighborhood of San Francisco on Assessor's Block 3732 / Lots 028, 035 and 152. Figure 1 shows the location of the proposed project. The project site currently contains a 7,530 gsf concrete building bounded by Clementina Street to the north, Folsom Street to the south, properties 974 Folsom and 481 Clementina Street to the east and properties 984 Folsom and 489 Clementina Street to the west. The project is within the Mixed-Use Residential (MUR) Zoning District, South of Market (SoMa)

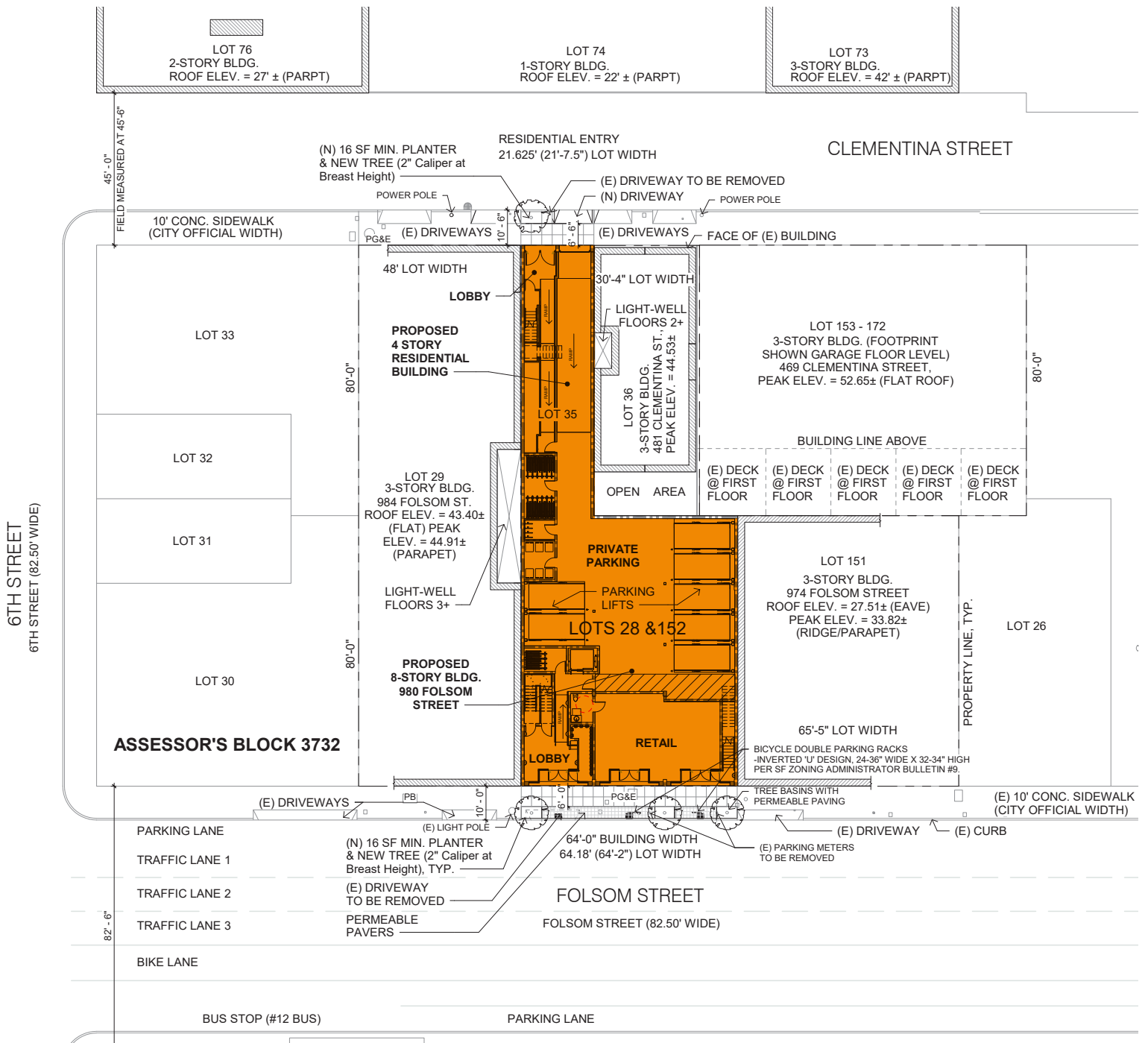


FIGURE 3: Project Site Plan



FIGURE 4: South (Folsom Street) Elevation

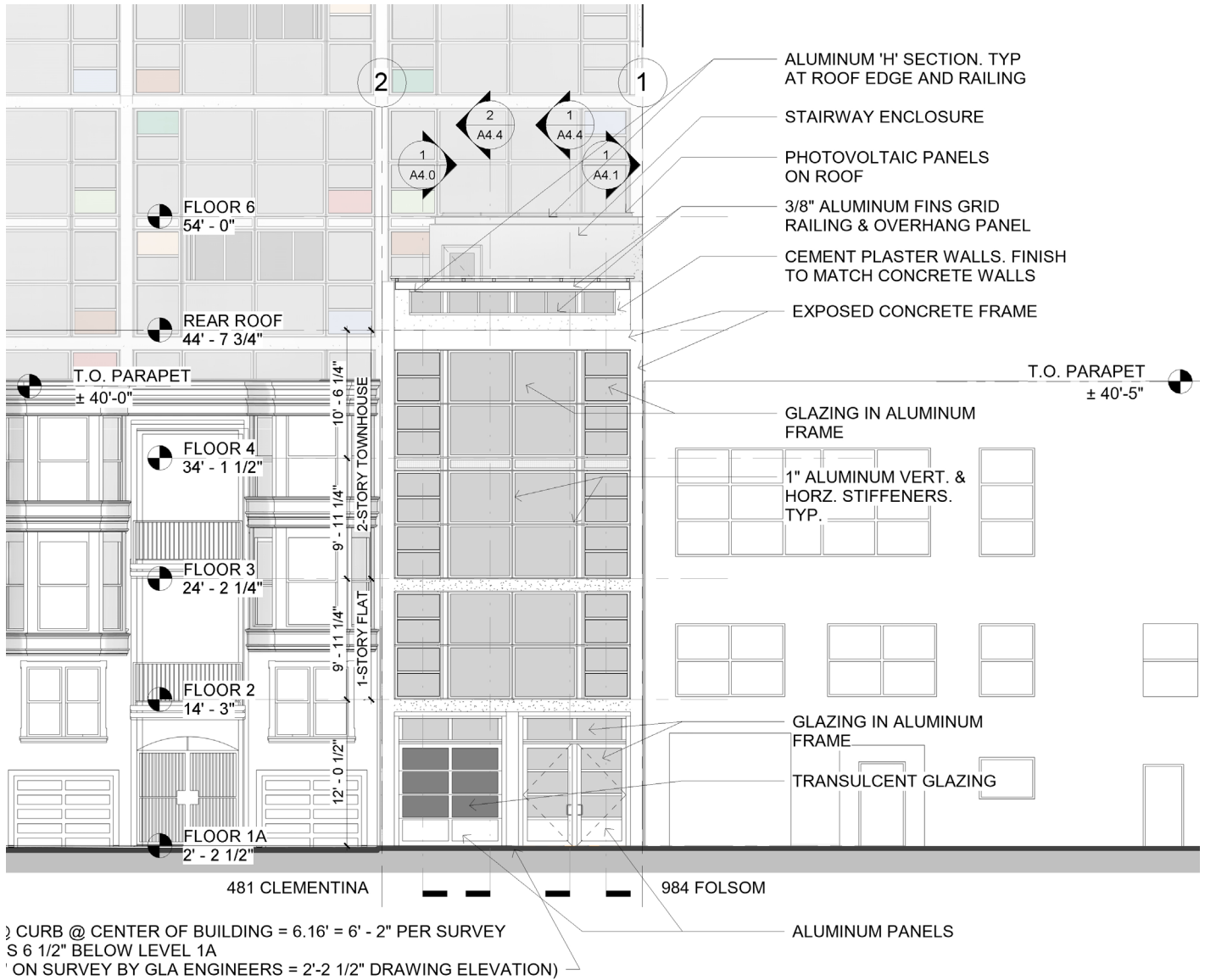


FIGURE 5: North (Clementina Street) Elevation

Youth and Family Special Use District the Youth and Family Special Use District, and within an 85-X Height and Bulk District.

The proposed project is an approximately 85-foot-high (+15 foot elevator penthouse), 8-story residential building containing 29 units above 951 sf of ground-floor commercial space and a residential lobby along Folsom Street. Along Clementina Street, the building measures approximately 43-feet-tall with four stories containing a total of four residential units. A residential lobby, meeting room and garage entry will be accessible from the ground floor. In total, the proposed project contains 36,197 gsf. Figure 2 shows a rendering of the proposed project, Figure 3 shows the proposed project site plan, and Figures 4 & 5 show the proposed street elevations. ■



Children's playground facing northwest

III. AFFECTED PARKS AND OPEN SPACES

Gene Friend Recreation Center

Gene Friend Recreation Center is a public park under the jurisdiction of the RPD. It is a 1.02 acre (44,351 square foot) urban park located in the South of Market neighborhood of San Francisco on Assessor's Block 3731 / Lot 010. It is approximately 1/2 block that is bounded by 6th Street to the northeast, Folsom Street to the southeast, property 240 6th Street to the northwest and Harriet Street to the southwest. The park is fenced and the official hours of operation are as follows:

Monday: 2-6 pm for children only

Tuesday through Thursday: 9 am-2 pm & 6-9 pm for all users and 2-6 pm for children

Friday: 9 am-2 pm & 6-9 pm for all users and 2-9 pm for children

Saturday: 9 am - 5 pm for all users

Sunday: Closed

The official park website is <http://sfrecpark.org/destination/gene-friend-rec-center-soma/>. Figure 6 shows a site plan of Gene Friend Recreation Center.



Basketball Court



Harriet Street Park Entrance

- ① Park Entries
- ② Basketball Court
- ③ Recreation Center
- ④ Playground
- ⑤ Restrooms
- ⑥ Lawn
- ⑦ Gymnasium



FIGURE 6: Gene Friend Recreation Center

The park contains a sand-floor playground, basketball court, lawn and a recreation center, which houses a gymnasium, activity room and auditorium. There are entrances from Folsom and Harriet Streets, and an entrance through the recreation center from 6th Street. The Folsom Street entrance has a pathway leading to the recreation center and a paved area with two benches on the southwest corner of the lawn. Trees and foliage line the northern edge leading up to the recreation center and the southwest edge of the lawn. West of the lawn is the playground, which has a curved, concrete ledge with seven mosaic sculptures separating the sandpit and jungle gym. The Harriet Street entrance is a palm tree-lined walkway also leading to recreation center, water fountain and restrooms. The basketball court and gymnasium are located on the northwest section of the park with palm trees and benches lining the southwest edge of the court. Additional seating is located on the basketball court behind the palm trees off of the walkway.

There are public restrooms located outside, west of the recreation center’s Harriet Street entrance.

Other Parks and Open Spaces

The proposed project does not have the potential cast new shadow any other public parks (including Victoria Manalo Draves Park) nor any privately owned public open spaces. ■

IV. SECTION 295 EVALUATION CRITERIA

Proposed buildings that would be more than 40 feet tall and that could cause new shadow in parks under the control of the RPD are subject to review under Section 295 of the San Francisco Planning Code. Section 295 requires the Planning Commission, with input from the Rec Park Commission to deny building permits for projects that would have shadow impacts on these parks, unless such impacts are found to be insignificant. In cases where parks have specific “shadow budgets” established by the 1989 Prop K Memorandum, any shading in excess of the stipulated increase could only be approved by a joint action by the San Francisco Planning and San Francisco Recreation and Parks Departments.

Following the direction provided by Section 295, an adverse impact is defined as the addition of new shadow from any development over 40 feet in height at any time throughout the year at times between one hour after sunrise through one hour before sunset, unless the Planning Commission, with input from the general manager of the RPD and the Recreation and Park Commission, determines that the impact would be insignificant. (In this report, the term “Section 295 cutoff times” refers to one hour after sunrise and one hour before sunset, and “Section 295 start time” refers to one hour after sunrise.)

Quantitative Evaluation Criteria

To guide the RPD and the Planning Department in determining what levels of new shading may be permissible, the 1989 Proposition K memorandum establishes tolerance level limits for new shadow. Certain parks have specifically assigned potentially permissible limits, while other parks are covered by generic standards tied to park size and the existing amount of annual shading that currently falls on the park. Gene Friend Recreation Center (formerly known as “South of Market Park”) is specifically identified by the Prop K Memorandum, with a potentially permissible limit of new shadow set at zero. As such, for *any* new shadow cast by a proposed project on this open space to be approved, an amendment to the Prop K legislation would need to be made at a joint hearing of the Planning and Rec Park Commissions.

Qualitative Evaluation Criteria

The 1989 Proposition K memorandum establishes qualitative evaluation criteria for each park based on existing shadow profiles, important times of the day, important seasons in the year, size and duration of new shadows, and the service of public good by buildings that would cast new shadows. In particular, in order to be considered not significant, new shadows must not adversely affect existing patterns of use in the park when evaluated by factors such as the value of sunlight and shadow characteristics (size, duration, and location). ■

V. ANALYSIS METHODOLOGY

Quantitative Analysis

The shadow analysis completed by PreVision Design used an accurately Geo-located 3D computer model of the proposed project, the park¹, and the surrounding urban environment to simulate and calculate both existing amounts of shading and levels of shading that would be present with the addition of the proposed project starting one hour after sunrise through one hour before sunset. Between these Section 295 cutoff times, the model performed snapshot analyses at 15-minute intervals and repeated this process for every seven days between the Summer Solstice and Winter Solstice. This half-year is referred to as a “solar year” for purposes of this report, and the data taken from these 27 sample dates throughout the course of the solar year are then mirrored with interim times and dates extrapolated to arrive at the full-year shading calculation. The difference between the current levels of shading and the levels of shading that would be present with the addition of the proposed project yields the total annual increase, measured in square-foot-hours (sfh) of shadow. This increase is taken as a percentage of TAAS of sun in the park (the amount of sun that would fall on the park throughout the year if there were no shading present at any time) to determine whether the new shadows created by the proposed project would fall within or outside the potentially permissible limits of increased shading. The findings of this quantitative analysis are discussed in Section VI.

Qualitative Analysis

To evaluate whether and how new shading might affect existing patterns of park use, PreVision Design conducted six site visits to the park to observe park use(s). Two site visits were performed in the morning, two at midday, and two late in the day, all within

¹ Park area/location reflects updated per data provided by SF Planning on 8/25/2017.

Section 295 cutoff times, with one set of visits on a weekday and one on a weekend. The findings of this qualitative analysis are discussed in Section VII.

Cumulative Shadow Analysis

This report also analyzes and discusses shadows from other projects in the vicinity of the proposed project that have undergone design review with the Planning Department such that their final form and massing have been reasonably established. These projects are included in this report in order to determine the cumulative shadow impact on Gene Friend Recreation Center – that is, the shadow impact that would result from these projects combined with the proposed project. The impact is discussed quantitatively and displayed graphically in the shadow diagrams in Exhibits B through D. The findings of the cumulative shadow analysis are discussed in Section VI. ■

VI. QUANTITATIVE SHADOW MODELING FINDINGS

Figure 7 summarizes the existing condition data and quantitative shadow impacts of the proposed project on the park. The full quantitative calculations for shading conditions on the park on all 27 analysis dates are included as Exhibit E.

Existing Conditions

The park area is 44,351 sf and currently has 79,066,849 annual square-foot-hours (sfh) of shadow. Based on a theoretical annual available sunlight (TAAS) of 165,049,284 sfh, the park is currently shaded 47.905% of the year.

Increase in Shadow from Proposed Project

The proposed project would result in new shadows falling on the park, adding approximately 8,567 net new annual sfh of shadow and increasing sfh of shadow by 0.005% above current levels, resulting in a new annual total shading of 47.910%.

Timing and Location of New Shadows from Proposed Project

New shadows from the proposed project would occur within the first half hour after the Section 295 start time between May 4 and August 8, with new shadows falling along the western periphery park near Harriet Street entry, impacting a small area north of the entry walkway to the Recreation Center as well as portions along the western edge of the basketball court. Exhibit A graphically represents the aggregate shadow boundary of areas receiving new shading from the proposed project throughout the year.

THEORETICAL ANNUAL AVAILABLE SUNLIGHT (TAAS)	GENE FRIEND REC CENTER
Area of Gene Friend Rec Center	1.02 acres (44,351 sf)
Hours of annual available sunlight	3721.4 hrs
TAAS for Gene Friend Rec Center	165,049,284 sfh
EXISTING (CURRENT) LEVELS OF SHADOW	GENE FRIEND REC CENTER
Existing annual total shading on park (sfh)	79,066,849 sfh
Existing shading as percentage of TAAS	47.905%
NEW SHADOW CAST BY THE PROPOSED 980 FOLSOM STREET PROJECT	GENE FRIEND REC CENTER
Additional annual shading on Gene Friend Rec Center from Project	8,567 sfh
Additional annual shading from Project as percentage of TAAS	0.005%
Combined total annual shading existing + Project (sfh)	79,075,417 sfh
Combined total annual shading from existing + Project as percentage of TAAS	47.910%
Number of days when new shading from Project would occur	85-97 days annually
Dates when new shadow from Project would be cast on Gene Friend Rec Center	Between May 4 - Aug 8
Annual range in duration of new Project shadow (duration variance +/- 6 min.)	Zero to approx. 23 min
Range in area of new Project shadow (sf)	Zero to 805 sf
Average daily duration of new Project shadow (when present)	Approx. 16 min.
MAXIMUM NEW SHADING BY THE PROPOSED PROJECT	GENE FRIEND REC CENTER
Dates of maximum new shading from proposed Project (max sfh)	June 21
Total new shading on date(s) of maximum shading (sfh)	217.17 sfh
Percentage new shadow on date(s) of maximum shading	0.038%
Date and duration of longest duration of new shading (duration variance +/- 6 min.)	Approx. 23 min on Jul 19 & May 24
Date and time of largest area of new Project shadow	805 sf on June 21 at 7:00 AM
Percentage of Gene Friend Rec Center covered by largest new shadow	1.815%
NEW SHADOW CAST BY THE PROPOSED PROJECT + CUMULATIVE	GENE FRIEND REC CENTER
Additional annual shading from Project + Cumulative only (sfh)	2,207,907 sfh
Additional annual shading from Project + Cumulative only as percentage of TAAS	1.338%
Combined total annual shading Existing + Project + Cumulative (sfh)	81,274,757 sfh
Combined shading from Existing + Project + Cumulative as percentage of TAAS	49.243%
Number of days when new shading from Project + Cumulative would occur	295-307 days annually
Dates when new shading from Project + Cumulative would occur	Between Jan 19 - Nov 21
Annual range in duration of new Project +Cumulative shadow (duration variance +/- 13 min.)	Zero to approx. 246 min
Range in area of Project + Cumulative new shadows (sf)	Zero to 17,305 sf
Average daily duration of new Project + Cumulative shadow (when present)	Approx. 119 min.
PROPOSED PROJECT + CUMULATIVE MAX SHADING DAY(S)	GENE FRIEND REC CENTER
Dates of maximum Project + Cumulative new shading (max sfh)	May 10 & Aug 2
Total new shading on date(s) of maximum shading (sfh)	13,444.25 sfh
Percentage new shading on date(s) of maximum shading	2.505%
Date and duration of longest duration of new shading (duration variance +/- 13 min.)	Approx. 233 min on Jul 12 & May 31
Date and time of largest area of new Cumulative shadow	17,305 sf on Sep 20/Mar 22 at 7:57 AM
Percentage of Gene Friend Rec Center covered by largest new shadow	39.019%

FIGURE 7: Project & Cumulative Condition Quantitative Shading Breakdown

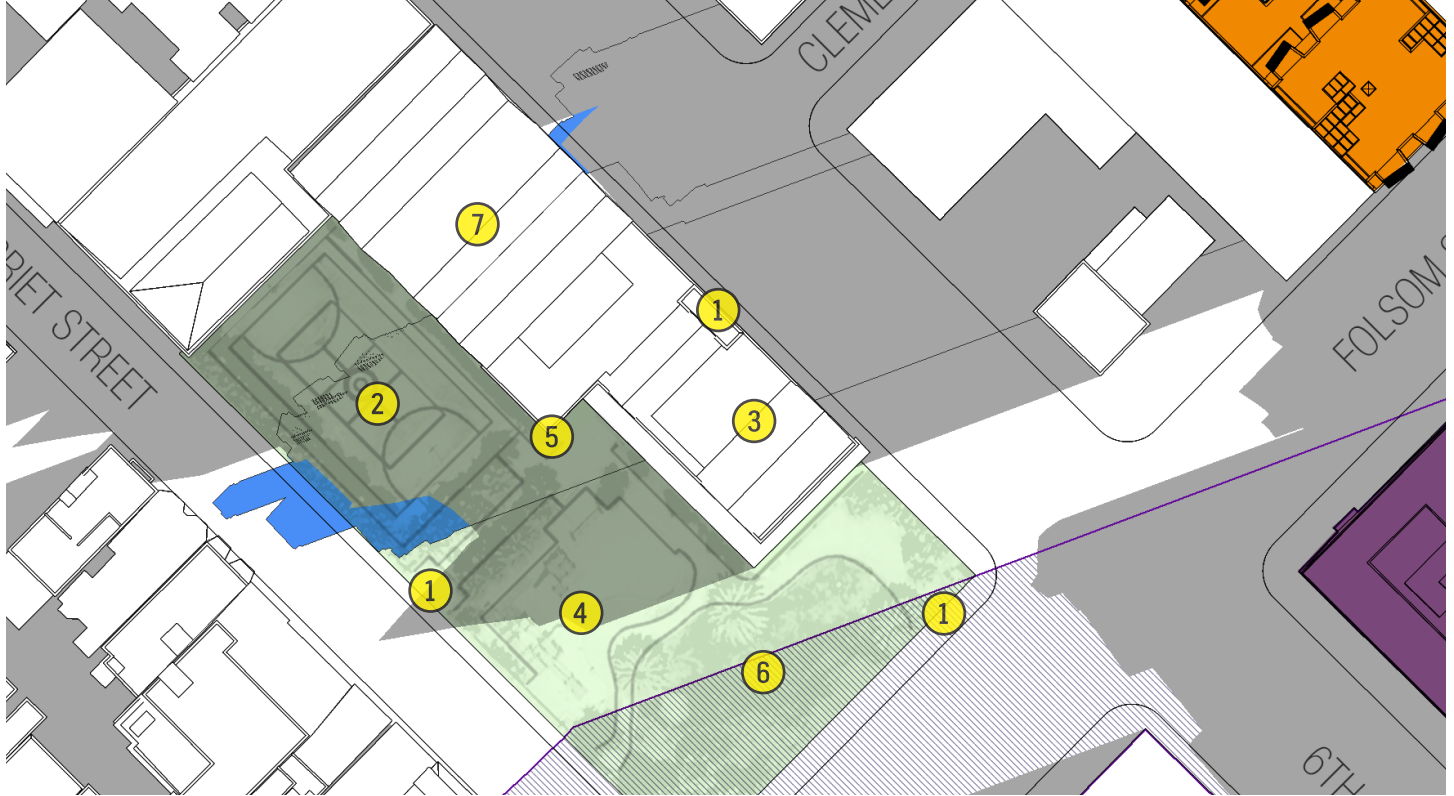


FIGURE 8: Largest New Shadow @ 7am on 6/21

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 2 Basketball Court
- 3 Recreation Center
- 4 Playground
- 5 Restrooms
- 6 Lawn
- 7 Gymnasium

The day of maximum quantitative shading on the park due to the proposed project would occur on June 21, when the proposed project would shade a portion of the park adjacent to the Harriet Street entry pathway starting at 6:46am and be present for approximately 23 minutes (+/- 6min)². The duration of proposed project-generated new shadow would vary throughout the year, with new shadow lasting between zero and 23 minutes (+/- 6 min). No new shadow would be generated at any time throughout the year at 7:30 am or later.

Increase in Shadow under Cumulative Conditions

The “cumulative shading” from the proposed project combined with the other planned projects in the vicinity would result in an increase of 2,207,907 sfh of shadow on the park, compared to an increase of 8,567 sfh from the proposed project alone. This increase in sfh would result in an annual shading total of 49.243%, an increase of 1.338% over existing conditions, or an increase in shading relative to the project alone of 1.333%. Figure 7 also includes a breakdown of shading for the cumulative shadow scenario. ■

² As shading data is collected only every 15 minutes, precise start and stop times listed are approximations with possible variance stated in parenthesis.

VII. QUALITATIVE ANALYSIS

Observed Park Uses

Within the six 30-minute observation periods conducted by PreVision Design between October 22nd and 31st, 2015, the intensity of park usage varied from a low count of 10 users on a weekend morning to a peak intensity of 59 users occurring on a weekday afternoon. A majority of observed users were entering or exiting the recreation center from the Harriet Street entrance. Benches were consistently used with approximately 2 to 9 users sitting, relaxing or socializing, with the exception of the weekend afternoon. Similar levels of use were observed at the basketball court with approximately 1 to 21 users shooting hoops or playing competitively, sitting in the bleachers or skateboarding, with the exception of weekday mid-day. It was observed that the intensity of the park was highest during the weekday afternoon, likely due to after-school activities. During this time, all areas of the park were utilized, including the lawn for playing as well as the jungle gym. At other times, the predominant usage was for sitting, relaxing and socializing on benches, bleachers or concrete ledges by the play area. One user was observed shooting hoops on a weekday morning and weekend mid-day and two users were observed walking their dogs during the weekend mid-day.

Approximately 3 to 6 park and recreation center workers were observed during the morning observation periods, but are not included in the user tabulation below because their activity was not recreational in nature. See Figure 9 for an observation summary.

OBSERVATION TIME	DATE OF VISIT	PARK USERS	TEMP - WEATHER
Weekday Morning	10/29/2015	17	56° F - Fair
Weekday Midday	10/22/2015	12	66° F – Partly Cloudy
Weekday Afternoon	10/23/2015	59	70° F – Partly Sunny
Weekend Morning	10/31/2015	10	60° F - Fair
Weekend Midday	10/31/2015	15	69° F - Fair
Weekend Afternoon	10/31/2015	19	73° F – Partly Cloudy

FIGURE 9: Park Use Observations

Overall observed peak use of the park occurred on a weekday afternoon, with other times being used by a 1/3 or fewer patrons. Accordingly, intensity of use varied, but could be characterized as low to moderate size.

The Value of Sunlight

The value of sunlight varies depending on the nature of features being shaded as well as their intensity of use. Benches, picnic tables, play areas, and other similar features at which users are usually stationary for periods of time are typically considered more sensitive than transitional spaces (such as walkways), or wooded areas where shadow is already a predominant and expected condition. Additionally, open areas of sufficient size that are substantially unshaded (large grassy areas, etc.) may be considered less affected by new shadow if the areas also have low use intensity and if users seeking sunshine would be able to navigate to a sunny spot with minimal inconvenience. Finally, the value of sunlight varies with the abundance or scarcity of features relative to demand. For example, new shadow affecting 10 benches in a little-used park that has a total of 25 benches would potentially have less impact than new shadow affecting 5 benches in a heavily used park that has only 10 benches. In the latter case, the value of a sunny bench is elevated due to its relative scarcity.

At the time of this analysis, the park would be closed to the public at times when new shadow would be cast on the park so no members of the public would be affected by project-generated shadow. In order for public users to potentially be affected by project shadow, the park would need to open prior to 7:30am.

Shadow Characteristics

Throughout the year, new shadow due to the proposed project would occur along the western periphery park near Harriet Street entry, impacting a small area north of the entry walkway to the Recreation Center as well as portions along the western edge of the basketball court (see Exhibit A), with new shadow being present within the first 38 minutes of Section 295 hours. At the moment of maximum annual shading (7:00am on June 21), the new shadow would cover 805 square feet, or 1.815%, of the total park area. It should be noted that the earliest the park is currently open is 9am, which is approximately one and a half hours after the latest project generated shadow has left the park (new shadows would be gone between 7:15-7:30 AM on affected dates).

Exhibits B through D graphically illustrate shading conditions at hourly intervals throughout the day between the Section 295 cutoff times at the Summer Solstice/Day of Maximum Project Shadow (June 21), the Vernal and Autumnal Equinoxes (March 20 and September 22), the Winter Solstice (December 21). ■

VIII. DEVELOPMENT ALTERNATIVES

Project Alternative That Would Result in No New Shadow on Gene Friend Recreation Center

In order for the proposed project to eliminate all new shadow on the Gene Friend Recreation Center, the overall building height of the 85' building tower along Folsom Street would need to be reduced by approximately 20'-25' (depending on the viability of relocating some rooftop structures). This would likely result in a reduction of around 10 residential units. ■

IX. PROJECT-RELATED PUBLIC GOOD

In order to assist decision-makers in evaluating whether new shading generated by the proposed project would be acceptable, consideration of the public good or public benefits associated with the proposed project must be weighed against effects of new shadows on the park. Preceding sections of this report establish the quantitative and qualitative impacts of new shading. This section describes some key benefits of the proposed project, as provided by the project sponsor.

Needed Uses

The proposed project would add approximately 33 dwelling units to the city's housing stock with 29-units at market rate and 4 at below-market-rate value, which include 2 one-bedroom apartments and 2 two-bedroom townhouses and adheres to the expressed goal of the South of Market (SoMa) Youth and Family Special Use District, which is to expand the affordable housing opportunities. In total, the project includes 14 two-bedroom townhouses, 1 two-bedroom flat, 16 one-bedroom units and 2 studios, which would provide housing for a range of family sizes. The proposed project would also provide approximately 951-square feet of ground-floor commercial space along Folsom Street. New sidewalks and street trees will be provided along both Folsom Street and Clementina Street.

Building Design and Urban Form

Four community consultation meetings were conducted between June 13 and September 11, 2013. The meetings provided feedback which resulted in a light well on the east side of the Clementina portion of the proposed development, which aligns with the west light well of the 481 Clementina building. The courtyard, which borders the rear yard of

property 481 Clementina Street, has six-foot-tall guardrails with translucent glazing, as requested by the Clementina neighbors.

Impact Fees

The proposed project would pay a residential fee of approximately \$530,000 and Commercial Fee of approximately \$21,000 to the City via the Eastern Neighborhoods Impact and Housing Fees as well as approximately \$55,000 to the San Francisco Unified School District. These fees would benefit the public through their use in financing new public infrastructure and capital improvements in the area.

Community Outreach by the Project Sponsor

On June 13, 2013, the project sponsor held their Planning Department required pre-application meeting. All adjacent neighbors were notified for this meeting, as well as all neighbors directly across Clementina Street and across Folsom Street. 60 neighbors were contacted along with 45 nearby and city-wide neighborhood organizations. Seven people attended the meeting, four of which were from 481 Clementina St., the condominium building located to the east of the project on Clementina St. The 481 Clementina neighbors expressed some concerns about the appearance of the east wall of the Clementina portion of the project and its effect on the light in their west light well. They were also concerned about the north guardrail and east guardrail along the project's podium level courtyard. The neighbors were concerned about losing privacy in their rear courtyard when the project's podium courtyard was occupied.

Three additional meetings occurred with the 481 Clementina neighbors, one informal meeting at 481 Clementina so they could show the project architect their units' floor plans and their west light well, and two follow up meetings at the project architect's office at 172 Russ Street on July 23, and September 11, 2013.

The following changes were made to the project design in response to neighborhood concerns:

- The addition of a light well on the east side of the Clementina portion of the project which aligns with the west light well of the 481 Clementina building.
- Increased the height of the guardrails to 6' along the courtyard area which borders the 481 Clementina rear yard courtyard, constructed with translucent glazing (per the preference of the Clementina Neighbors).

As of October, 2013, the above-listed modifications to the project addressed the 481 Clementina neighbors' concerns. No other specific concerns were raised by anyone

attending the pre-application meeting nor have been received by the project sponsor since that date, so the project sponsor is not aware of any project opponents at this time.

The project sponsor intends to hold one additional future neighborhood outreach meeting upon receiving final design approval from Planning in order to bring the neighbors and neighborhood groups up to date on any design modifications to the project. ■



EXHIBIT A: REFINED SHADOW FAN DIAGRAM

A1 - Areas of new shading from project (full-year)

Diagram showing extents of all areas receiving new shadow from the proposed project at *some* point during the year.

A1.1

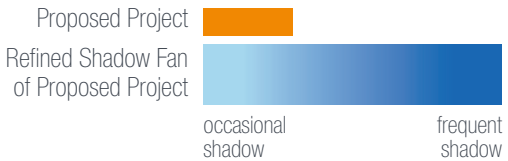
980 FOLSOM STREET

Refined Shadow Fan diagram, factoring in existing shadow



AGGREGATE NEW SHADOW AREAS OF IMPACT REFINED SHADOW FAN

FULL YEAR



- Gene Friend Rec Center Legend
- ① Park Entries
 - ② Basketball Court
 - ③ Recreation Center
 - ④ Playground
 - ⑤ Restrooms
 - ⑥ Lawn
 - ⑦ Gymnasium

- Gene Friend Rec Center Cumulative Projects
- ① 999 Folsom Street
- ② 345 6th Street
- ③ 363 6th Street
- ④ 1025 Howard Street



EXHIBIT B: SHADOW DIAGRAMS ON SUMMER SOLSTICE

B1 - June 21 (Date of Max Project Shading)

Diagrams at one hour intervals starting one hour after sunrise to one hour prior to sunset and at 15 minute intervals when project shading is present in (or near) the park.

B1.1

980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

6:46 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.2

980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

7:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.3

980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

7:15 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 2 Basketball Court
- 3 Recreation Center
- 4 Playground
- 5 Restrooms
- 6 Lawn
- 7 Gymnasium

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.4

980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

8:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.5

980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

9:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.6

980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

10:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.7

980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

11:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.8

980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

12:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 2 Basketball Court
- 3 Recreation Center
- 4 Playground
- 5 Restrooms
- 6 Lawn
- 7 Gymnasium

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.9

980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

1:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.10 980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

2:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.11 980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

3:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.12 980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

4:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.13 980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

5:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.14 980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

6:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.15 980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

7:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

B1.16 980 FOLSOM STREET

Shading diagrams on the Summer Solstice



**SUMMER SOLSTICE
JUNE 21**

7:36 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street



EXHIBIT C: SHADOW DIAGRAMS ON EQUINOXES

C1 - September 20 (Autumnal), March 22 (Vernal) similar

Diagrams at one hour intervals starting one hour after sunrise to one hour prior to sunset.

C1.1

980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

7:57 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.2

980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

8:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.3

980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

9:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.4

980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

10:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.5

980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

11:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.6

980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

12:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.7

980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

1:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.8

980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

2:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.9

980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

3:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.10 980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

4:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.11 980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

5:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 2 Basketball Court
- 3 Recreation Center
- 4 Playground
- 5 Restrooms
- 6 Lawn
- 7 Gymnasium

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.12 980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

6:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

C1.13 980 FOLSOM STREET

Shading diagrams near the Fall/Spring Equinoxes



**APPROX. FALL EQUINOX (SPRING SIMILAR)
SEPTEMBER 20**

6:09 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street



EXHIBIT D: SHADOW DIAGRAMS ON WINTER SOLSTICE

D1 - December 20

Diagrams at one hour intervals starting one hour after sunrise to one hour prior to sunset.

D1.1

980 FOLSOM STREET

Shading diagrams on the Winter Solstice



WINTER SOLSTICE
DECEMBER 20

8:19 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

D1.2

980 FOLSOM STREET

Shading diagrams on the Winter Solstice



**WINTER SOLSTICE
DECEMBER 20**

9:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

D1.3

980 FOLSOM STREET

Shading diagrams on the Winter Solstice



WINTER SOLSTICE
DECEMBER 20

10:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

D1.4

980 FOLSOM STREET

Shading diagrams on the Winter Solstice



WINTER SOLSTICE
DECEMBER 20

11:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

D1.5

980 FOLSOM STREET

Shading diagrams on the Winter Solstice



WINTER SOLSTICE
DECEMBER 20

12:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

D1.6

980 FOLSOM STREET

Shading diagrams on the Winter Solstice



WINTER SOLSTICE
DECEMBER 20

1:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

D1.7

980 FOLSOM STREET

Shading diagrams on the Winter Solstice



WINTER SOLSTICE
DECEMBER 20

2:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

D1.8

980 FOLSOM STREET

Shading diagrams on the Winter Solstice



WINTER SOLSTICE
DECEMBER 20

3:00 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street

D1.9

980 FOLSOM STREET

Shading diagrams on the Winter Solstice



WINTER SOLSTICE
DECEMBER 20

3:54 PM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street
- 4 1025 Howard Street



EXHIBIT E: QUANTITATIVE SHADING DATA

Quantitative Shading Data for Gene Friend Recreation Center

Shadow data for existing conditions, new shading from project, and cumulative condition shading

JUNE 21

Analysis Hours: 6:46 AM-7:36 PM (PDT)

SUMMER SOLSTICE

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
6:46 AM	32,129.66	3534.26	72.4%	291.50	32.06	0.7%	4,133.61	454.70	9.3%
7:00 AM	30,503.33	7015.77	68.8%	804.79	185.10	1.8%	6,144.78	1413.30	13.9%
7:15 AM	28,644.27	7161.07	64.6%	0.00	0.00	0.0%	5,781.99	1445.50	13.0%
7:30 AM	27,071.05	6767.76	61.0%	0.00	0.00	0.0%	4,444.09	1111.02	10.0%
7:45 AM	25,637.95	6409.49	57.8%	0.00	0.00	0.0%	2,247.56	561.89	5.1%
8:00 AM	24,356.05	6089.01	54.9%	0.00	0.00	0.0%	985.45	246.36	2.2%
8:15 AM	23,278.77	5819.69	52.5%	0.00	0.00	0.0%	313.01	78.25	0.7%
8:30 AM	22,333.68	5583.42	50.4%	0.00	0.00	0.0%	5.29	1.32	0.0%
8:45 AM	21,529.52	5382.38	48.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	20,845.37	5211.34	47.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	20,244.89	5061.22	45.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,724.65	4931.16	44.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	19,258.24	4814.56	43.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,851.82	4712.95	42.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,478.42	4619.61	41.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	18,151.96	4537.99	40.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,838.76	4459.69	40.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,560.34	4390.08	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	17,281.56	4320.39	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	17,038.19	4259.55	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,780.74	4195.18	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,563.94	4140.98	37.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,377.33	4094.33	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,370.85	4092.71	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.81	4092.45	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.36	4092.34	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.13	4092.28	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,368.94	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.84	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,354.69	4088.67	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,376.23	4094.06	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,588.80	4147.20	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,747.73	4186.93	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,932.46	4233.12	38.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	17,108.77	4277.19	38.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,307.73	4326.93	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,506.67	4376.67	39.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,727.83	4431.96	40.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	17,956.46	4489.12	40.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	18,210.49	4552.62	41.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	18,483.20	4620.80	41.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	18,786.54	4696.64	42.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	19,144.20	4786.05	43.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	19,756.05	4939.01	44.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	20,675.36	5168.84	46.6%	0.00	0.00	0.0%	11.80	2.95	0.0%
6:00 PM	21,886.08	5471.52	49.3%	0.00	0.00	0.0%	176.76	44.19	0.4%
6:15 PM	23,240.66	5810.17	52.4%	0.00	0.00	0.0%	608.32	152.08	1.4%
6:30 PM	24,778.10	6194.52	55.9%	0.00	0.00	0.0%	1,393.54	348.38	3.1%
6:45 PM	26,695.20	6673.80	60.2%	0.00	0.00	0.0%	2,652.91	663.23	6.0%
7:00 PM	28,548.75	7137.19	64.4%	0.00	0.00	0.0%	4,902.01	1225.50	11.1%
7:15 PM	30,614.24	9184.27	69.0%	0.00	0.00	0.0%	7,879.49	2363.85	17.8%
7:36 PM	33,956.50	6112.17	76.6%	0.00	0.00	0.0%	9,939.12	1789.04	22.4%

JUNE 28

Analysis Hours: 6:48 AM-7:36 PM (PDT)

JUNE 14 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
6:48 AM	32,114.51	3211.45	72.4%	295.20	29.52	0.7%	4,292.97	429.30	9.7%
7:00 AM	30,737.82	6762.32	69.3%	731.26	160.88	1.6%	6,015.41	1323.39	13.6%
7:15 AM	28,846.26	7211.56	65.0%	0.00	0.00	0.0%	5,972.28	1493.07	13.5%
7:30 AM	27,237.48	6809.37	61.4%	0.00	0.00	0.0%	4,885.13	1221.28	11.0%
7:45 AM	25,789.62	6447.41	58.1%	0.00	0.00	0.0%	2,540.93	635.23	5.7%
8:00 AM	24,481.27	6120.32	55.2%	0.00	0.00	0.0%	1,145.13	286.28	2.6%
8:15 AM	23,382.22	5845.56	52.7%	0.00	0.00	0.0%	396.38	99.10	0.9%
8:30 AM	22,425.91	5606.48	50.6%	0.00	0.00	0.0%	42.15	10.54	0.1%
8:45 AM	21,605.00	5401.25	48.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	20,908.69	5227.17	47.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	20,298.24	5074.56	45.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,770.33	4942.58	44.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	19,297.69	4824.42	43.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,885.48	4721.37	42.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,508.05	4627.01	41.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	18,177.97	4544.49	41.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,861.97	4465.49	40.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,581.50	4395.37	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	17,301.11	4325.28	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	17,055.78	4263.95	38.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,797.34	4199.33	37.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,579.11	4144.78	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,379.65	4094.91	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,370.99	4092.75	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.90	4092.48	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.39	4092.35	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.20	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,368.97	4092.24	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.83	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,361.90	4090.48	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,342.26	4085.56	36.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,567.02	4141.76	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,725.15	4181.29	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,909.71	4227.43	38.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	17,085.11	4271.28	38.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,283.47	4320.87	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,481.20	4370.30	39.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,701.29	4425.32	39.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	17,928.51	4482.13	40.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	18,180.53	4545.13	41.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	18,449.75	4612.44	41.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	18,751.38	4687.85	42.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	19,105.28	4776.32	43.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	19,710.54	4927.63	44.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	20,618.82	5154.71	46.5%	0.00	0.00	0.0%	7.63	1.91	0.0%
6:00 PM	21,823.69	5455.92	49.2%	0.00	0.00	0.0%	153.04	38.26	0.3%
6:15 PM	23,175.98	5794.00	52.3%	0.00	0.00	0.0%	563.56	140.89	1.3%
6:30 PM	24,700.19	6175.05	55.7%	0.00	0.00	0.0%	1,321.68	330.42	3.0%
6:45 PM	26,606.73	6651.68	60.0%	0.00	0.00	0.0%	2,559.34	639.83	5.8%
7:00 PM	28,481.30	7120.32	64.2%	0.00	0.00	0.0%	4,677.48	1169.37	10.5%
7:15 PM	30,566.36	9169.91	68.9%	0.00	0.00	0.0%	7,628.08	2288.42	17.2%
7:36 PM	34,044.20	6127.96	76.8%	0.00	0.00	0.0%	9,851.43	1773.26	22.2%

JULY 5

Analysis Hours: 6:52 AM-7:36 PM (PDT)

JUNE 7 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
6:52 AM	32,064.37	1923.86	72.3%	298.22	17.89	0.7%	4,789.76	287.39	10.8%
7:00 AM	31,021.95	5894.17	69.9%	538.05	102.23	1.2%	6,018.37	1143.49	13.6%
7:15 AM	29,099.23	7274.81	65.6%	0.00	0.00	0.0%	6,486.31	1621.58	14.6%
7:30 AM	27,423.50	6855.88	61.8%	0.00	0.00	0.0%	5,704.88	1426.22	12.9%
7:45 AM	25,951.91	6487.98	58.5%	0.00	0.00	0.0%	3,108.39	777.10	7.0%
8:00 AM	24,611.83	6152.96	55.5%	0.00	0.00	0.0%	1,458.30	364.58	3.3%
8:15 AM	23,484.22	5871.05	53.0%	0.00	0.00	0.0%	565.93	141.48	1.3%
8:30 AM	22,521.88	5630.47	50.8%	0.00	0.00	0.0%	126.49	31.62	0.3%
8:45 AM	21,675.72	5418.93	48.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	20,963.47	5240.87	47.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	20,343.49	5085.87	45.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,803.80	4950.95	44.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	19,323.13	4830.78	43.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,904.74	4726.18	42.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,522.19	4630.55	41.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	18,188.04	4547.01	41.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,868.98	4467.24	40.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,585.57	4396.39	39.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	17,302.94	4325.73	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	17,055.45	4263.86	38.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,795.43	4198.86	37.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,575.47	4143.87	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,379.08	4094.77	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,370.97	4092.74	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.86	4092.46	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.43	4092.36	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.18	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.02	4092.25	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.86	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,367.96	4091.99	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,310.46	4077.62	36.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,535.39	4133.85	37.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,693.42	4173.35	37.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,878.23	4219.56	38.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	17,053.28	4263.32	38.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,251.52	4312.88	38.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,448.50	4362.12	39.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,668.13	4417.03	39.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	17,894.20	4473.55	40.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	18,145.27	4536.32	40.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	18,412.92	4603.23	41.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	18,712.84	4678.21	42.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	19,089.50	4772.38	43.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	19,743.93	4935.98	44.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	20,692.19	5173.05	46.7%	0.00	0.00	0.0%	5.71	1.43	0.0%
6:00 PM	21,921.83	5480.46	49.4%	0.00	0.00	0.0%	141.57	35.39	0.3%
6:15 PM	23,290.21	5822.55	52.5%	0.00	0.00	0.0%	549.11	137.28	1.2%
6:30 PM	24,831.74	6207.94	56.0%	0.00	0.00	0.0%	1,315.71	328.93	3.0%
6:45 PM	26,766.85	6691.71	60.4%	0.00	0.00	0.0%	2,590.26	647.56	5.8%
7:00 PM	28,693.67	7173.42	64.7%	0.00	0.00	0.0%	4,652.36	1163.09	10.5%
7:15 PM	30,853.25	9255.98	69.6%	0.00	0.00	0.0%	7,443.11	2232.93	16.8%
7:36 PM	34,329.53	6179.31	77.4%	0.00	0.00	0.0%	9,566.10	1721.90	21.6%

JULY 12

Analysis Hours: 6:56 AM-7:33 PM (PDT)

MAY 31 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
6:56 AM	31,972.14	959.16	72.1%	234.29	7.03	0.5%	5,574.38	167.23	12.6%
7:00 AM	31,383.23	4707.48	70.8%	295.75	44.36	0.7%	6,209.69	931.45	14.0%
7:15 AM	29,404.25	7351.06	66.3%	0.00	0.00	0.0%	7,296.95	1824.24	16.5%
7:30 AM	27,630.01	6907.50	62.3%	0.00	0.00	0.0%	6,827.96	1706.99	15.4%
7:45 AM	26,122.10	6530.52	58.9%	0.00	0.00	0.0%	3,992.59	998.15	9.0%
8:00 AM	24,747.47	6186.87	55.8%	0.00	0.00	0.0%	1,962.49	490.62	4.4%
8:15 AM	23,583.86	5895.96	53.2%	0.00	0.00	0.0%	841.98	210.50	1.9%
8:30 AM	22,604.36	5651.09	51.0%	0.00	0.00	0.0%	269.95	67.49	0.6%
8:45 AM	21,742.46	5435.62	49.0%	0.00	0.00	0.0%	19.08	4.77	0.0%
9:00 AM	21,009.46	5252.37	47.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	20,372.43	5093.11	45.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,823.08	4955.77	44.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	19,333.60	4833.40	43.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,908.49	4727.12	42.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,520.13	4630.03	41.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	18,181.36	4545.34	41.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,858.82	4464.71	40.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,572.14	4393.04	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	17,286.47	4321.62	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	17,036.57	4259.14	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,774.54	4193.64	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,552.56	4138.14	37.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,376.36	4094.09	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,370.91	4092.73	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.89	4092.47	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.44	4092.36	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.17	4092.29	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.02	4092.25	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.91	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.77	4092.19	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,331.39	4082.85	36.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,493.65	4123.41	37.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,653.22	4163.30	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,838.77	4209.69	38.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	17,013.81	4253.45	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,212.46	4303.11	38.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,409.24	4352.31	39.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,629.02	4407.26	39.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	17,854.69	4463.67	40.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	18,105.62	4526.41	40.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	18,372.12	4593.03	41.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	18,679.27	4669.82	42.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	19,121.31	4780.33	43.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	19,866.06	4966.51	44.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	20,910.43	5227.61	47.1%	0.00	0.00	0.0%	4.98	1.25	0.0%
6:00 PM	22,191.86	5547.96	50.0%	0.00	0.00	0.0%	141.44	35.36	0.3%
6:15 PM	23,591.48	5897.87	53.2%	0.00	0.00	0.0%	565.15	141.29	1.3%
6:30 PM	25,194.48	6298.62	56.8%	0.00	0.00	0.0%	1,378.41	344.60	3.1%
6:45 PM	27,198.47	6799.62	61.3%	0.00	0.00	0.0%	2,746.98	686.74	6.2%
7:00 PM	29,205.46	7301.36	65.9%	0.00	0.00	0.0%	4,805.32	1201.33	10.8%
7:15 PM	31,518.59	8825.20	71.1%	0.00	0.00	0.0%	7,333.83	2053.47	16.5%
7:33 PM	34,822.55	5223.38	78.5%	0.00	0.00	0.0%	9,073.08	1360.96	20.5%

JULY 19

Analysis Hours: 7:01 AM-7:30 PM (PDT)

MAY 24 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:01 AM	31,807.73	4135.01	71.7%	139.25	18.10	0.3%	6,729.89	874.89	15.2%
7:16 AM	29,587.18	7100.92	66.7%	31.49	7.56	0.1%	8,468.84	2032.52	19.1%
7:30 AM	27,853.43	6684.82	62.8%	0.00	0.00	0.0%	8,143.52	1954.44	18.4%
7:45 AM	26,282.58	6570.64	59.3%	0.00	0.00	0.0%	5,233.26	1308.32	11.8%
8:00 AM	24,871.05	6217.76	56.1%	0.00	0.00	0.0%	2,679.83	669.96	6.0%
8:15 AM	23,666.86	5916.72	53.4%	0.00	0.00	0.0%	1,242.12	310.53	2.8%
8:30 AM	22,656.88	5664.22	51.1%	0.00	0.00	0.0%	478.78	119.69	1.1%
8:45 AM	21,795.73	5448.93	49.1%	0.00	0.00	0.0%	107.41	26.85	0.2%
9:00 AM	21,035.95	5258.99	47.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	20,382.78	5095.69	46.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,821.76	4955.44	44.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	19,323.02	4830.75	43.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,890.67	4722.67	42.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,496.44	4624.11	41.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	18,153.99	4538.50	40.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,826.99	4456.75	40.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,537.43	4384.36	39.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	17,248.35	4312.09	38.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,996.06	4249.02	38.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,731.61	4182.90	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,507.70	4126.92	37.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,373.71	4093.43	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,370.71	4092.68	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.82	4092.46	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.43	4092.36	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.17	4092.29	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.02	4092.25	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.89	4092.22	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.81	4092.20	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,355.04	4088.76	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,433.67	4108.42	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,607.28	4151.82	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,794.06	4198.52	37.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	16,969.80	4242.45	38.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,169.46	4292.37	38.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,366.76	4341.69	39.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,587.32	4396.83	39.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	17,813.29	4453.32	40.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	18,064.79	4516.20	40.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	18,331.23	4582.81	41.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	18,675.91	4668.98	42.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	19,281.42	4820.35	43.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	20,164.89	5041.22	45.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	21,309.80	5327.45	48.0%	0.00	0.00	0.0%	5.19	1.30	0.0%
6:00 PM	22,657.35	5664.34	51.1%	0.00	0.00	0.0%	156.63	39.16	0.4%
6:15 PM	24,110.57	6027.64	54.4%	0.00	0.00	0.0%	622.16	155.54	1.4%
6:30 PM	25,820.91	6455.23	58.2%	0.00	0.00	0.0%	1,534.77	383.69	3.5%
6:45 PM	27,935.31	6983.83	63.0%	0.00	0.00	0.0%	3,044.74	761.19	6.9%
7:00 PM	30,096.54	7524.13	67.9%	0.00	0.00	0.0%	5,094.15	1273.54	11.5%
7:15 PM	32,538.32	8134.58	73.4%	0.00	0.00	0.0%	7,210.11	1802.53	16.3%
7:30 PM	35,378.67	4599.23	79.8%	0.00	0.00	0.0%	8,516.96	1107.20	19.2%

JULY 26

Analysis Hours: 7:07 AM-7:25 PM (PDT)

MAY 17 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:07 AM	31,495.46	1889.73	71.0%	5.36	0.32	0.0%	8,324.65	499.48	18.8%
7:15 AM	30,210.24	5739.95	68.1%	127.19	24.17	0.3%	9,713.89	1845.64	21.9%
7:30 AM	28,136.75	7034.19	63.4%	0.00	0.00	0.0%	9,815.77	2453.94	22.1%
7:45 AM	26,444.07	6611.02	59.6%	0.00	0.00	0.0%	6,991.80	1747.95	15.8%
8:00 AM	24,995.75	6248.94	56.4%	0.00	0.00	0.0%	3,676.46	919.11	8.3%
8:15 AM	23,741.70	5935.42	53.5%	0.00	0.00	0.0%	1,798.18	449.54	4.1%
8:30 AM	22,695.90	5673.97	51.2%	0.00	0.00	0.0%	767.40	191.85	1.7%
8:45 AM	21,806.80	5451.70	49.2%	0.00	0.00	0.0%	233.85	58.46	0.5%
9:00 AM	21,053.04	5263.26	47.5%	0.00	0.00	0.0%	22.37	5.59	0.1%
9:15 AM	20,376.42	5094.11	45.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,802.28	4950.57	44.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	19,293.21	4823.30	43.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,854.02	4713.51	42.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,454.42	4613.61	41.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	18,107.77	4526.94	40.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,776.46	4444.12	40.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,483.24	4370.81	39.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	17,191.01	4297.75	38.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,935.85	4233.96	38.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,668.69	4167.17	37.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,445.95	4111.49	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,372.14	4093.03	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,370.49	4092.62	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.76	4092.44	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.40	4092.35	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.17	4092.29	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.02	4092.25	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.90	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.81	4092.20	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,368.26	4092.07	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,351.81	4087.95	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,554.88	4138.72	37.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,743.30	4185.82	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	16,920.21	4230.05	38.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,121.41	4280.35	38.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,319.73	4329.93	39.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,541.81	4385.45	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	17,768.65	4442.16	40.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	18,021.75	4505.44	40.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	18,309.39	4577.35	41.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	18,808.58	4702.14	42.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	19,595.89	4898.97	44.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	20,638.35	5159.59	46.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	21,898.39	5474.60	49.4%	0.00	0.00	0.0%	6.30	1.58	0.0%
6:00 PM	23,321.03	5830.26	52.6%	0.00	0.00	0.0%	188.63	47.16	0.4%
6:15 PM	24,883.80	6220.95	56.1%	0.00	0.00	0.0%	726.64	181.66	1.6%
6:30 PM	26,728.92	6682.23	60.3%	0.00	0.00	0.0%	1,736.87	434.22	3.9%
6:45 PM	28,999.99	7250.00	65.4%	0.00	0.00	0.0%	3,374.30	843.58	7.6%
7:00 PM	31,378.49	7844.62	70.7%	0.00	0.00	0.0%	5,370.22	1342.55	12.1%
7:15 PM	33,932.91	7125.91	76.5%	0.00	0.00	0.0%	6,983.75	1466.59	15.7%
7:25 PM	36,123.98	3251.16	81.4%	0.00	0.00	0.0%	7,771.64	699.45	17.5%

AUGUST 2

Analysis Hours: 7:12 AM-7:18 PM (PDT)

MAY 10 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:12 AM	31,039.03	620.78	70.0%	0.15	0.00	0.0%	10,559.28	211.19	23.8%
7:15 AM	30,584.91	4587.74	69.0%	35.44	5.32	0.1%	11,067.70	1660.16	25.0%
7:30 AM	28,442.41	7110.60	64.1%	0.00	0.00	0.0%	11,383.05	2845.76	25.7%
7:45 AM	26,586.93	6646.73	59.9%	0.00	0.00	0.0%	9,104.91	2276.23	20.5%
8:00 AM	25,093.85	6273.46	56.6%	0.00	0.00	0.0%	4,989.56	1247.39	11.3%
8:15 AM	23,788.12	5947.03	53.6%	0.00	0.00	0.0%	2,507.16	626.79	5.7%
8:30 AM	22,703.85	5675.96	51.2%	0.00	0.00	0.0%	1,134.16	283.54	2.6%
8:45 AM	21,786.85	5446.71	49.1%	0.00	0.00	0.0%	395.58	98.89	0.9%
9:00 AM	21,018.90	5254.72	47.4%	0.00	0.00	0.0%	57.74	14.44	0.1%
9:15 AM	20,344.99	5086.25	45.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,755.65	4938.91	44.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	19,237.60	4809.40	43.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,791.64	4697.91	42.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,387.05	4596.76	41.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	18,036.69	4509.17	40.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,701.07	4425.27	39.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,405.12	4351.28	39.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	17,109.45	4277.36	38.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,851.75	4212.94	38.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,581.92	4145.48	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,383.46	4095.86	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,371.39	4092.85	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,370.30	4092.57	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.73	4092.43	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.38	4092.34	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.18	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.04	4092.26	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.94	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.82	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,368.79	4092.20	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,323.14	4080.79	36.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,499.57	4124.89	37.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,689.96	4172.49	37.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	16,868.88	4217.22	38.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,072.26	4268.07	38.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,272.32	4318.08	38.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,496.57	4374.14	39.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	17,725.32	4431.33	40.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	17,995.36	4498.84	40.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	18,428.07	4607.02	41.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	19,146.71	4786.68	43.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	20,149.60	5037.40	45.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	21,340.38	5335.10	48.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	22,714.76	5678.69	51.2%	0.00	0.00	0.0%	10.77	2.69	0.0%
6:00 PM	24,250.03	6062.51	54.7%	0.00	0.00	0.0%	252.24	63.06	0.6%
6:15 PM	25,947.93	6486.98	58.5%	0.00	0.00	0.0%	853.80	213.45	1.9%
6:30 PM	28,027.73	7006.93	63.2%	0.00	0.00	0.0%	1,976.69	494.17	4.5%
6:45 PM	30,488.08	7622.02	68.7%	0.00	0.00	0.0%	3,495.67	873.92	7.9%
7:00 PM	33,101.17	8275.29	74.6%	0.00	0.00	0.0%	5,383.15	1345.79	12.1%
7:15 PM	35,964.48	5394.67	81.1%	0.00	0.00	0.0%	6,555.57	983.34	14.8%
7:18 PM	36,998.80	1109.96	83.4%	0.00	0.00	0.0%	6,781.83	203.45	15.3%

AUGUST 9

Analysis Hours: 7:19 AM-7:10 PM (PDT)

MAY 3 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:19 AM	30,416.46	2737.48	68.6%	0.00	0.00	0.0%	12,361.84	1112.57	27.9%
7:30 AM	28,837.14	6055.80	65.0%	0.00	0.00	0.0%	12,686.25	2664.11	28.6%
7:45 AM	26,738.81	6684.70	60.3%	0.00	0.00	0.0%	11,231.85	2807.96	25.3%
8:00 AM	25,163.34	6290.83	56.7%	0.00	0.00	0.0%	6,543.75	1635.94	14.8%
8:15 AM	23,815.13	5953.78	53.7%	0.00	0.00	0.0%	3,401.08	850.27	7.7%
8:30 AM	22,688.28	5672.07	51.2%	0.00	0.00	0.0%	1,593.80	398.45	3.6%
8:45 AM	21,742.47	5435.62	49.0%	0.00	0.00	0.0%	591.86	147.97	1.3%
9:00 AM	20,952.93	5238.23	47.2%	0.00	0.00	0.0%	97.45	24.36	0.2%
9:15 AM	20,274.25	5068.56	45.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,686.43	4921.61	44.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	19,158.40	4789.60	43.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,706.83	4676.71	42.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,297.92	4574.48	41.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	17,944.20	4486.05	40.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,604.50	4401.12	39.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,305.66	4326.42	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	17,006.71	4251.68	38.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,746.36	4186.59	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,475.59	4118.90	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,373.62	4093.40	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,370.89	4092.72	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,370.09	4092.52	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.64	4092.41	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.37	4092.34	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.18	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.05	4092.26	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.94	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.84	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,368.80	4092.20	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,354.34	4088.59	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,426.13	4106.53	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,633.13	4158.28	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	16,814.78	4203.70	37.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,020.68	4255.17	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,223.09	4305.77	38.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,449.88	4362.47	39.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	17,695.14	4423.78	39.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	18,101.59	4525.40	40.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	18,800.55	4700.14	42.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	19,768.34	4942.08	44.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	20,940.34	5235.09	47.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	22,261.30	5565.33	50.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	23,795.65	5948.91	53.7%	0.00	0.00	0.0%	23.91	5.98	0.1%
6:00 PM	25,462.29	6365.57	57.4%	0.00	0.00	0.0%	321.78	80.44	0.7%
6:15 PM	27,359.60	6839.90	61.7%	0.00	0.00	0.0%	913.28	228.32	2.1%
6:30 PM	29,816.81	7454.20	67.2%	0.00	0.00	0.0%	2,131.46	532.87	4.8%
6:45 PM	32,415.90	11021.41	73.1%	0.00	0.00	0.0%	3,297.88	1121.28	7.4%
7:10 PM	37,751.48	7927.81	85.1%	0.00	0.00	0.0%	4,987.22	1047.32	11.2%

AUGUST 16

Analysis Hours: 7:25 AM-7:02 PM (PDT)

APRIL 26 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:25 AM	29,864.29	1194.57	67.3%	0.00	0.00	0.0%	13,381.45	535.26	30.2%
7:30 AM	29,227.36	4968.65	65.9%	0.00	0.00	0.0%	13,580.01	2308.60	30.6%
7:45 AM	26,951.26	6737.81	60.8%	0.00	0.00	0.0%	12,986.79	3246.70	29.3%
8:00 AM	25,173.40	6293.35	56.8%	0.00	0.00	0.0%	7,647.90	1911.97	17.2%
8:15 AM	23,803.72	5950.93	53.7%	0.00	0.00	0.0%	4,477.56	1119.39	10.1%
8:30 AM	22,658.78	5664.70	51.1%	0.00	0.00	0.0%	2,156.18	539.04	4.9%
8:45 AM	21,677.50	5419.38	48.9%	0.00	0.00	0.0%	825.82	206.45	1.9%
9:00 AM	20,866.01	5216.50	47.0%	0.00	0.00	0.0%	136.03	34.01	0.3%
9:15 AM	20,172.22	5043.05	45.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,588.17	4897.04	44.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	19,059.99	4765.00	43.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,602.57	4650.64	41.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,190.31	4547.58	41.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	17,832.69	4458.17	40.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,489.15	4372.29	39.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,187.48	4296.87	38.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,885.25	4221.31	38.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,622.16	4155.54	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,380.84	4095.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,371.98	4092.99	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,370.52	4092.63	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.96	4092.49	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.55	4092.39	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.33	4092.33	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.17	4092.29	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.04	4092.26	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.94	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.84	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,368.81	4092.20	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,368.74	4092.18	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,330.60	4082.65	36.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,572.29	4143.07	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	16,756.95	4189.24	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	16,965.61	4241.40	38.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,170.93	4292.73	38.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,415.18	4353.79	39.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	17,823.86	4455.97	40.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	18,506.03	4626.51	41.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	19,479.38	4869.84	43.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	20,632.62	5158.16	46.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	21,946.15	5486.54	49.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	23,454.17	5863.54	52.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	25,142.91	6285.73	56.7%	0.00	0.00	0.0%	16.51	4.13	0.0%
6:00 PM	26,993.00	6748.25	60.9%	0.00	0.00	0.0%	281.69	70.42	0.6%
6:15 PM	29,220.61	7305.15	65.9%	0.00	0.00	0.0%	888.59	222.15	2.0%
6:30 PM	32,054.11	8013.53	72.3%	0.00	0.00	0.0%	1,972.58	493.14	4.4%
6:45 PM	34,884.56	9418.83	78.7%	0.00	0.00	0.0%	2,722.15	734.98	6.1%
7:02 PM	38,799.30	5431.90	87.5%	0.00	0.00	0.0%	3,049.24	426.89	6.9%

AUGUST 23

Analysis Hours: 7:31 AM-6:52 PM (PDT)

APRIL 19 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:31 AM	29,241.19	3216.53	65.9%	0.00	0.00	0.0%	14,015.65	1541.72	31.6%
7:45 AM	27,203.19	6256.73	61.3%	0.00	0.00	0.0%	14,057.89	3233.32	31.7%
8:00 AM	25,160.20	6290.05	56.7%	0.00	0.00	0.0%	8,753.03	2188.26	19.7%
8:15 AM	23,682.24	5920.56	53.4%	0.00	0.00	0.0%	4,791.31	1197.83	10.8%
8:30 AM	22,562.56	5640.64	50.9%	0.00	0.00	0.0%	2,791.50	697.88	6.3%
8:45 AM	21,574.22	5393.56	48.6%	0.00	0.00	0.0%	1,063.05	265.76	2.4%
9:00 AM	20,742.61	5185.65	46.8%	0.00	0.00	0.0%	151.65	37.91	0.3%
9:15 AM	20,036.16	5009.04	45.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,445.84	4861.46	43.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	18,924.00	4731.00	42.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,470.27	4617.57	41.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	18,055.76	4513.94	40.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	17,695.02	4423.76	39.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,348.39	4337.10	39.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	17,044.22	4261.05	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,739.42	4184.85	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,474.16	4118.54	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,373.35	4093.34	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,371.14	4092.78	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,370.23	4092.56	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.80	4092.45	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.50	4092.37	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.30	4092.32	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.17	4092.29	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.05	4092.26	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.96	4092.24	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.90	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,368.82	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,368.74	4092.18	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,337.73	4084.43	36.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,511.66	4127.91	37.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	16,699.95	4174.99	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	16,912.00	4228.00	38.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,140.46	4285.12	38.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	17,583.23	4395.81	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	18,311.00	4577.75	41.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	19,265.11	4816.28	43.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	20,441.63	5110.41	46.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	21,744.23	5436.06	49.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	23,267.02	5816.75	52.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	24,966.22	6241.55	56.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	26,857.53	6714.38	60.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:00 PM	29,008.64	7252.16	65.4%	0.00	0.00	0.0%	126.86	31.71	0.3%
6:15 PM	31,686.64	7921.66	71.4%	0.00	0.00	0.0%	802.99	200.75	1.8%
6:30 PM	34,726.26	8681.56	78.3%	0.00	0.00	0.0%	1,354.92	338.73	3.1%
6:45 PM	38,040.61	7227.72	85.8%	0.00	0.00	0.0%	1,548.52	294.22	3.5%
6:52 PM	39,668.74	2380.12	89.4%	0.00	0.00	0.0%	1,625.82	97.55	3.7%

AUGUST 30

Analysis Hours: 7:37 AM-6:42 PM (PDT)

APRIL 12 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:37 AM	28,525.91	1711.55	64.3%	0.00	0.00	0.0%	14,631.12	877.87	33.0%
7:45 AM	27,388.00	5203.72	61.8%	0.00	0.00	0.0%	14,975.25	2845.30	33.8%
8:00 AM	25,173.64	6293.41	56.8%	0.00	0.00	0.0%	10,197.76	2549.44	23.0%
8:15 AM	23,562.03	5890.51	53.1%	0.00	0.00	0.0%	5,077.23	1269.31	11.4%
8:30 AM	22,385.94	5596.48	50.5%	0.00	0.00	0.0%	2,891.37	722.84	6.5%
8:45 AM	21,440.44	5360.11	48.3%	0.00	0.00	0.0%	1,319.70	329.93	3.0%
9:00 AM	20,599.70	5149.92	46.4%	0.00	0.00	0.0%	138.16	34.54	0.3%
9:15 AM	19,880.96	4970.24	44.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,284.53	4821.13	43.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	18,759.80	4689.95	42.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,316.14	4579.03	41.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	17,903.46	4475.87	40.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	17,539.87	4384.97	39.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,190.11	4297.53	38.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,883.76	4220.94	38.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,576.45	4144.11	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,376.36	4094.09	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,371.83	4092.96	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,370.65	4092.66	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,370.03	4092.51	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.72	4092.43	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.43	4092.36	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.26	4092.32	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.17	4092.29	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.05	4092.26	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.96	4092.24	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.90	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,368.82	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,368.80	4092.20	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,365.40	4091.35	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,439.65	4109.91	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	16,639.49	4159.87	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	16,884.63	4221.16	38.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	17,376.39	4344.10	39.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	18,132.89	4533.22	40.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	19,156.07	4789.02	43.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	20,290.90	5072.73	45.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	21,636.72	5409.18	48.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	23,151.87	5787.97	52.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	24,887.56	6221.89	56.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	26,805.62	6701.41	60.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	29,015.72	7253.93	65.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:00 PM	31,581.88	7895.47	71.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:15 PM	34,745.93	8686.48	78.3%	0.00	0.00	0.0%	304.99	76.25	0.7%
6:30 PM	38,473.28	8848.85	86.7%	0.00	0.00	0.0%	668.96	153.86	1.5%
6:42 PM	40,981.98	4508.02	92.4%	0.00	0.00	0.0%	715.38	78.69	1.6%

SEPTEMBER 6

Analysis Hours: 7:44 AM-6:31 PM (PDT)

APRIL 5 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:44 AM	27,761.53	3609.00	62.6%	0.00	0.00	0.0%	15,486.23	2013.21	34.9%
8:00 AM	25,198.67	6299.67	56.8%	0.00	0.00	0.0%	11,909.98	2977.49	26.9%
8:15 AM	23,453.28	5863.32	52.9%	0.00	0.00	0.0%	5,416.55	1354.14	12.2%
8:30 AM	22,199.15	5549.79	50.1%	0.00	0.00	0.0%	2,942.76	735.69	6.6%
8:45 AM	21,226.95	5306.74	47.9%	0.00	0.00	0.0%	1,337.25	334.31	3.0%
9:00 AM	20,440.30	5110.07	46.1%	0.00	0.00	0.0%	80.35	20.09	0.2%
9:15 AM	19,708.83	4927.21	44.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	19,105.97	4776.49	43.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	18,579.42	4644.85	41.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	18,137.74	4534.44	40.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	17,731.39	4432.85	40.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	17,367.91	4341.98	39.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	17,015.35	4253.84	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,706.73	4176.68	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,405.24	4101.31	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,372.94	4093.24	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,371.07	4092.77	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,370.31	4092.58	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,369.89	4092.47	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.61	4092.40	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.41	4092.35	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.22	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.16	4092.29	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.03	4092.26	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.95	4092.24	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.89	4092.22	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,368.83	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,368.77	4092.19	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,368.73	4092.18	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,341.66	4085.42	36.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	16,644.47	4161.12	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,174.75	4293.69	38.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	18,015.52	4503.88	40.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	19,051.64	4762.91	43.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	20,246.46	5061.62	45.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	21,560.58	5390.14	48.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	23,132.62	5783.16	52.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	24,861.86	6215.46	56.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	26,847.41	6711.85	60.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	29,077.74	7269.43	65.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	31,721.68	7930.42	71.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:00 PM	34,716.84	8679.21	78.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:15 PM	38,845.93	10488.40	87.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:31 PM	42,617.83	5966.50	96.1%	0.00	0.00	0.0%	211.81	29.65	0.5%

SEPTEMBER 13

Analysis Hours: 7:50 AM-6:21 PM (PDT)

MARCH 29 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:50 AM	26,998.05	2159.84	60.9%	0.00	0.00	0.0%	16,308.52	1304.68	36.8%
8:00 AM	25,324.62	5318.17	57.1%	0.00	0.00	0.0%	13,996.54	2939.27	31.6%
8:15 AM	23,323.26	5830.81	52.6%	0.00	0.00	0.0%	5,827.43	1456.86	13.1%
8:30 AM	22,004.51	5501.13	49.6%	0.00	0.00	0.0%	2,984.41	746.10	6.7%
8:45 AM	21,001.89	5250.47	47.4%	0.00	0.00	0.0%	1,273.91	318.48	2.9%
9:00 AM	20,203.80	5050.95	45.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	19,520.68	4880.17	44.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	18,911.71	4727.93	42.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	18,384.72	4596.18	41.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	17,945.55	4486.39	40.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	17,537.65	4384.41	39.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	17,178.79	4294.70	38.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,824.87	4206.22	37.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,514.16	4128.54	37.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,374.24	4093.56	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,371.71	4092.93	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,370.58	4092.64	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,370.10	4092.53	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,369.75	4092.44	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.53	4092.38	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.36	4092.34	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.20	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.12	4092.28	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.04	4092.26	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.94	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.89	4092.22	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,368.87	4092.22	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,368.77	4092.19	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,374.72	4093.68	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	16,455.90	4113.97	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	17,015.70	4253.92	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	17,890.94	4472.74	40.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	19,008.32	4752.08	42.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	20,202.80	5050.70	45.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	21,603.34	5400.83	48.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	23,131.70	5782.93	52.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	24,925.28	6231.32	56.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	26,902.11	6725.53	60.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	29,243.48	7310.87	65.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	31,916.89	7979.22	72.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	34,875.25	8718.81	78.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:00 PM	38,882.38	9720.60	87.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:15 PM	42,437.65	7638.78	95.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:21 PM	43,605.41	2180.27	98.3%	0.00	0.00	0.0%	0.00	0.00	0.0%

SEPTEMBER 20

Analysis Hours: 7:57 AM-6:09 PM (PDT)

APPROXIMATE EQUINOXES
MARCH 22 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:57 AM	26,255.28	525.11	59.2%	0.00	0.00	0.0%	17,305.34	346.11	39.0%
8:00 AM	25,695.68	3854.35	57.9%	0.00	0.00	0.0%	16,606.06	2490.91	37.4%
8:15 AM	23,158.72	5789.68	52.2%	0.00	0.00	0.0%	6,278.04	1569.51	14.2%
8:30 AM	21,778.93	5444.73	49.1%	0.00	0.00	0.0%	3,025.56	756.39	6.8%
8:45 AM	20,752.85	5188.21	46.8%	0.00	0.00	0.0%	1,196.51	299.13	2.7%
9:00 AM	19,960.26	4990.07	45.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	19,281.03	4820.26	43.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	18,706.01	4676.50	42.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	18,180.08	4545.02	41.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	17,742.13	4435.53	40.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	17,332.66	4333.16	39.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,972.96	4243.24	38.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,620.60	4155.15	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,378.52	4094.63	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,372.29	4093.07	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,370.95	4092.74	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,370.32	4092.58	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,369.94	4092.48	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,369.67	4092.42	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.46	4092.37	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.29	4092.32	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.18	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.10	4092.27	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.05	4092.26	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.94	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.90	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,368.84	4092.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,382.96	4095.74	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	16,569.20	4142.30	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	17,010.34	4252.59	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	17,833.66	4458.41	40.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	18,945.42	4736.35	42.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	20,222.85	5055.71	45.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	21,615.53	5403.88	48.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	23,231.70	5807.92	52.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	24,975.85	6243.96	56.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	27,027.00	6756.75	60.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	29,369.36	7342.34	66.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	32,169.56	8042.39	72.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	35,114.24	8778.56	79.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	38,626.09	9656.52	87.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:00 PM	42,183.50	8858.53	95.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
6:09 PM	43,841.61	3507.33	98.9%	0.00	0.00	0.0%	0.00	0.00	0.0%

SEPTEMBER 27

Analysis Hours: 8:03 AM-5:58 PM (PDT)

MARCH 15 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
8:03 AM	25,648.96	2564.90	57.8%	0.00	0.00	0.0%	16,682.42	1668.24	37.6%
8:15 AM	23,441.28	5157.08	52.9%	0.00	0.00	0.0%	7,436.44	1636.02	16.8%
8:30 AM	21,507.39	5376.85	48.5%	0.00	0.00	0.0%	3,069.07	767.27	6.9%
8:45 AM	20,465.73	5116.43	46.1%	0.00	0.00	0.0%	1,106.72	276.68	2.5%
9:00 AM	19,678.15	4919.54	44.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	19,027.18	4756.80	42.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	18,468.09	4617.02	41.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	17,968.05	4492.01	40.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	17,529.22	4382.30	39.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	17,118.29	4279.57	38.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,757.47	4189.37	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,411.63	4102.91	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,373.37	4093.34	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,371.39	4092.85	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,370.58	4092.64	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,370.11	4092.53	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,369.86	4092.46	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,369.58	4092.39	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.40	4092.35	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.27	4092.32	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.20	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.11	4092.28	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.02	4092.25	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.94	4092.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,368.89	4092.22	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,399.76	4099.94	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	16,632.22	4158.05	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	17,186.93	4296.73	38.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	17,980.35	4495.09	40.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	18,925.92	4731.48	42.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	20,201.86	5050.46	45.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	21,688.52	5422.13	48.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	23,285.06	5821.26	52.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	25,121.07	6280.27	56.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	27,111.47	6777.87	61.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	29,546.17	7386.54	66.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	32,327.40	8081.85	72.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	35,363.42	8840.86	79.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	38,441.63	9610.41	86.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:45 PM	41,749.17	9602.31	94.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:58 PM	43,807.10	4818.78	98.8%	0.00	0.00	0.0%	0.00	0.00	0.0%

OCTOBER 4

Analysis Hours: 8:09 AM-5:47 PM (PDT)

MARCH 8 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
8:09 AM	25,212.94	1008.52	56.8%	0.00	0.00	0.0%	13,325.64	533.03	30.0%
8:15 AM	23,925.20	4067.28	53.9%	0.00	0.00	0.0%	9,217.78	1567.02	20.8%
8:30 AM	21,528.26	5382.06	48.5%	0.00	0.00	0.0%	3,176.94	794.23	7.2%
8:45 AM	20,150.78	5037.69	45.4%	0.00	0.00	0.0%	1,030.73	257.68	2.3%
9:00 AM	19,373.05	4843.26	43.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	18,760.49	4690.12	42.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	18,222.27	4555.57	41.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	17,743.06	4435.77	40.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	17,314.23	4328.56	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,901.38	4225.35	38.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,539.40	4134.85	37.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,374.67	4093.67	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,372.02	4093.01	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,370.87	4092.72	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,370.37	4092.59	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,369.99	4092.50	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,369.73	4092.43	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,369.54	4092.39	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.38	4092.34	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.25	4092.31	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.18	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.10	4092.27	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.02	4092.25	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,368.95	4092.24	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,408.32	4102.08	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	16,701.10	4175.28	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	17,293.55	4323.39	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	18,198.57	4549.64	41.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	19,167.50	4791.87	43.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	20,309.36	5077.34	45.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	21,678.06	5419.52	48.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	23,369.78	5842.45	52.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	25,158.32	6289.58	56.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	27,247.72	6811.93	61.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	29,596.84	7399.21	66.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	32,462.95	8115.74	73.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	35,445.22	8861.31	79.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	38,551.04	9637.76	86.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	40,949.95	11056.49	92.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:47 PM	43,749.57	6124.94	98.6%	0.00	0.00	0.0%	0.00	0.00	0.0%

OCTOBER 11

Analysis Hours: 8:16 AM-5:37 PM (PDT)

MARCH 1 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
8:16 AM	24,820.79	2978.50	56.0%	0.00	0.00	0.0%	9,904.70	1188.56	22.3%
8:30 AM	21,944.87	5266.77	49.5%	0.00	0.00	0.0%	3,664.26	879.42	8.3%
8:45 AM	19,898.12	4974.53	44.9%	0.00	0.00	0.0%	905.26	226.31	2.0%
9:00 AM	19,107.36	4776.84	43.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	18,503.62	4625.90	41.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	17,985.39	4496.35	40.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	17,512.47	4378.12	39.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	17,095.03	4273.76	38.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,684.58	4171.14	37.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,384.59	4096.15	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,372.82	4093.20	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,371.37	4092.84	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,370.57	4092.64	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,370.09	4092.52	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,369.87	4092.47	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,369.68	4092.42	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,369.48	4092.37	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.34	4092.34	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.26	4092.32	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.17	4092.29	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.08	4092.27	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,369.06	4092.27	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,426.41	4106.60	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	16,732.04	4183.01	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	17,426.46	4356.62	39.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	18,300.86	4575.21	41.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	19,377.48	4844.37	43.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	20,505.66	5126.41	46.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	21,876.04	5469.01	49.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	23,331.97	5832.99	52.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	25,208.95	6302.24	56.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	27,229.97	6807.49	61.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	29,666.17	7416.54	66.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	32,408.04	8102.01	73.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	35,429.54	8857.38	79.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	38,505.28	9626.32	86.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	40,608.02	10152.00	91.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:30 PM	42,944.02	8159.36	96.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:37 PM	43,630.24	2617.81	98.4%	0.00	0.00	0.0%	0.00	0.00	0.0%

OCTOBER 18

Analysis Hours: 8:22 AM-5:27 PM (PDT)

FEBRUARY 22 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
8:22 AM	24,937.01	1496.22	56.2%	0.00	0.00	0.0%	6,706.48	402.39	15.1%
8:30 AM	22,952.40	4131.43	51.8%	0.00	0.00	0.0%	3,921.63	705.89	8.8%
8:45 AM	20,303.16	5075.79	45.8%	0.00	0.00	0.0%	1,079.13	269.78	2.4%
9:00 AM	18,871.69	4717.92	42.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	18,275.00	4568.75	41.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	17,763.26	4440.81	40.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	17,290.94	4322.73	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,873.79	4218.45	38.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,469.03	4117.26	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,374.17	4093.54	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,371.91	4092.98	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,370.94	4092.74	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,370.39	4092.60	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,370.07	4092.52	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,369.82	4092.46	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,369.60	4092.40	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,369.44	4092.36	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,369.33	4092.33	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	16,369.20	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	16,369.19	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	16,369.08	4092.27	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	16,439.53	4109.88	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	16,806.13	4201.53	37.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	17,471.07	4367.77	39.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	18,428.49	4607.12	41.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	19,438.23	4859.56	43.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	20,671.55	5167.89	46.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	21,981.10	5495.28	49.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	23,530.40	5882.60	53.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	25,099.20	6274.80	56.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	27,210.31	6802.58	61.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	29,530.07	7382.52	66.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	32,326.84	8081.71	72.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:30 PM	35,179.01	8794.75	79.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:45 PM	38,285.78	9571.44	86.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:00 PM	40,213.90	10053.48	90.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:15 PM	42,014.76	9243.25	94.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
5:27 PM	43,394.59	4339.46	97.8%	0.00	0.00	0.0%	0.00	0.00	0.0%

OCTOBER 25

Analysis Hours: 7:30 AM-4:18 PM (PST)

FEBRUARY 15 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:30 AM	25,488.81	3313.55	57.5%	0.00	0.00	0.0%	4,012.34	521.60	9.0%
7:45 AM	21,351.44	5337.86	48.1%	0.00	0.00	0.0%	1,345.32	336.33	3.0%
8:00 AM	19,091.96	4772.99	43.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:15 AM	18,072.46	4518.11	40.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:30 AM	17,559.52	4389.88	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:45 AM	17,086.02	4271.50	38.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	16,669.67	4167.42	37.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	16,383.45	4095.86	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	16,372.83	4093.21	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	16,371.39	4092.85	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,370.70	4092.67	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,370.24	4092.56	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,369.96	4092.49	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,369.76	4092.44	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,369.57	4092.39	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,369.43	4092.36	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,369.30	4092.32	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,369.17	4092.29	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,369.18	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,478.46	4119.61	37.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	16,832.49	4208.12	38.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	17,557.54	4389.39	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	18,426.31	4606.58	41.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	19,512.63	4878.16	44.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	20,645.91	5161.48	46.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	22,028.14	5507.03	49.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	23,494.31	5873.58	53.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	25,223.49	6305.87	56.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	27,066.47	6766.62	61.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	29,341.68	7335.42	66.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	31,950.57	7987.64	72.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	34,857.85	8714.46	78.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	37,808.00	9452.00	85.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	39,901.41	9975.35	90.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	41,548.99	10387.25	93.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:15 PM	42,610.69	6391.60	96.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:18 PM	42,789.31	1283.68	96.5%	0.00	0.00	0.0%	0.00	0.00	0.0%

NOVEMBER 1

Analysis Hours: 7:36 AM-4:10 PM (PST)

FEBRUARY 8 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:36 AM	26,574.43	1860.21	59.9%	0.00	0.00	0.0%	2,617.47	183.22	5.9%
7:45 AM	23,590.58	4482.21	53.2%	0.00	0.00	0.0%	1,409.85	267.87	3.2%
8:00 AM	19,630.79	4907.70	44.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:15 AM	18,095.41	4523.85	40.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:30 AM	17,377.84	4344.46	39.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:45 AM	16,901.90	4225.48	38.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	16,527.96	4131.99	37.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	16,424.29	4106.07	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	16,372.10	4093.03	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	16,371.09	4092.77	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,370.53	4092.63	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,370.09	4092.52	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,369.90	4092.48	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,369.72	4092.43	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,369.54	4092.39	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,369.40	4092.35	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,369.29	4092.32	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,369.18	4092.30	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,475.52	4118.88	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	16,889.86	4222.47	38.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	17,555.91	4388.98	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	18,474.03	4618.51	41.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	19,435.81	4858.95	43.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	20,622.71	5155.68	46.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	21,858.85	5464.71	49.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	23,364.29	5841.07	52.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	24,967.27	6241.82	56.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	26,930.64	6732.66	60.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	29,019.33	7254.83	65.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	31,522.92	7880.73	71.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	34,279.42	8569.86	77.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	37,125.15	9281.29	83.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	39,358.74	9839.68	88.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	41,352.22	10338.05	93.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	42,651.62	8956.84	96.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:10 PM	42,666.41	3839.98	96.2%	0.00	0.00	0.0%	0.00	0.00	0.0%

NOVEMBER 8

Analysis Hours: 7:43 AM-4:03 PM (PST)

FEBRUARY 1 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:43 AM	28,210.46	282.10	63.6%	0.00	0.00	0.0%	1,656.27	16.56	3.7%
7:45 AM	27,642.97	3593.59	62.3%	0.00	0.00	0.0%	1,542.32	200.50	3.5%
8:00 AM	21,582.60	5395.65	48.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:15 AM	18,525.17	4631.29	41.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:30 AM	17,235.33	4308.83	38.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:45 AM	16,774.03	4193.51	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	16,531.62	4132.90	37.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	16,517.06	4129.27	37.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	16,442.57	4110.64	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	16,370.88	4092.72	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,370.42	4092.60	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,370.10	4092.53	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,369.87	4092.47	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,369.71	4092.43	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,369.52	4092.38	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,369.38	4092.34	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,369.32	4092.33	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,472.46	4118.11	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	16,829.80	4207.45	37.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	17,552.35	4388.09	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	18,370.80	4592.70	41.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	19,401.31	4850.33	43.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	20,430.26	5107.57	46.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	21,682.89	5420.72	48.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	22,999.72	5749.93	51.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	24,615.98	6153.99	55.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	26,361.62	6590.40	59.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	28,554.10	7138.52	64.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	30,893.01	7723.25	69.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	33,660.01	8415.00	75.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	36,118.46	9029.61	81.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	38,704.64	9676.16	87.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	40,681.70	10170.42	91.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	42,636.38	10659.09	96.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:00 PM	42,882.06	6432.31	96.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
4:03 PM	42,842.51	1285.28	96.6%	0.00	0.00	0.0%	0.00	0.00	0.0%

NOVEMBER 15

Analysis Hours: 7:51 AM-3:57 PM (PST)

JANUARY 25 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:51 AM	29,761.58	2380.93	67.1%	0.00	0.00	0.0%	519.85	41.59	1.2%
8:00 AM	24,953.88	4990.78	56.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:15 AM	19,508.43	4877.11	44.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:30 AM	17,573.48	4393.37	39.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:45 AM	16,731.54	4182.88	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	16,644.95	4161.24	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	16,663.01	4165.75	37.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	16,574.41	4143.60	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	16,452.85	4113.21	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,370.38	4092.60	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,370.04	4092.51	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,369.82	4092.46	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,369.66	4092.41	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,369.52	4092.38	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,369.40	4092.35	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,414.92	4103.73	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	16,762.94	4190.74	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	17,373.27	4343.32	39.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	18,238.63	4559.66	41.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	19,143.78	4785.95	43.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	20,239.42	5059.85	45.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	21,335.02	5333.75	48.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	22,652.87	5663.22	51.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	24,019.90	6004.97	54.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	25,735.01	6433.75	58.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	27,620.20	6905.05	62.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	29,986.53	7496.63	67.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	32,598.21	8149.55	73.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	35,266.17	8816.54	79.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	37,711.44	9427.86	85.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	39,779.88	9944.97	89.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	41,764.51	10441.13	94.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	43,138.36	9921.82	97.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:57 PM	43,153.51	4746.89	97.3%	0.00	0.00	0.0%	0.00	0.00	0.0%

NOVEMBER 22

Analysis Hours: 7:57 AM-3:54 PM (PST)

JANUARY 18 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
7:57 AM	30,605.94	612.12	69.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:00 AM	29,509.03	4426.36	66.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:15 AM	22,065.30	5516.33	49.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:30 AM	18,043.24	4510.81	40.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:45 AM	16,997.50	4249.37	38.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	16,798.79	4199.70	37.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	16,836.62	4209.15	38.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	16,745.73	4186.43	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	16,608.73	4152.18	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,416.22	4104.05	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,370.28	4092.57	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,369.82	4092.46	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,369.66	4092.41	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,369.53	4092.38	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,378.30	4094.58	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,606.75	4151.69	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	17,182.75	4295.69	38.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	17,903.36	4475.84	40.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	18,850.72	4712.68	42.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	19,792.61	4948.15	44.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	20,936.91	5234.23	47.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	22,077.58	5519.39	49.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	23,453.35	5863.34	52.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	24,875.19	6218.80	56.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	26,654.69	6663.67	60.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	28,644.93	7161.23	64.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	31,150.05	7787.51	70.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	33,909.97	8477.49	76.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	36,522.93	9130.73	82.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	38,745.81	9686.45	87.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	40,603.43	10150.86	91.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	42,597.32	10649.33	96.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	43,218.62	8643.72	97.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:54 PM	43,367.34	3469.39	97.8%	0.00	0.00	0.0%	0.00	0.00	0.0%

NOVEMBER 29

Analysis Hours: 8:04 AM-3:51 PM (PST)

JANUARY 11 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
8:04 AM	31,288.67	2815.98	70.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:15 AM	25,399.11	5333.81	57.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:30 AM	19,362.72	4840.68	43.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:45 AM	17,484.37	4371.09	39.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	16,966.46	4241.61	38.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	17,020.04	4255.01	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	16,932.51	4233.13	38.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	16,784.06	4196.01	37.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,552.41	4138.10	37.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,393.20	4098.30	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,369.82	4092.46	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,369.68	4092.42	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,369.57	4092.39	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,471.22	4117.81	37.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	16,832.05	4208.01	38.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	17,489.50	4372.38	39.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	18,206.85	4551.71	41.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	19,261.27	4815.32	43.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	20,286.74	5071.68	45.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	21,454.19	5363.55	48.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	22,622.24	5655.56	51.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	24,043.61	6010.90	54.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	25,514.12	6378.53	57.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	27,340.88	6835.22	61.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	29,380.32	7345.08	66.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	31,974.50	7993.63	72.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	34,651.43	8662.86	78.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	37,367.69	9341.92	84.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	39,463.66	9865.91	89.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	41,224.72	10306.18	93.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	43,198.82	10799.71	97.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	43,288.91	7792.00	97.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:51 PM	43,453.95	2172.70	98.0%	0.00	0.00	0.0%	0.00	0.00	0.0%

DECEMBER 6

Analysis Hours: 8:10 AM-3:51 PM (PST)

JANUARY 4 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
8:10 AM	31,744.62	1269.78	71.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:15 AM	28,846.26	4903.86	65.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:30 AM	21,468.56	5367.14	48.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:45 AM	17,995.67	4498.92	40.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	17,397.68	4349.42	39.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	17,193.66	4298.42	38.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	17,100.83	4275.21	38.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	16,955.27	4238.82	38.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,698.91	4174.73	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,517.74	4129.43	37.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,384.34	4096.09	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,369.73	4092.43	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,369.54	4092.39	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,571.18	4142.80	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	17,021.45	4255.36	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	17,806.19	4451.55	40.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	18,639.13	4659.78	42.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	19,625.17	4906.29	44.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	20,588.90	5147.23	46.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	21,768.15	5442.04	49.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	22,944.05	5736.01	51.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	24,387.82	6096.95	55.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	25,881.08	6470.27	58.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	27,740.87	6935.22	62.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	29,779.17	7444.79	67.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	32,411.61	8102.90	73.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	34,980.58	8745.15	78.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	37,651.75	9412.94	84.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	39,844.08	9961.02	89.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	41,613.71	10403.43	93.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	43,421.53	10855.38	97.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	43,352.41	7369.91	97.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:51 PM	43,541.21	2177.06	98.2%	0.00	0.00	0.0%	0.00	0.00	0.0%

DECEMBER 13

Analysis Hours: 8:15 AM-3:52 PM (PST)

DECEMBER 28 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
8:15 AM	31,691.94	3803.03	71.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:30 AM	23,793.59	5948.40	53.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:45 AM	19,033.19	4758.30	42.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	17,761.17	4440.29	40.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	17,315.54	4328.88	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	17,233.44	4308.36	38.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	17,094.60	4273.65	38.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,832.79	4208.20	38.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,633.77	4158.44	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,423.50	4105.87	37.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,369.73	4092.43	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,370.01	4092.50	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,610.18	4152.55	37.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	17,092.72	4273.18	38.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	17,870.97	4467.74	40.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	18,685.46	4671.36	42.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	19,691.04	4922.76	44.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	20,675.09	5168.77	46.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	21,853.78	5463.44	49.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	23,022.59	5755.65	51.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	24,464.19	6116.05	55.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	25,950.48	6487.62	58.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	27,808.47	6952.12	62.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	29,822.73	7455.68	67.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	32,415.84	8103.96	73.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	34,940.06	8735.01	78.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	37,577.99	9394.50	84.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	39,876.20	9969.05	89.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	41,730.52	10432.63	94.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	43,427.14	10856.79	97.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	43,408.19	7813.47	97.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:52 PM	43,590.86	2615.45	98.3%	0.00	0.00	0.0%	0.00	0.00	0.0%

DECEMBER 20

Analysis Hours: 8:19 AM-3:54 PM (PST)

WINTER SOLSTICE
DECEMBER 21 SIMILAR

Analysis Time	CURRENT SHADOW			NEW SHADOW FROM 980 FOLSOM STREET			980 FOLSOM STREET + CUMULATIVE SHADOW		
	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage	Area (sf)	Area/Time (sfh)	Coverage
8:19 AM	31,646.11	2531.69	71.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:30 AM	25,956.63	5450.89	58.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
8:45 AM	20,128.05	5032.01	45.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:00 AM	17,988.52	4497.13	40.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:15 AM	17,505.87	4376.47	39.5%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:30 AM	17,305.63	4326.41	39.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
9:45 AM	17,178.87	4294.72	38.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:00 AM	16,926.90	4231.72	38.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:15 AM	16,716.50	4179.13	37.7%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:30 AM	16,492.89	4123.22	37.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
10:45 AM	16,380.91	4095.23	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:00 AM	16,369.59	4092.40	36.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:15 AM	16,576.64	4144.16	37.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:30 AM	17,028.90	4257.23	38.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
11:45 AM	17,792.17	4448.04	40.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:00 PM	18,590.68	4647.67	41.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:15 PM	19,582.70	4895.67	44.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:30 PM	20,554.21	5138.55	46.3%	0.00	0.00	0.0%	0.00	0.00	0.0%
12:45 PM	21,719.76	5429.94	49.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:00 PM	22,869.68	5717.42	51.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:15 PM	24,284.40	6071.10	54.8%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:30 PM	25,742.70	6435.68	58.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
1:45 PM	27,558.73	6889.68	62.1%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:00 PM	29,525.05	7381.26	66.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:15 PM	32,026.70	8006.68	72.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:30 PM	34,581.00	8645.25	78.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
2:45 PM	37,205.84	9301.46	83.9%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:00 PM	39,542.70	9885.67	89.2%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:15 PM	41,527.74	10381.93	93.6%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:30 PM	43,192.14	10798.03	97.4%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:45 PM	43,451.02	9124.71	98.0%	0.00	0.00	0.0%	0.00	0.00	0.0%
3:54 PM	43,608.64	3488.69	98.3%	0.00	0.00	0.0%	0.00	0.00	0.0%



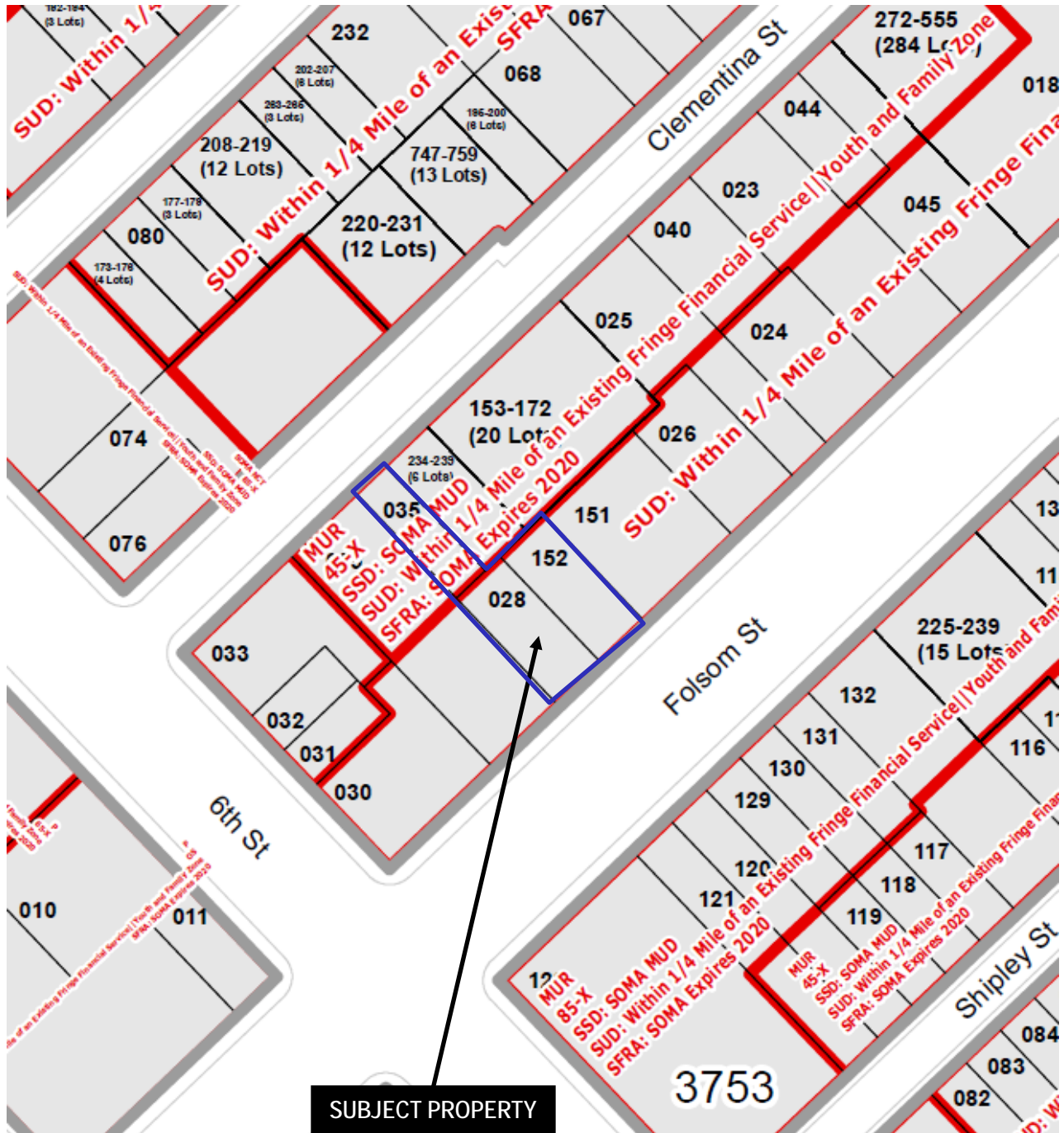
PREVISION DESIGN

995 Market Street, 2nd Floor
San Francisco, CA 94103

tel 415.498.0141
fax 415.493.0141

www.previsiondesign.com
info@previsiondesign.com

Parcel Map

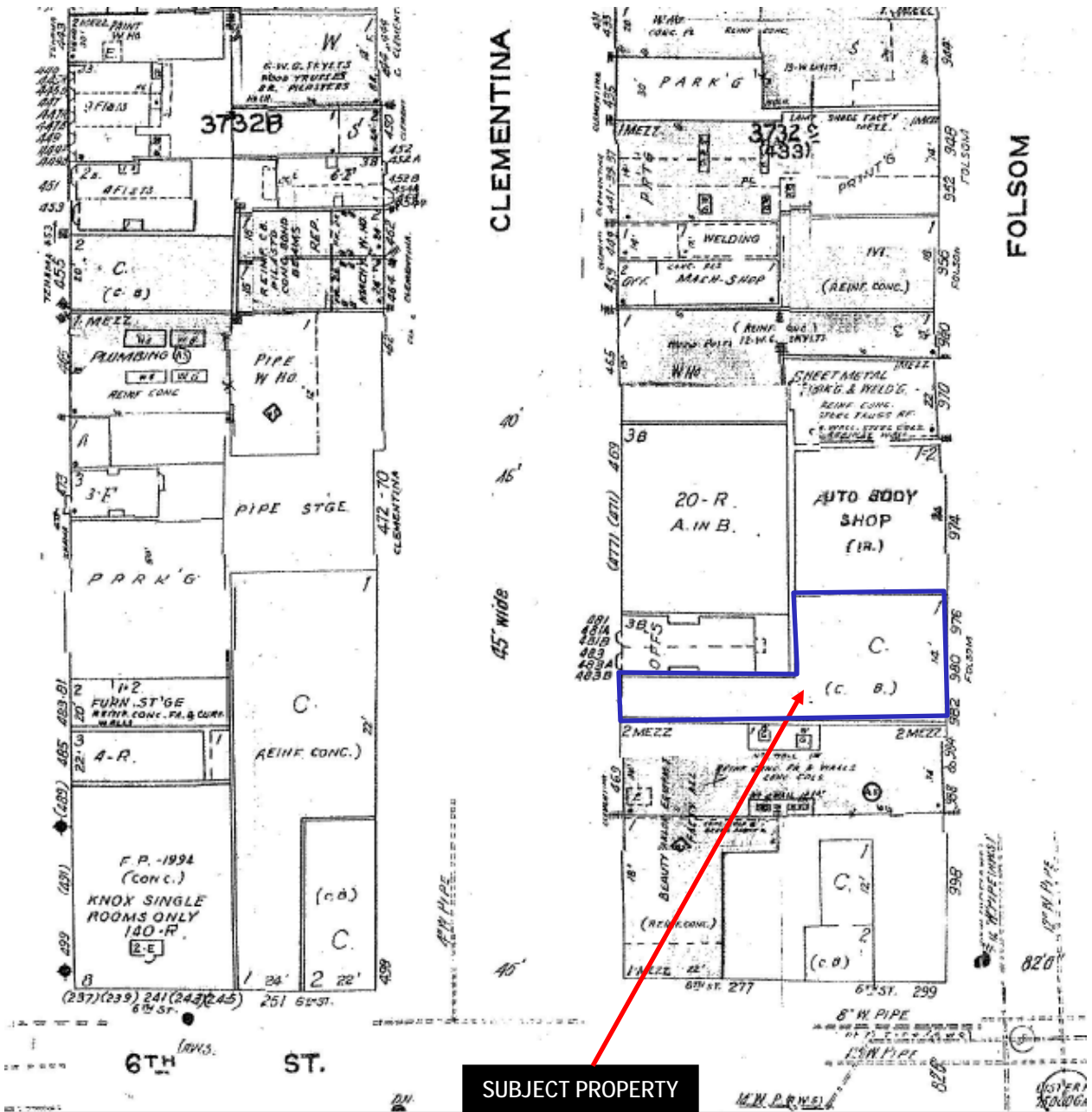


SUBJECT PROPERTY



Planning Commission Hearing
 October 5, 2017
 Case Number 2013.0977ENX SHD
 980 Folsom Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Planning Commission Hearing
 October 5, 2017
 Case Number 2013.0977ENX SHD
 980 Folsom Street

Aerial Photo



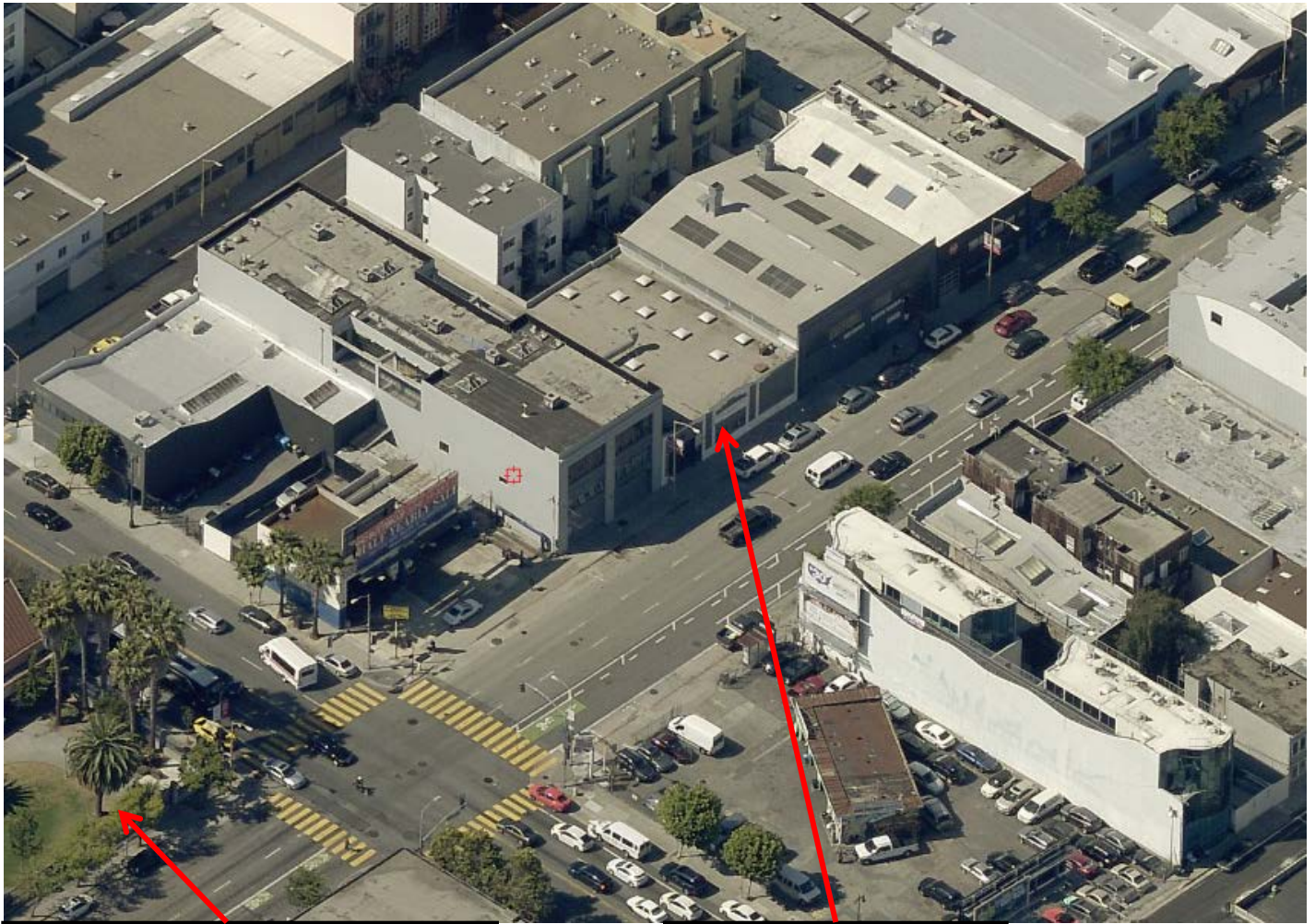
GENE FRIEND RECREATION CENTER

SUBJECT PROPERTY



Planning Commission Hearing
October 5, 2017
Case Number 2013.0977ENX SHD
980 Folsom Street

Aerial Photo

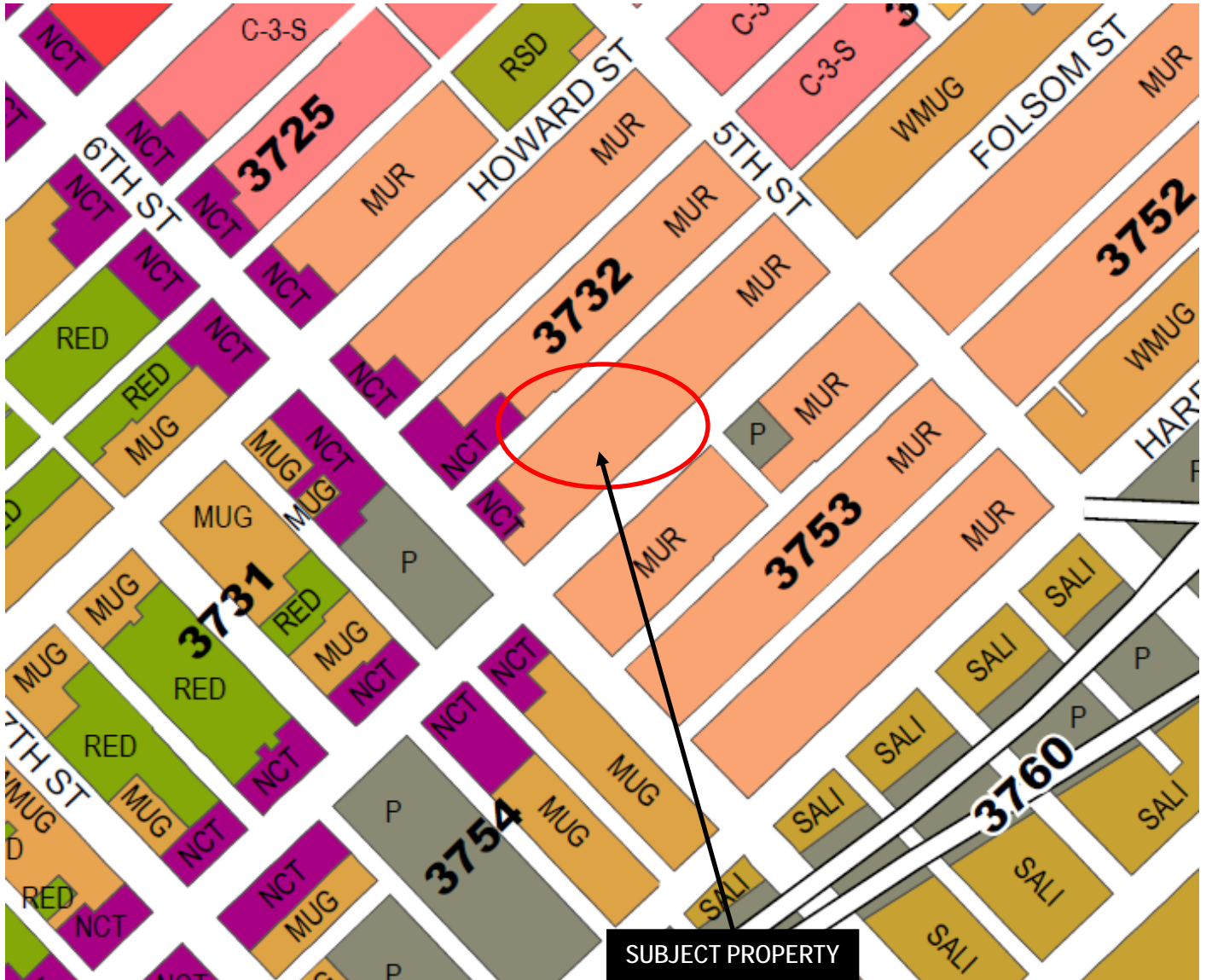


GENE FRIEND RECREATION CENTER

SUBJECT PROPERTY

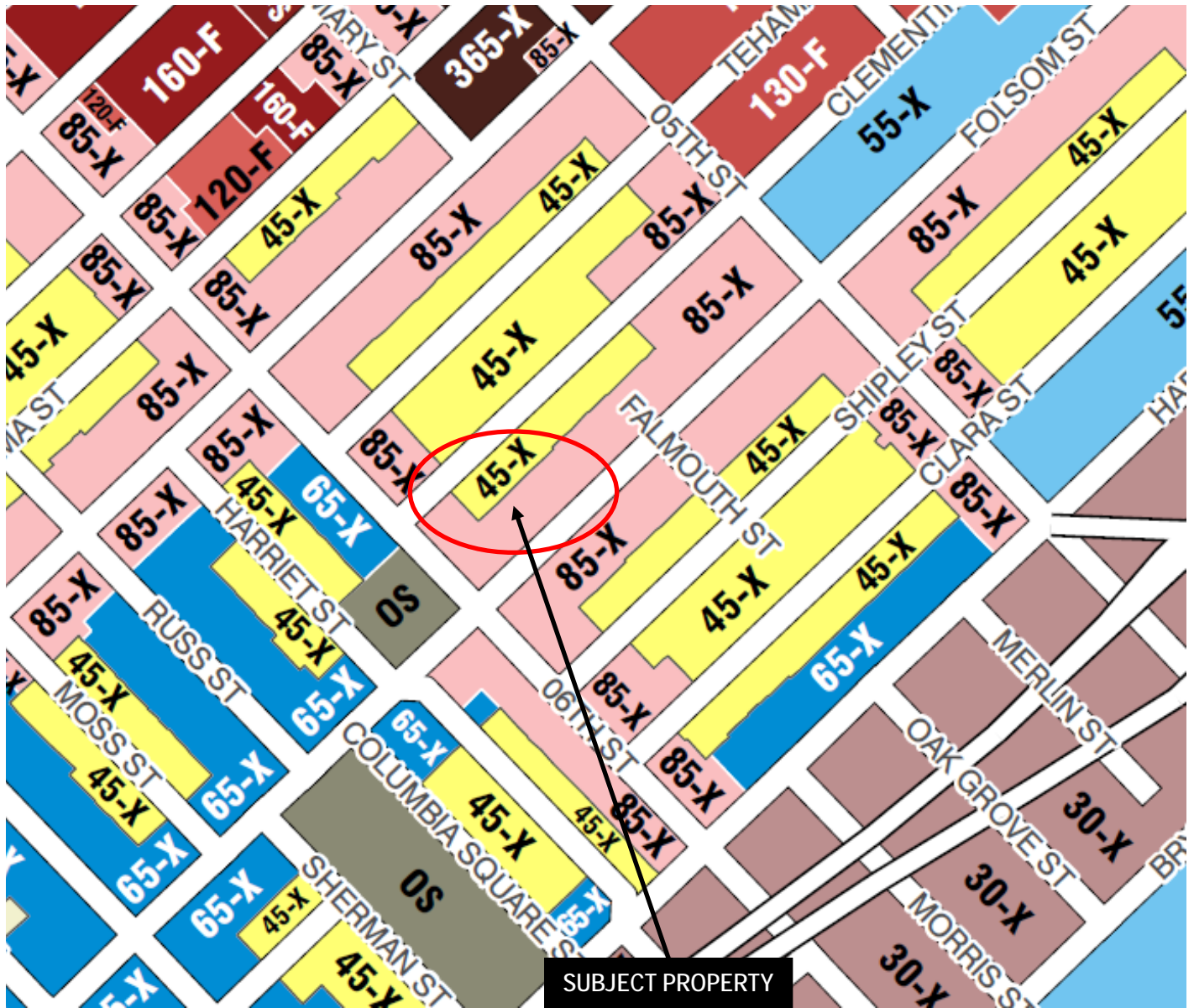


Zoning Map



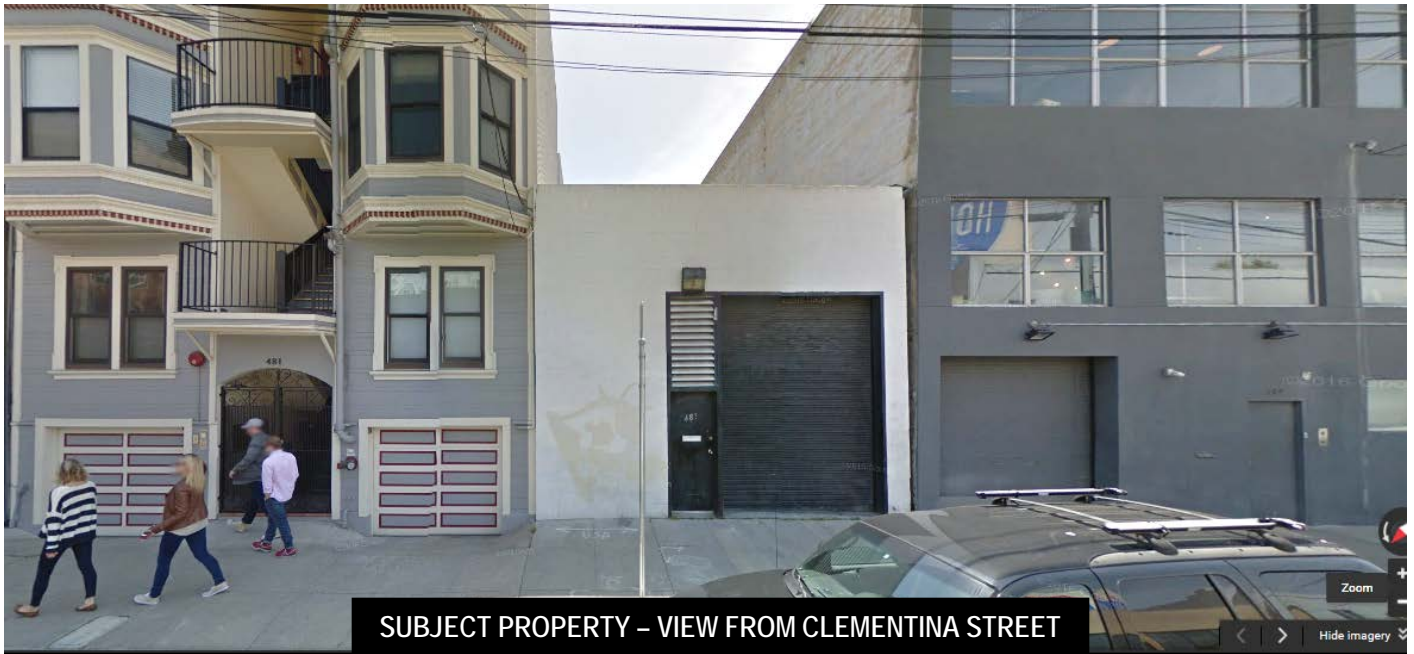
Planning Commission Hearing
October 5, 2017
Case Number 2013.0977ENX SHD
980 Folsom Street

Zoning Map – Height and Bulk



Planning Commission Hearing
October 5, 2017
Case Number 2013.0538ENX SHD
301 6th Street

Site Photo



Planning Commission Hearing
October 5, 2017
Case Number 2013.0977ENX SHD
980 Folsom Street



COMPLIANCE WITH THE INCLUSIONARY AFFORDABLE HOUSING PROGRAM

Date: August 16, 2016

To: Applicants subject to Planning Code Section 415 and 419: *Inclusionary Affordable Housing Program*

From: San Francisco Planning Department

Re: **Compliance with the Inclusionary Affordable Housing Program**

All projects that include 10 or more dwelling units must participate in the *Inclusionary Affordable Housing Program* contained in Planning Code Sections 415 and 419. Every project subject to the requirements of Planning Code Section 415 or 419 is required to pay the Affordable Housing Fee. A project may be eligible for an Alternative to the Affordable Housing Fee if the developer chooses to commit to sell the new residential units rather than offer them as rental units. Projects may be eligible to provide rental affordable units if it demonstrates the affordable units are not subject to the Costa Hawkins Rental Housing Act. All projects that can demonstrate that they are eligible for an Alternative to the Affordable Housing Fee must provide necessary documentation to the Planning Department and Mayor's Office of Housing.

Before the Planning Department and/or Planning Commission can act on the project, this Affidavit for Compliance with the Inclusionary Affordable Housing Program must be completed. Please note that this affidavit is required to be included in Planning Commission packets and therefore, must comply with packet submittal guidelines.

The Affidavit is divided into two sections. This first section is devoted to projects that are subject to Planning Code Section 415. The second section covers projects that are located in the Urban Mixed Use (UMU) Zoning District and certain projects within the Mission Neighborhood Commercial Transit District that are subject to Planning Code Section 419. Please use the applicable form and contact Planning staff with any questions.

On June 7, 2016, Proposition C was passed by San Francisco voters to modify Affordable Housing Requirements and trailing legislation was passed by the Board of Supervisors (Ord No. 76-16 and File No. 160255) to implement the increased requirements. Please be aware that the inclusionary requirements may differ for projects depending on when a complete Environmental Evaluation Application (EEA) was submitted with the Department. Please also note that there are different requirements for smaller projects (10-24 units) and larger projects (25+ units). Please use the attached tables to determine the applicable requirement.

For new projects with complete EEA's accepted after January 12, 2016, the Inclusionary Affordable Housing Program includes provisions to allow for mixed income levels. Generally speaking, if the required number of units constructed on-site is 25%, a minimum of 15% of the units must be affordable to low-income households and 10% of the units affordable to low- or moderate/middle-income households. The Average Median Income (AMI) for low income is 55% for rental and 80% for ownership. The AMI for moderate/middle income units is 100% for rental and 120% for ownership. Projects subject to grandfathering must provide the all of the inclusionary units at the low income AMI.

Summary of requirements. Please determine what percentage is applicable for your project based on the size of the project, the zoning of the property, and the date that a complete Environmental Evaluation Application (EEA) was submitted. Chart A applies throughout San Francisco whereas Chart B addresses UMU (Urban Mixed Use District) Zoning Districts.

If the project received its first discretionary approval prior to January 12, 2016, please use the EEA accepted before 1/1/13 column to determine the applicable percentage because projects that received a first discretionary approval prior to January 12, 2016 are not subject to the new requirements included in the trailing legislation associated with Proposition C (Ord. No. 76-16 and File No. 160255).

The Project contains: 33 UNITS	The zoning of the property is: MUR	Complete EEA was submitted on: August 1, 2014
--	--	---

CHART A: Inclusionary Requirements for San Francisco, excluding UMU Zoning Districts.

Complete EEA Accepted: →	Before 1/1/13	Before 1/1/14	Before 1/1/15	Before 1/12/16	After 1/12/16
Fee or Off-site					
10-24 unit projects	20.0%	20.0%	20.0%	20.0%	20.0%
25+ unit projects at or below 120'	20.0%	25.0%	27.5%	30.0%	33.0%
25+ unit projects over 120' in height *	20.0%	33.0%	33.0%	33.0%	33.0%
On-site					
10-24 unit projects	12.0%	12.0%	12.0%	12.0%	12.0%
25+ unit projects	12.0%	13.0%	13.5%	14.5%	25.0%

* except buildings up to 130 feet in height located both within a special use district and within a height and bulk district that allows a maximum building height of 130 feet.

CHART B: Inclusionary Requirements for UMU Districts. Please note that the Middle Income Incentive Alternative regulated in Planning Code Section 419 was not changed by Code amendment (Ord. No. 76-16). Also, certain projects in the SOMA Youth and Family SUD rely upon UMU requirements as stipulated by the Planning Code.

Complete EEA Accepted: →	Before 1/1/13	Before 1/1/14	Before 1/1/15	Before 1/12/16	After 1/12/16
On-site UMU					
Tier A 10-24 unit projects	14.4%	14.4%	14.4%	14.4%	14.4%
Tier A 25+ unit projects	14.4%	15.4%	15.9%	16.4%	25.0%
Tier B 10-24 unit projects	16.0%	16.0%	16.0%	16.0%	16.0%
Tier B 25+ unit projects	16.0%	17.0%	17.5%	18.0%	25.0%
Tier C 10-24 unit projects	17.6%	17.6%	17.6%	17.6%	17.6%
Tier C 25+ unit projects	17.6%	18.6%	19.1%	19.6%	25.0%
Fee or Off-site UMU					
Tier A 10-24 unit projects	23.0%	23.0%	23.0%	23.0%	23.0%
Tier A 25+ unit projects	23.0%	28.0%	30.5%	33.0%	33.0%
Tier B 10-24 unit projects	25.0%	25.0%	25.0%	25.0%	25.0%
Tier B 25+ unit projects	25.0%	30.0%	32.5%	33.0%	33.0%
Tier C 10-24 unit projects	27.0%	27.0%	27.0%	27.0%	27.0%
Tier C 25+ unit projects	27.0%	32.0%	33.0%	33.0%	33.0%
Land Dedication in UMU or Mission NCT					
Tier A 10-24 unit < 30K	35.0%	35.0%	35.0%	35.0%	35.0%
Tier A 10-24 unit > 30K	30.0%	30.0%	30.0%	30.0%	30.0%
Tier A 25+ unit < 30K	35.0%	40.0%	42.5%	45.0%	35.0%
Tier A 25+ unit > 30K	30.0%	35.0%	37.5%	40.0%	30.0%
Tier B 10-24 unit < 30K	40.0%	40.0%	40.0%	40.0%	40.0%
Tier B 10-24 unit > 30K	35.0%	35.0%	35.0%	35.0%	35.0%
Tier B 25+ unit < 30K	40.0%	45.0%	47.5%	50.0%	40.0%
Tier B 25+ unit > 30K	35.0%	40.0%	42.5%	45.0%	35.0%
Tier C 10-24 unit < 30K	45.0%	45.0%	45.0%	45.0%	45.0%
Tier C 10-24 unit > 30K	40.0%	40.0%	40.0%	40.0%	40.0%
Tier C 25+ unit < 30K	45.0%	50.0%	52.5%	55.0%	45.0%
Tier C 25+ unit > 30K	40.0%	45.0%	47.5%	50.0%	40.0%

AFFIDAVIT



San Francisco Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

COMPLIANCE WITH THE INCLUSIONARY AFFORDABLE HOUSING PROGRAM

PLANNING CODE SECTION 415 & 419

March 9, 2017
Date

I, John Goldman
do hereby declare as follows:

A The subject property is located at (address and block/lot):

980 Folsom St.
Address

Block 3732, lots 028, 035 & 152
Block / Lot

B The proposed project at the above address is subject to the *Inclusionary Affordable Housing Program*, Planning Code Section 415 and 419 et seq.

The Planning Case Number and/or Building Permit Number is:

2013. 0977U
Planning Case Number
2014-12-29-45875 site permit
2014-12-29-4591 Demo permit
Building Permit Number

This project requires the following approval:

- Planning Commission approval (e.g. Conditional Use Authorization, Large Project Authorization)
- This project is principally permitted.

The Current Planner assigned to my project within the Planning Department is:

Ella Samonsky
Planner Name

Is this project an UMU project within the Eastern Neighborhoods Plan Area?

- Yes
 - No
- (If yes, please indicate Affordable Housing Tier)

This project is exempt from the *Inclusionary Affordable Housing Program* because:

- This project is 100% affordable.
- This project is 100% student housing.

C This project will comply with the Inclusionary Affordable Housing Program by:

- Payment of the Affordable Housing Fee prior to the first construction document issuance (Planning Code Section 415.5).
- On-site Affordable Housing Alternative (Planning Code Sections 415.6).
- Off-site Affordable Housing Alternative (Planning Code Sections 415.7):
- Land Dedication

D If the project will comply with the Inclusionary Affordable Housing Program through an **On-site** or **Off-site Affordable Housing Alternative**, please fill out the following regarding how the project is eligible for an alternative.

- Ownership.** All affordable housing units will be sold as ownership units and will remain as ownership units for the life of the project.
- Rental.** Exemption from Costa Hawkins Rental Housing Act.¹ The Project Sponsor has demonstrated to the Department that the affordable units are not subject to the Costa Hawkins Rental Housing Act, under the exception provided in Civil Code Sections 1954.50 through one of the following:
 - Direct financial contribution from a public entity.
 - Development or density bonus, or other public form of assistance.
 - Development Agreement with the City. The Project Sponsor has entered into or has applied to enter into a Development Agreement with the City and County of San Francisco pursuant to Chapter 56 of the San Francisco Administrative Code and, as part of that Agreement, is receiving a direct financial contribution, development or density bonus, or other form of public assistance.

E The Project Sponsor acknowledges that failure to sell the affordable units as ownership units or to eliminate the on-site or off-site affordable ownership-only units at any time will require the Project Sponsor to:

- (1) Inform the Planning Department and the Mayor's Office of Housing and, if applicable, fill out a new affidavit;
- (2) Record a new Notice of Special Restrictions; and
- (3) Pay the Affordable Housing Fee plus applicable interest (using the fee schedule in place at the time that the units are converted from ownership to rental units) and any applicable penalties by law.

F Affordability Levels:

No. of Affordable Units: <i>4</i>	% Affordable Units: <i>4 of 33 Meets 13.5%</i>	AMI Level: <i>90%</i>
No. of Affordable Units:	% Affordable Units:	AMI Level:

G The Project Sponsor must pay the Affordable Housing Fee in full sum to the Development Fee Collection Unit at the Department of Building Inspection for use by the Mayor's Office of Housing prior to the issuance of the first construction document.

H I am a duly authorized agent or owner of the subject property.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Executed on this day in:

San Francisco, CA

Location

March 9, 2017

Date

Sign Here

[Handwritten Signature]

Signature

John Goldman, member of 980 Felton LLC

Name (Print), Title

415-713-1931

Contact Phone Number

cc: Mayor's Office of Housing and
Community Development
Planning Department Case Docket

¹ California Civil Code Section 1954.50 and following.

UNIT MIX TABLES

Number of All Units in PRINCIPAL PROJECT:

TOTAL UNITS:	SRO / Group Housing:	Studios:	One-Bedroom Units:	Two-Bedroom Units:	Three (or more) Bedroom Units:
33		2	16	15	0

If you selected an On-site or Off-Site Alternative, please fill out the applicable section below. If using more than one AMI to satisfy the requirement, please submit a separate sheet for each AMI level.

On-site Affordable Housing Alternative Planning Code Section 415.6): calculated at % of the unit total.

Number of Affordable Units to be Located ON-SITE:

TOTAL UNITS:	SRO / Group Housing:	Studios:	One-Bedroom Units:	Two-Bedroom Units:	Three (or more) Bedroom Units:
33			2	2	

Off-site Affordable Housing Alternative (Planning Code Section 415.7): calculated at % of the unit total.

Number of Affordable Units to be Located OFF-SITE:

TOTAL UNITS:	SRO / Group Housing:	Studios:	One-Bedroom Units:	Two-Bedroom Units:	Three (or more) Bedroom Units:
Area of Dwellings in Principal Project (in sq. feet):		Off-Site Project Address:			
Area of Dwellings in Off-Site Project (in sq. feet):					
Off-Site Block/Lot(s):		Motion No. for Off-Site Project (if applicable):		Number of Market-Rate Units in the Off-site Project:	

Combination of payment of a fee, on-site affordable units, or off-site affordable units with the following distribution:

Indicate what percent of each option will be implemented (from 0% to 99%) and the number of on-site and/or off-site below market rate units for rent and/or for sale.

1. Fee % of affordable housing requirement.

2. On-Site % of affordable housing requirement.

Number of Affordable Units to be Located ON-SITE:

TOTAL UNITS:	SRO / Group Housing:	Studios:	One-Bedroom Units:	Two-Bedroom Units:	Three (or more) Bedroom Units:

3. Off-Site % of affordable housing requirement.

Number of Affordable Units to be Located OFF-SITE:

TOTAL UNITS:	SRO / Group Housing:	Studios:	One-Bedroom Units:	Two-Bedroom Units:	Three (or more) Bedroom Units:
Area of Dwellings in Principal Project (in sq. feet):		Off-Site Project Address:			
Area of Dwellings in Off-Site Project (in sq. feet):					
Off-Site Block/Lot(s):		Motion No. for Off-Site Project (if applicable):		Number of Market-Rate Units in the Off-site Project:	

Contact Information and Declaration of Sponsor of PRINCIPAL PROJECT

980 Folsom LLC

Company Name

John Goldman

Name (Print) of Contact Person

172 Russ St.

Address

San Francisco, CA 94103

City, State, Zip

415-713-1931

Phone / Fax

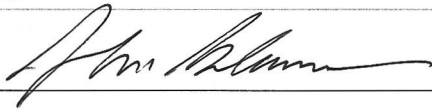
john@goldmanarchitects.com

Email

I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.

Sign Here

Signature:



Name (Print), Title:

John Goldman, member

Contact Information and Declaration of Sponsor of OFF-SITE PROJECT (If Different)

Company Name

Name (Print) of Contact Person

Address

City, State, Zip

Phone / Fax

Email

I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.

Sign Here

Signature:

Name (Print), Title:



SAN FRANCISCO
PLANNING
DEPARTMENT

AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM

Administrative Code

Chapter 83

1650 Mission Street, Suite 400 • San Francisco CA 94103-2479 • 415.558.6378 • <http://www.sfplanning.org>

Section 1: Project Information

PROJECT ADDRESS		BLOCK/LOT(S)	
980 FOLSOM ST, SF 94107.		3732-028;035,152	
BUILDING PERMIT APPLICATION NO.	CASE NO. (IF APPLICABLE)	MOTION NO. (IF APPLICABLE)	
2014-1229-4587S	2013.0977		
PROJECT SPONSOR	MAIN CONTACT	PHONE	
980 FOLSOM LLC.	JOHN GOLDMAN	415 713 1931.	
ADDRESS			
172 RUSS ST			
CITY, STATE, ZIP		EMAIL	
SAN FRANCISCO, CA 94103.		JOHN@GOLDMANARCHITECTS.COM.	
ESTIMATED RESIDENTIAL UNITS	ESTIMATED SQ FT COMMERCIAL SPACE	ESTIMATED HEIGHT/FLOORS	ESTIMATED CONSTRUCTION COST
33	950' sq.	85' FOLSOM	8.5 million
ANTICIPATED START DATE			
MID 2018.			

Section 2: First Source Hiring Program Verification

CHECK ALL BOXES APPLICABLE TO THIS PROJECT	
<input type="checkbox"/>	Project is wholly Residential
<input type="checkbox"/>	Project is wholly Commercial
<input checked="" type="checkbox"/>	Project is Mixed Use
<input checked="" type="checkbox"/>	A: The project consists of ten (10) or more residential units;
<input type="checkbox"/>	B: The project consists of 25,000 square feet or more gross commercial floor area.
<input type="checkbox"/>	C: Neither 1A nor 1B apply.
NOTES:	
<ul style="list-style-type: none"> If you checked C, this project is <u>NOT</u> subject to the First Source Hiring Program. Sign Section 4: Declaration of Sponsor of Project and submit to the Planning Department. If you checked A or B, your project <u>IS</u> subject to the First Source Hiring Program. Please complete the reverse of this document, sign, and submit to the Planning Department prior to any Planning Commission hearing. If principally permitted, Planning Department approval of the Site Permit is required for all projects subject to Administrative Code Chapter 83. For questions, please contact OEWD's CityBuild program at CityBuild@sfgov.org or (415) 701-4848. For more information about the First Source Hiring Program visit www.workforcedevelopmentsf.org If the project is subject to the First Source Hiring Program, you are required to execute a Memorandum of Understanding (MOU) with OEWD's CityBuild program prior to receiving construction permits from Department of Building Inspection. 	

Continued...

Section 3: First Source Hiring Program – Workforce Projection

Per Section 83.11 of Administrative Code Chapter 83, it is the developer's responsibility to complete the following information to the best of their knowledge.

Provide the estimated number of employees from each construction trade to be used on the project, indicating how many are entry and/or apprentice level as well as the anticipated wage for these positions.

Check the anticipated trade(s) and provide accompanying information (Select all that apply):

TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS	TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS		
Abatement Laborer	NA			Laborer	\$30	3	10		
Boilermaker	NA			Operating Engineer	NA				
Bricklayer	NA			Painter	\$35	2	8		
Carpenter	\$45 P.H.	3	12	Pile Driver	NA				
Cement Mason	\$45 P.H.	4	20	Plasterer	NA				
Drywall/Latherer	\$35 P.H.	4	20	Plumber and Pipefitter	\$55	1	8		
Electrician	\$55	2	8	Roof/Water proofer	\$40	1	6		
Elevator Constructor	\$100	0	2	Sheet Metal Worker	\$45	1	4		
Floor Coverer	\$40	1	6	Sprinkler Fitter	\$55	1	5		
Glazier	\$40	1	7	Taper	\$35	2	12		
Heat & Frost Insulator	\$30	2	8	Tile Layer/ Finisher	\$45	2	8		
Ironworker	\$55	1	4	Other: HVAC	\$55	1	6		
			TOTAL:	87				TOTAL:	67

- Will the anticipated employee compensation by trade be consistent with area Prevailing Wage? YES NO **MAJORITY OF TRADES**
- Will the awarded contractor(s) participate in an apprenticeship program approved by the State of California's Department of Industrial Relations? YES NO
- Will hiring and retention goals for apprentices be established? YES NO
- What is the estimated number of local residents to be hired? 30

Section 4: Declaration of Sponsor of Principal Project

PRINT NAME AND TITLE OF AUTHORIZED REPRESENTATIVE	EMAIL	PHONE NUMBER
John Goldman, member of the LLC	john@goldmanarchitects.com	415-713-1931
I HEREBY DECLARE THAT THE INFORMATION PROVIDED HEREIN IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I COORDINATED WITH OEWD'S CITYBUILD PROGRAM TO SATISFY THE REQUIREMENTS OF ADMINISTRATIVE CODE CHAPTER 83.		
(SIGNATURE OF AUTHORIZED REPRESENTATIVE)		(DATE)
		6-30-2017

FOR PLANNING DEPARTMENT STAFF ONLY: PLEASE EMAIL AN ELECTRONIC COPY OF THE COMPLETED AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM TO OEWD'S CITYBUILD PROGRAM AT CITYBUILD@SFGOV.ORG

Cc: Office of Economic and Workforce Development, CityBuild
 Address: 1 South Van Ness 5th Floor San Francisco, CA 94103 Phone: 415-701-4848
 Website: www.workforcedevelopmentsf.org Email: CityBuild@sfgov.org

SUPPLEMENTAL INFORMATION FOR Anti-Discriminatory Housing Policy

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: 980 Folsom LLC	
PROPERTY OWNER'S ADDRESS: 172 Russ St. San Francisco, CA 94103	TELEPHONE: (415) 713-1931
	EMAIL: john@goldmanarchitects.com

APPLICANT'S NAME: Same as Above <input checked="" type="checkbox"/>	
APPLICANT'S ADDRESS:	TELEPHONE: ()
	EMAIL:

CONTACT FOR PROJECT INFORMATION: John Goldman Same as Above <input checked="" type="checkbox"/>	
ADDRESS: 172 Russ St. San Francisco, CA 94103	TELEPHONE: (415) 713-1931
	EMAIL: john@goldmanarchitects.com

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR): Same as Above <input checked="" type="checkbox"/>	
ADDRESS:	TELEPHONE: ()
	EMAIL:

2. Location and Project Description

STREET ADDRESS OF PROJECT: 980 Folsom St., San Francisco, CA		ZIP CODE:
CROSS STREETS: North side of Folsom between 6th and 5th		
ASSESSORS BLOCK/LOT: 3732 128; 35; 152	ZONING DISTRICT: MUR	HEIGHT/BULK DISTRICT: 25-X

PROJECT TYPE: (Please check all that apply)	EXISTING DWELLING UNITS:	PROPOSED DWELLING UNITS:	NET INCREASE:
<input checked="" type="checkbox"/> New Construction	0	33	33
<input type="checkbox"/> Demolition			
<input type="checkbox"/> Alteration			
<input type="checkbox"/> Other: _____			

Compliance with the Anti-Discriminatory Housing Policy

1. Does the applicant or sponsor, including the applicant or sponsor's parent company, subsidiary, or any other business or entity with an ownership share of at least 30% of the applicant's company, engage in the business of developing real estate, owning properties, or leasing or selling individual dwelling units in States or jurisdictions outside of California? YES NO

1a. If yes, in which States? _____

- 1b. If yes, does the applicant or sponsor, as defined above, have policies in individual States that prohibit discrimination based on sexual orientation and gender identity in the sale, lease, or financing of any dwelling units enforced on every property in the State or States where the applicant or sponsor has an ownership or financial interest? YES NO

- 1c. If yes, does the applicant or sponsor, as defined above, have a national policy that prohibits discrimination based on sexual orientation and gender identity in the sale, lease, or financing of any dwelling units enforced on every property in the United States where the applicant or sponsor has an ownership or financial interest in property? YES NO

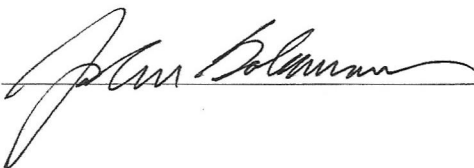
If the answer to 1b and/or 1c is yes, please provide a copy of that policy or policies as part of the supplemental information packet to the Planning Department.

Human Rights Commission contact information
Mullane Ahern at (415)252-2514 or mullane.ahern@sfgov.org

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: 

Date: 4-14-17

Print name, and indicate whether owner, or authorized agent:

John Goldman, member of 980 Folsom LLC
 Owner / Authorized Agent (circle one)

PLANNING DEPARTMENT USE ONLY

PLANNING DEPARTMENT VERIFICATION:

- Anti-Discriminatory Housing Policy Form is **Complete**
 Anti-Discriminatory Housing Policy Form is **Incomplete**

Notification of Incomplete Information made:

To: _____ Date: _____

BUILDING PERMIT NUMBER(S):	DATE FILED:
RECORD NUMBER:	DATE FILED:
VERIFIED BY PLANNER:	
Signature: _____	Date: _____
Printed Name: _____	Phone: _____
ROUTED TO HRC:	DATE:
<input type="checkbox"/> Emailed to: _____	



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination Community Plan Evaluation

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Case No.: 2013.0977E
Project Address: 980 Folsom Street
Zoning: MUR (Mixed Use, Residential) District
45-X/85-X Height and Bulk District
South of Market Youth and Family Special Use District
Block/Lot: 3732/028,035,152
Lot Size: 6,864 square feet
Plan Area: Eastern SoMa subarea of the Eastern Neighborhoods Area Plan
Project Sponsor: John Goldman, Goldman Architects, (415) 391-1339 ext. 104
Staff Contact: Jenny Delumo, (415) 575-9146, Jenny.Delumo@sfgov.org

PROJECT DESCRIPTION

The project site at 980 Folsom Street is comprised of three adjacent lots on Assessor's Block 3732: 980 Folsom Street (Lot 028), 976 Folsom Street (Lot 152), and 483 Clementina Street (Lot 035). The project site is on the block bounded by Folsom Street to the south, Clementina Street to the north, 6th Street to the west, and 5th Street to the east, and within the South of Market neighborhood and South of Market Youth and Family Special Use District. The project site is currently developed with an approximately 7,569 gross-square-foot (gsf), 21-foot-tall, single-story building. The existing building is occupied with an auto body repair and paint facility with 6,159 gsf of production, distribution and repair (PDR) space and 1,410 gsf of office space. The project site is served by two curb cuts: one on Folsom Street (approximately 16 feet wide) and one on Clementina Street (approximately 12-feet and six-inches wide) that continues another 12 feet and two inches in front of the adjacent building to the east. The proposed project would demolish the existing structure and construct an approximately 36,214 gsf residential development with ground-floor retail, and frontage on Folsom Street and Clementina Street.

(Continued on next page.)

CEQA DETERMINATION

The project is eligible for streamlined environmental review per Section 15183 of the California Environmental Quality Act (CEQA) Guidelines and California Public Resources Code Section 21083.3

DETERMINATION

I do hereby certify that the above determination has been made pursuant to State and Local requirements.


Lisa M. Gibson
Environmental Review Officer

7/14/17
Date

cc: John Goldman, Project Sponsor; Supervisor Jane Kim, District 6; Ella Samonsky, Current Planning Division; Virna Byrd, M.D.F.; Exemption/Exclusion File

PROJECT DESCRIPTION (continued)

The portion of the proposed project that would front Folsom Street would be comprised of an eight-story, 85-foot-tall (with an additional 15 feet for the elevator and stair penthouses) building with approximately 31,464 gsf of residential space above 963 gsf of ground-floor retail space. The portion of the proposed project that would front Clementina Street would be comprised of a four-story, 45-foot-tall (with an additional 10 feet for the elevator and stair penthouses) building with approximately 3,362 gsf of residential space above a 3,787 gsf parking garage with space for 14 vehicles. A podium terrace would connect the two buildings on the second floor. The proposed project would provide up to 33 residential dwelling units, 34 Class I (secured) bicycle parking spaces, four Class II bicycle parking spaces, and 4,013 sf of common open space on the podium terrace and on a roof deck. The proposed project would remove both curb cuts and install a new nine-foot-wide curb cut on Clementina Street in order to access the proposed garage. Photovoltaic panels would be installed on the roofs of both buildings. Three new street trees would be planted on the portion of the sidewalk adjacent to the proposed project's Folsom Street frontage and one new street tree would be planted on the portion of the sidewalk adjacent to the proposed project's Clementina Street frontage. The proposed project would include excavation of approximately 210 cubic yards of material to a maximum depth of approximately four feet below grade to accommodate the vehicle parking lifts in the proposed garage.

PROJECT APPROVAL

Actions by the Planning Commission

The proposed project would require approval of a Large Project Authorization (LPA) by the Planning Commission pursuant to Planning Code Section 329. The proposed project requires an LPA for (1) new construction greater than 25,000 gross square feet and greater than 75 feet in height in the MUR (Mixed Use-Residential) District. Implementation of the proposed project would require exceptions from the following Planning Code requirements through the approval of a LPA, as discussed below:

- As proposed, the configuration of the rear yard of the project does not meet the requirements of Planning Code Section 134(g);
- Some of the proposed dwelling units do not meet the requirements of Planning Code Section 140 for dwelling unit exposure; and
- The proposed project includes more vehicle parking spaces than permitted per Planning Code Section 151.1.

Therefore, the project would, as part of the LPA process, require exceptions from these Planning Code requirements.

Actions by other City Departments

- **Recreation and Park Commission.** Joint hearing with the Planning Commission that the project would have no adverse shadow impact on Gene Friend Recreation Center or other parks subject to Section 295 of the Planning Code.
- **Department of Building Inspection (DBI).** Approval of demolition, grading, building and occupancy permits for demolition of the existing structures and new construction.

- **Department of Public Health (DPH).** Approval of a Site Mitigation Plan pursuant to the Maher Ordinance prior to the commencement of any excavation work, and approval of a Dust Control Plan prior to construction-period activities.
- **San Francisco Municipal Transportation Agency (SFMTA).** Approval of all proposed changes in curb cuts and parking zones pursuant to the SFMTA Color Curb Program. Coordination with the SFMTA Interdepartmental Staff Committee on Traffic and Transportation to coordinate temporary construction-related changes to the transportation network.
- **San Francisco Public Works Department (Public Works), Bureau of Streets and Mapping.** Approval of modifications to public sidewalks, street trees, curb cuts, and bulb out extensions.
- **San Francisco Public Utilities Commission (SFPUC).** Approval of a Stormwater Control Plan and an Erosion and Sediment Control Plan prior to commencing construction.

Approval Action: Approval of the LPA by the Planning Commission would be the Approval Action for the proposed project. The Approval Action date establishes the start of the 30-day appeal period for this CEQA determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

COMMUNITY PLAN EVALUATION OVERVIEW

California Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183 provide that projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an Environmental Impact Report (EIR) was certified, shall not be subject to additional environmental review except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that: a) are peculiar to the project or parcel on which the project would be located; b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent; c) are potentially significant off-site and cumulative impacts that were not discussed in the underlying EIR; or d) are previously identified in the EIR, but which, as a result of substantial new information that was not known at the time that the EIR was certified, are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for the project solely on the basis of that impact.

This determination evaluates the potential project-specific environmental effects of the 980 Folsom Street project described above, and incorporates by reference information contained in the Programmatic EIR for the Eastern Neighborhoods Rezoning and Area Plans (PEIR)¹. Project-specific studies were prepared for the proposed project to determine if the project would result in any significant environmental impacts that were not identified in the Eastern Neighborhoods PEIR.

After several years of analysis, community outreach, and public review, the Eastern Neighborhoods PEIR was adopted in December 2008. The Eastern Neighborhoods PEIR was adopted in part to support housing development in some areas previously zoned to allow industrial uses, while preserving an adequate supply of space for existing and future production, distribution, and repair (PDR) employment and businesses. The Eastern Neighborhoods PEIR also included changes to existing height and bulk districts in some areas, including the project site at 980 Folsom Street.

The Planning Commission held public hearings to consider the various aspects of the proposed Eastern Neighborhoods Rezoning and Area Plans and related Planning Code and Zoning Map amendments. On

¹ Planning Department Case No. 2004.0160E and State Clearinghouse No. 2005032048

August 7, 2008, the Planning Commission certified the Eastern Neighborhoods PEIR by Motion 17659 and adopted the Preferred Project for final recommendation to the Board of Supervisors.^{2,3}

In December 2008, after further public hearings, the Board of Supervisors approved and the Mayor signed the Eastern Neighborhoods Rezoning and Planning Code amendments. New zoning districts include districts that would permit PDR uses in combination with commercial uses; districts mixing residential and commercial uses and residential and PDR uses; and new residential-only districts. The districts replaced existing industrial, commercial, residential single-use, and mixed-use districts.

The Eastern Neighborhoods PEIR is a comprehensive programmatic document that presents an analysis of the environmental effects of implementation of the Eastern Neighborhoods Rezoning and Area Plans, as well as the potential impacts under several proposed alternative scenarios. The Eastern Neighborhoods Draft EIR evaluated three rezoning alternatives, two community-proposed alternatives which focused largely on the Mission District, and a “No Project” alternative. The alternative selected, or the Preferred Project, represents a combination of Options B and C. The Planning Commission adopted the Preferred Project after fully considering the environmental effects of the Preferred Project and the various scenarios discussed in the PEIR. The Eastern Neighborhoods PEIR estimated that implementation of the Eastern Neighborhoods Plan could result in approximately 7,400 to 9,900 net dwelling units and 3,200,000 to 6,600,000 square feet of net non-residential space (excluding PDR loss) built in the Plan Area throughout the lifetime of the Plan (year 2025). The Eastern Neighborhoods PEIR projected that this level of development would result in a total population increase of approximately 23,900 to 33,000 people throughout the lifetime of the plan.⁴

A major issue of discussion in the Eastern Neighborhoods rezoning process was the degree to which existing industrially-zoned land would be rezoned to primarily residential and mixed-use districts, thus reducing the availability of land traditionally used for PDR employment and businesses. Among other topics, the Eastern Neighborhoods PEIR assesses the significance of the cumulative land use effects of the rezoning by analyzing its effects on the City's ability to meet its future PDR space needs as well as its ability to meet its housing needs as expressed in the City's General Plan.

As a result of the Eastern Neighborhoods rezoning process, the project site has been rezoned to MUR District. The MUR District is intended to facilitate the development of high-density, mid-rise housing and encourage the expansion of retail, business service and commercial and cultural arts activities. It is also intended to serve as a buffer between high-density, predominately commercial areas near the Yerba Buena Center to the east and the lower-scale, mixed use service/industrial and housing area west of 6th Street. The proposed project and its relation to PDR land supply and cumulative land use effects is discussed further in the Community Plan Evaluation (CPE) Initial Study Checklist, under Land Use. The 980 Folsom Street site, which is located in the Mission District of the Eastern Neighborhoods, was designated as a site with building up to 85 feet in height.

Individual projects that could occur in the future under the Eastern Neighborhoods Rezoning and Area Plans will undergo project-level environmental evaluation to determine if they would result in further impacts specific to the development proposal, the site, and the time of development and to assess

² San Francisco Planning Department. Eastern Neighborhoods Rezoning and Area Plans Final Environmental Impact Report (FEIR), Planning Department Case No. 2004.0160E, certified August 7, 2008. Available online at: <http://www.sf-planning.org/index.aspx?page=1893>, accessed August 17, 2012.

³ San Francisco Planning Department. San Francisco Planning Commission Motion 17659, August 7, 2008. Available online at: <http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=1268>, accessed August 17, 2012.

⁴ Table 2 Forecast Growth by Rezoning Option Chapter IV of the Eastern Neighborhoods Draft EIR shows projected net growth based on proposed rezoning scenarios. A baseline for existing conditions in the year 2000 was included to provide context for the scenario figures for parcels affected by the rezoning.

whether additional environmental review would be required. This determination concludes that the proposed project at 980 Folsom Street is consistent with and was encompassed within the analysis in the Eastern Neighborhoods PEIR, including the Eastern Neighborhoods PEIR development projections. This determination also finds that the Eastern Neighborhoods PEIR adequately anticipated and described the impacts of the proposed 980 Folsom Street project, and identified the mitigation measures applicable to the 980 Folsom Street project. The proposed project is also consistent with the zoning controls and the provisions of the Planning Code applicable to the project site.^{5,6} Therefore, no further CEQA evaluation for the 980 Folsom Street project is required. In sum, the Eastern Neighborhoods PEIR and this Certificate of Determination and accompanying project-specific initial study comprise the full and complete CEQA evaluation necessary for the proposed project.

PROJECT SETTING

As previously discussed, the subject block is bounded by Folsom Street to the south, Clementina Street to the north, 6th Street to the west, and 5th Street to the east. Folsom Street is an eastbound four-lane, one-way street with parallel parking on both sides of the street and a protected bike lane on the south side of the street. Running north/south, 6th Street is a two-way, four-lane street with parallel parking on both sides of the street. Fifth Street is a two-way, four-lane street running north/south. Parallel parking spaces are provided on both sides of 5th street, with the exception of the west side of the street between Clementina and Folsom Streets. Class II bicycle facilities are located on Fifth Street as part of Citywide Bicycle Routes 19 and 30. Clementina Street is a westbound one-lane, one-way street. Parallel parking spaces are provided on either side of Clementina Street. The site vicinity contains a city-owned parking facility at 415 7th Street. Other off-street parking facilities in the vicinity of the project site primarily serve residents, and employees and patrons of private businesses.

The project site vicinity is characterized by a mix of residential, PDR, commercial, and recreational uses. With the exception of the lot on the corner of 6th and Clementina Streets, the majority of the subject block is zoned MUR (Mixed Use-Residential). The blocks north, south, and east of the project site are also zoned MUR. The lots fronting either side of 6th Street are zoned SoMa NCT (SoMa Neighborhood Commercial Transit), except for Gene Friend Recreation Center (located on the southwest corner of Folsom and 6th Streets), which is zoned P (Public). The blocks west of the project site are zoned MUG (Mixed Use-General) and RED (South of Market Residential Enclave). The southern half of the project site, along with lots fronting Folsom Street and the majority of 6th Street, are within an 85-X height and bulk district. The project vicinity includes 45-X height and bulk districts (on lots north of the project site fronting Clementina Street and Tehama Street), 65-X height and bulk districts (on lots on the west side of 6th Street between Howard and Folsom streets).

The project site vicinity features low- to mid-density scale of development. The buildings on Folsom Street are predominately two to three stories with an eight-story residential building at the northwest corner of Folsom and 5th Streets. The buildings on 5th Street range from one to six stories with one 14-story building at the southeast corner of Clementina and 5th Streets. One- to two-story commercial buildings and three- to four-story residential buildings front Clementina Street. The buildings on 6th Street range from two to three stories.

⁵ Adam Varat, San Francisco Planning Department, Community Plan Evaluation Eligibility Determination, Citywide Planning and Policy Analysis, 980 Folsom Street, April 2, 2015. This document (and all other documents cited in this report, unless otherwise noted), is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2013.0977E.

⁶ Jeff Joslin, San Francisco Planning Department, Community Plan Evaluation Eligibility Determination, Current Planning Analysis, 980 Folsom Street, February 11, 2016.

POTENTIAL ENVIRONMENTAL EFFECTS

The Eastern Neighborhoods PEIR included analyses of environmental issues including: land use; plans and policies; visual quality and urban design; population, housing, business activity, and employment (growth inducement); transportation; noise; air quality; parks, recreation and open space; shadow; archeological resources; historic architectural resources; hazards; and other issues not addressed in the previously issued initial study for the Eastern Neighborhoods Rezoning and Area Plans. The proposed 980 Folsom Street project is in conformance with the height, use and density for the site described in the Eastern Neighborhoods PEIR and would represent a small part of the growth that was forecast for the Eastern Neighborhoods plan areas. Thus, the plan analyzed in the Eastern Neighborhoods PEIR considered the incremental impacts of the proposed 980 Folsom Street project. As a result, the proposed project would not result in any new or substantially more severe impacts than were identified in the Eastern Neighborhoods PEIR.

Significant and unavoidable impacts were identified in the Eastern Neighborhoods PEIR for the following topics: land use, historic architectural resources, transportation and circulation, and shadow.

The proposed project would not contribute to significant and unavoidable impacts on historic resources, transportation and circulation, and shadow. The existing building on the project site was not found to be a historic resource, nor is the project site located in or adjacent to an identified historic district. As such, the proposed project would not result in a significant adverse impact on historic resources, and therefore would not contribute to any significant and unavoidable impacts to historic resources. In regards to significant and unavoidable transportation impacts related to traffic and transit, the proposed project would not contribute considerably to project-specific and cumulative traffic and transit impacts identified in the Eastern Neighborhoods PEIR. The Eastern Neighborhoods PEIR determined that projects developed in the South of Market neighborhood on lots adjacent to and near the Gene Friend Recreation Center⁷ could result in significant and unavoidable shadow impacts. However, shadow on Gene Friend Recreation Center generated by the proposed project would not be expected to substantially affect the use and enjoyment of the park as the shade would primarily occur in the early morning and would be of short duration, and would not combine with shadows from other reasonably foreseeable development projects. Therefore, the proposed project would not contribute considerably to shadow impacts identified in the Eastern Neighborhoods PEIR.

The proposed project would contribute to significant and unavoidable impacts on land use with respect to PDR land supply. The existing building on the project site is zoned MUR, which allows for light industrial uses such as those typically characterized as PDR. The existing building is occupied by an auto repair shop with approximately 6,159 gsf dedicated to PDR uses and 1,410 gsf dedicated to office uses. Thus the proposed project would remove approximately 6,159 gsf of existing PDR use. The PEIR considers the presence of PDR businesses and activities and how they may operate as PDR clusters. As noted in the PEIR, auto body repair PDR clusters exist in East SoMa, predominately in the area west of 5th Street which includes the project site. The existing PDR business at the project site would be required to relocate and may not be able to relocate as a result of the proposed project near other similar PDR businesses. This effect of the project, combined with the loss of approximately 6,159 gsf of PDR space would contribute considerably to the significant and unavoidable land use impacts identified in the PEIR.

The Eastern Neighborhoods PEIR identified feasible mitigation measures to address significant impacts related to noise, air quality, archeological resources, historical resources, hazardous materials, and

⁷ Gene Friend Recreation Center is referred to as the South of Market Recreation Center/Eugene Friend Recreation Center in the Eastern Neighborhoods PEIR.

transportation. **Table 1** below lists the mitigation measures identified in the Eastern Neighborhoods PEIR and states whether each measure would apply to the proposed project.

Table 1 – Eastern Neighborhoods PEIR Mitigation Measures

Mitigation Measure	Applicability	Compliance
F. Noise		
F-1: Construction Noise (Pile Driving)	Applicable: pile driving could be required.	The project sponsor has agreed to pre-drill piles wherever feasible, to use sonic or vibratory sheet pile drivers instead of impact drivers wherever sheet piles are needed, and to schedule pile driving activities during times of day that would minimize disturbance to neighbors (see Project Mitigation Measure 2).
F-2: Construction Noise	Applicable: temporary construction noise from use of heavy equipment.	The project sponsor has agreed to develop and implement a set of construction noise attenuation measures under Project Mitigation Measure 3.
F-3: Interior Noise Levels	Not Applicable: the regulations and procedures set forth by Title 24 would ensure that existing ambient noise levels would not adversely affect the proposed residential uses on the project site.	Not Applicable
F-4: Siting of Noise-Sensitive Uses	Not Applicable: the regulations and procedures set forth by Title 24 would ensure that existing ambient noise levels would not adversely affect the proposed residential uses on the project site.	Not Applicable
F-5: Siting of Noise-Generating Uses	Not Applicable: the proposed project would not include noise-generating uses.	Not Applicable
F-6: Open Space in Noisy Environments	Not Applicable: CEQA no longer requires the consideration of the effects of existing environmental conditions on a proposed	Not Applicable

Mitigation Measure	Applicability	Compliance
	project's future users if the project would not exacerbate those environmental conditions	
G. Air Quality		
G-1: Construction Air Quality	Applicable: the proposed project would include construction within the Air Pollutant Exposure Zone.	The project sponsor has agreed to develop and implement a Construction Emissions Minimization Plan to reduce construction emissions under Project Mitigation Measure 4.
G-2: Air Quality for Sensitive Land Uses	Not Applicable: this mitigation measure has been superseded by Health Code Article 38, and the project sponsor has enrolled with the Department of Public Health in the Article 38 program.	Not Applicable
G-3: Siting of Uses that Emit DPM	Applicable: the proposed project would include a backup generator.	The project sponsor has agreed to utilize the Best Available Control Technology for Diesel Generators under Project Mitigation Measure 5
G-4: Siting of Uses that Emit other TACs	Applicable: the proposed project would include a backup generator.	The project sponsor has agreed to utilize the Best Available Control Technology for Diesel Generators under Project Mitigation Measure 5.
J. Archeological Resources		Not Applicable
J-1: Properties with Previous Studies	Not Applicable: the project site was not evaluated in any previous studies.	Not Applicable
J-2: Properties with no Previous Studies	Applicable: the project site is located in an area with no previous studies. Project would implement Accidental Discovery mitigation measure based on the PAR	The project sponsor has agreed to implement the Planning Department's Standard Mitigation Measure #1 (Accidental Discovery) in compliance with this mitigation measure under Project Mitigation Measure 1.
J-3: Mission Dolores Archeological District	Not Applicable: the project site is not located within the Mission Dolores Archeological	Not Applicable

Mitigation Measure	Applicability	Compliance
	District.	
K. Historical Resources		Not Applicable
K-1: Interim Procedures for Permit Review in the Eastern Neighborhoods Plan area	Not Applicable: plan-level mitigation completed by Planning Department	Not Applicable
K-2: Amendments to Article 10 of the Planning Code Pertaining to Vertical Additions in the South End Historic District (East SoMa)	Not Applicable: plan-level mitigation completed by Planning Commission	Not Applicable
K-3: Amendments to Article 10 of the Planning Code Pertaining to Alterations and Infill Development in the Dogpatch Historic District (Central Waterfront)	Not Applicable: plan-level mitigation completed by Planning Commission	Not Applicable
L. Hazardous Materials		
L-1: Hazardous Building Materials	Applicable: the project involves the demolition of existing buildings.	The project sponsor has agreed to remove and properly dispose of any hazardous building materials in accordance with applicable federal, state, and local laws prior to demolishing the existing buildings under Project Mitigation Measure 6.
E. Transportation		
E-1: Traffic Signal Installation	Not Applicable: automobile delay removed from CEQA analysis	Not Applicable
E-2: Intelligent Traffic Management	Not Applicable: automobile delay removed from CEQA analysis	Not Applicable
E-3: Enhanced Funding	Not Applicable: automobile delay removed from CEQA analysis	Not Applicable
E-4: Intelligent Traffic Management	Not Applicable: automobile delay removed from CEQA analysis	Not Applicable
E-5: Enhanced Transit Funding	Not Applicable: plan level mitigation by SFMTA	Not Applicable

Mitigation Measure	Applicability	Compliance
E-6: Transit Corridor Improvements	Not Applicable: plan level mitigation by SFMTA	Not Applicable
E-7: Transit Accessibility	Not Applicable: plan level mitigation by SFMTA	Not Applicable
E-8: Muni Storage and Maintenance	Not Applicable: plan level mitigation by SFMTA	Not Applicable
E-9: Rider Improvements	Not Applicable: plan level mitigation by SFMTA	Not Applicable
E-10: Transit Enhancement	Not Applicable: plan level mitigation by SFMTA	Not Applicable
E-11: Transportation Demand Management	Not Applicable: plan level mitigation by SFMTA	Not Applicable

Please see the attached Mitigation Monitoring and Reporting Program (MMRP) for the complete text of the applicable mitigation measures. With implementation of these mitigation measures the proposed project would not result in significant impacts beyond those analyzed in the Eastern Neighborhoods PEIR.

PUBLIC NOTICE AND COMMENT

A “Notification of Project Receiving Environmental Review” was mailed on May 11, 2015 to adjacent occupants and owners of properties within 300 feet of the project site. Overall, concerns and issues raised by the public in response to the notice were taken into consideration and incorporated in the environmental review as appropriate for CEQA analysis. Respondents requested copies of all environmental notices and determinations and shared their concerns about the impact of additional housing in the Eastern SoMa area of the Eastern Neighborhood Area Plan and the proposed project’s potential to shadow the Gene Friend Recreation Center. Concerns regarding the analysis of housing and population are addressed in Initial Study Checklist topic 2, Population and Housing. The proposed project would cast a shadow on Gene Friend Recreation Center prior to the when the park typically opens (9:00 a.m.). This is further discussed in Initial Study Checklist topic 8, Wind and Shadow.

Other comments about the merits of the proposed project were also provided. However, comments that do not pertain to physical environmental issues and comments on the merits of the proposed project will be considered in the context of project approval or disapproval, independent of the environmental review process. The proposed project would not result in significant adverse environmental impacts associated with the issues identified by the public beyond those identified in the Eastern Neighborhoods PEIR.

CONCLUSION

As summarized above and further discussed in the project-specific initial study⁸:

⁸ The initial study is available for review at the Planning Department, 1650 Mission Street, Suite 400, San Francisco, in Case File No. 2013.0977E.

1. The proposed project is consistent with the development density established for the project site in the Eastern Neighborhoods Rezoning and Area Plans;
2. The proposed project would not result in effects on the environment that are peculiar to the project or the project site that were not identified as significant effects in the Eastern Neighborhoods PEIR;
3. The proposed project would not result in potentially significant off-site or cumulative impacts that were not identified in the Eastern Neighborhoods PEIR;
4. The proposed project would not result in significant effects, which, as a result of substantial new information that was not known at the time the Eastern Neighborhoods PEIR was certified, would be more severe than were already analyzed and disclosed in the PEIR; and
5. The project sponsor will undertake feasible mitigation measures specified in the Eastern Neighborhoods PEIR to mitigate project-related significant impacts.

Therefore, no further environmental review shall be required for the proposed project pursuant to Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183.

**Attachment A:
 MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL**

MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Mitigation Schedule	Monitoring/Report Responsibility	Status/Date Completed
MITIGATION MEASURES FROM THE EASTERN NEIGHBORHOODS AREA PLAN EIR				
<p>PMM 1: Properties with No Previous Studies (Mitigation Measure J-2 of the Eastern Neighborhoods PEIR) The following mitigation measure is required to avoid any potential adverse effect from the proposed project on accidentally discovered buried or submerged historical resources as defined in CEQA Guidelines Section 15064.5(a) and (c). The project sponsor shall distribute the Planning Department archeological resource "ALERT" sheet to the project prime contractor; to any project subcontractor (including demolition, excavation, grading, foundation, pile driving, etc. firms); or utilities firm involved in soils disturbing activities within the project site. Prior to any soils disturbing activities being undertaken each contractor is responsible for ensuring that the "ALERT" sheet is circulated to all field personnel including, machine operators, field crew, pile drivers, supervisory personnel, etc. The project sponsor shall provide the Environmental Review Officer (ERO) with a signed affidavit from the responsible parties (prime contractor, subcontractor(s), and utilities firm) to the ERO confirming that all field personnel have received copies of the Alert Sheet.</p> <p>Should any indication of an archeological resource be encountered during any soils disturbing activity of the project, the project Head Foreman and/or project sponsor shall immediately notify the ERO and shall immediately suspend any soils disturbing activities in the vicinity of the discovery until the ERO has determined what additional measures should be undertaken.</p> <p>If the ERO determines that an archeological resource may be present within the project site, the project sponsor shall retain the services of an archaeological consultant from the pool of qualified archaeological consultants maintained by the Planning Department archaeologist. The</p>	<p>Project sponsor, contractor, Planning Department's archeologist or qualified archaeological consultant, and Planning Department's Environmental Review Officer.</p>	<p>Prior to issuance of any permit for soil-disturbing activities and during construction.</p>	<p>Sponsor, contractor(s), sponsor's archeologist (if applicable), Environmental Review Officer.</p>	<p>Considered complete upon ERO's approval of FARR, if required. Otherwise considered complete upon submittal of signed affidavit and completion of construction activities.</p>

Attachment A: MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL				
MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Mitigation Schedule	Monitoring/Report Responsibility	Status/Date Completed
<p>archeological consultant shall advise the ERO as to whether the discovery is an archeological resource, retains sufficient integrity, and is of potential scientific/historical/cultural significance. If an archeological resource is present, the archeological consultant shall identify and evaluate the archeological resource. The archeological consultant shall make a recommendation as to what action, if any, is warranted. Based on this information, the ERO may require, if warranted, specific additional measures to be implemented by the project sponsor.</p> <p>Measures might include: preservation in situ of the archeological resource; an archaeological monitoring program; or an archeological testing program. If an archeological monitoring program or archeological testing program is required, it shall be consistent with the Environmental Planning (EP) division guidelines for such programs. The ERO may also require that the project sponsor immediately implement a site security program if the archeological resource is at risk from vandalism, looting, or other damaging actions.</p> <p>The project archeological consultant shall submit a Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describing the archeological and historical research methods employed in the archeological monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.</p> <p>Copies of the Draft FARR shall be sent to the ERO for review and approval. Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and</p>				

Attachment A: MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL				
MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Mitigation Schedule	Monitoring/Report Responsibility	Status/Date Completed
<p>the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound copy, one unbound copy and one unlocked, searchable PDF copy on CD; three copies of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest or interpretive value, the ERO may require a different final report content, format, and distribution than that presented above.</p>				
<p>PMM 2: Construction Noise from Pile Driving (Mitigation Measure F-1 of the Eastern Neighborhoods PEIR). For development projects within proximity to noise-sensitive uses that would include pile-driving, individual project sponsors shall ensure that piles be pre-drilled wherever feasible to reduce construction-related noise and vibration. No impact pile drivers shall be used unless absolutely necessary. Contractors shall be required to use pile-driving equipment with state-of-the-art noise shielding and muffling devices. To reduce noise and vibration impacts, sonic or vibratory sheetpile drivers, rather than impact drivers, shall be used wherever sheetpiles are needed. Individual project sponsors shall also require that contractors schedule pile-driving activity for times of the day that would minimize disturbance to neighbors.</p>	Project sponsor, contractor(s).	During construction activities.	Project sponsor, contractor(s).	Considered complete upon receipt of final monitoring report at completion of construction.
<p>PMM 3: Construction Noise (Mitigation Measure F-2 of the Eastern Neighborhoods PEIR). The project sponsor shall develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for such measures shall be submitted to the Department of</p>	Project sponsor, contractor(s).	Prior to and during construction activities.	Project sponsor, contractor(s).	Considered complete upon receipt of final monitoring report at

Attachment A: MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL				
MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Mitigation Schedule	Monitoring/Report Responsibility	Status/Date Completed
<p>Building Inspection (DBI) to ensure that maximum feasible noise attenuation will be achieved. These attenuation measures shall include as many of the following control strategies as feasible:</p> <ul style="list-style-type: none"> • Erect temporary plywood noise barriers around the construction site, particularly where a site adjoins noise-sensitive uses; • Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site; • Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings housing sensitive uses; • Monitor the effectiveness of noise attenuation measures by taking noise measurements; and • Post signs on-site pertaining to permitted construction days and hours and complaint procedures and who to notify in the event of a problem, with telephone numbers listed. 				completion of construction.
<p>Project Mitigation Measure 4: Construction Air Quality (Implementing Eastern Neighborhoods PEIR Mitigation Measure G-1) The project sponsor or the project sponsor's Contractor shall comply with the following:</p> <p><i>A. Engine Requirements.</i></p> <ol style="list-style-type: none"> 1. All off-road equipment greater than 25 hp and operating for more than 20 total hours over the entire duration of construction activities shall have engines that meet or exceed either U.S. Environmental Protection Agency (USEPA) or California Air Resources Board (ARB) Tier 2 off-road emission standards, and have been retrofitted with an ARB Level 3 Verified Diesel Emissions Control 	Project sponsor, contractor(s).	Submit certification statement prior to construction activities requiring the use of off-road equipment.	Project sponsor, contractor(s), and the ERO.	Considered complete upon submittal of certification statement.

Attachment A: MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL				
MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Mitigation Schedule	Monitoring/Report Responsibility	Status/Date Completed
<p>Strategy. Equipment with engines meeting Tier 4 Interim or Tier 4 Final off-road emission standards automatically meet this requirement.</p> <ol style="list-style-type: none"> 2. Where access to alternative sources of power are available, portable diesel engines shall be prohibited. 3. Diesel engines, whether for off-road or on-road equipment, shall not be left idling for more than two minutes, at any location, except as provided in exceptions to the applicable state regulations regarding idling for off-road and on-road equipment (e.g., traffic conditions, safe operating conditions). 4. The Contractor shall post legible and visible signs in English, Spanish, and Chinese, in designated queuing areas and at the construction site to remind operators of the two-minute idling limit. The Contractor shall instruct construction workers and equipment operators on the maintenance and tuning of construction equipment, and require that such workers and operators properly maintain and tune equipment in accordance with manufacturer specifications. <p><i>B. Waivers</i></p> <ol style="list-style-type: none"> 1. The Planning Department's Environmental Review Officer (ERO) or designee may waive the alternative source of power requirement of Subsection (A)(2) if an alternative source of power is limited or infeasible at the project site. If the ERO grants the waiver, the Contractor must submit documentation that the equipment used for on-site power generation meets the requirements of Subsection (A)(1). 				

**Attachment A:
 MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL**

MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Mitigation Schedule	Monitoring/Report Responsibility	Status/Date Completed								
<p>2. The ERO may waive the equipment requirements of Subsection (A)(1) if: a particular piece of off-road equipment with an ARB Level 3 VDECS is technically not feasible; the equipment would not produce desired emissions reduction due to expected operating modes; installation of the equipment would create a safety hazard or impaired visibility for the operator; or, there is a compelling emergency need to use off-road equipment that is not retrofitted with an ARB Level 3 VDECS. If the ERO grants the waiver, the Contractor must use the next cleanest piece of off-road equipment, according to the table below.</p> <p>Table – Off-Road Equipment Compliance Step-down Schedule</p> <table border="1" data-bbox="197 898 842 1081"> <thead> <tr> <th>Engine Emission Standard</th> <th>Emissions Control</th> </tr> </thead> <tbody> <tr> <td>Tier 2</td> <td>ARB Level 2 VDECS</td> </tr> <tr> <td>Tier 2</td> <td>ARB Level 1 VDECS</td> </tr> <tr> <td>Tier 2</td> <td>Alternative Fuel*</td> </tr> </tbody> </table> <p>How to use the table: If the ERO determines that the equipment requirements cannot be met, then the project sponsor would need to meet Compliance Alternative 1. If the ERO determines that the Contractor cannot supply off-road equipment meeting Compliance Alternative 1, then the Contractor must meet Compliance Alternative 2. If the ERO determines that the Contractor cannot supply off-road equipment meeting Compliance Alternative 2, then the Contractor must meet Compliance Alternative 3. Alternative fuels are not a VDECS.</p> <p>C. <i>Construction Emissions Minimization Plan.</i> Before starting on-site construction activities, the Contractor shall submit a Construction Emissions Minimization Plan (Plan) to the ERO</p>	Engine Emission Standard	Emissions Control	Tier 2	ARB Level 2 VDECS	Tier 2	ARB Level 1 VDECS	Tier 2	Alternative Fuel*				
Engine Emission Standard	Emissions Control											
Tier 2	ARB Level 2 VDECS											
Tier 2	ARB Level 1 VDECS											
Tier 2	Alternative Fuel*											

Attachment A: MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL				
MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Mitigation Schedule	Monitoring/Report Responsibility	Status/Date Completed
<p>for review and approval. The Plan shall state, in reasonable detail, how the Contractor will meet the requirements of Section A.</p> <ol style="list-style-type: none"> 1. The Plan shall include estimates of the construction timeline by phase, with a description of each piece of off-road equipment required for every construction phase. The description may include, but is not limited to: equipment type, equipment manufacturer, equipment identification number, engine model year, engine certification (Tier rating), horsepower, engine serial number, and expected fuel usage and hours of operation. For VDECS installed, the description may include: technology type, serial number, make, model, manufacturer, ARB verification number level, and installation date and hour meter reading on installation date. For off-road equipment using alternative fuels, the description shall also specify the type of alternative fuel being used. 2. The ERO shall ensure that all applicable requirements of the Plan have been incorporated into the contract specifications. The Plan shall include a certification statement that the Contractor agrees to comply fully with the Plan. 3. The Contractor shall make the Plan available to the public for review on-site during working hours. The Contractor shall post at the construction site a legible and visible sign summarizing the Plan. The sign shall also state that the public may ask to inspect the Plan for the project at any time during working hours 				

Attachment A: MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL				
MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Mitigation Schedule	Monitoring/Report Responsibility	Status/Date Completed
<p>and shall explain how to request to inspect the Plan. The Contractor shall post at least one copy of the sign in a visible location on each side of the construction site facing a public right-of-way.</p> <p><i>D. Monitoring.</i> After start of construction activities, the Contractor shall submit quarterly reports to the ERO documenting compliance with the Plan. After completion of construction activities and prior to receiving a final certificate of occupancy, the project sponsor shall submit to the ERO a final report summarizing construction activities, including the start and end dates and duration of each construction phase, and the specific information required in the Plan.</p>				
<p>PMM 5: Best Available Control Technology for Diesel Generators (Implementing Eastern Neighborhoods PEIR Mitigation Measure G-4) For new development including commercial, industrial or other uses that would be expected to generate toxic air contaminants (TACs) as part of everyday operations, the Planning Department shall require the preparation of an analysis that includes, at a minimum, a site survey to identify residential or other sensitive uses within 1,000 feet of the project site, prior to the first project approval action. This measure shall be applicable, at a minimum, to the following uses: dry cleaners; drive-through restaurants; gas dispensing facilities; auto body shops; metal plating shops; photographic processing shops; textiles; apparel and furniture upholstery; leather and leather products; appliance repair shops; mechanical assembly cleaning; printing shops; hospitals and medical clinics; biotechnology research facilities; warehousing and distribution centers; and any use served by at least 100 trucks per day.</p>	Project sponsor, contractor(s).	Prior to approval of a permit for a diesel generator.	Project sponsor, Planning Department, Department of Public Health, Bay Area Air Quality Management District.	Upon determination that backup diesel generator complies with BAAQMD New Source Review permitting process

**Attachment A:
 MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL**

MITIGATION MEASURES ADOPTED AS CONDITIONS OF APPROVAL	Responsibility for Implementation	Mitigation Schedule	Monitoring/Report Responsibility	Status/Date Completed
<p>PMM 6: Hazardous Building Materials (Mitigation Measure L-1 of the Eastern Neighborhoods PEIR). The project sponsor shall ensure that any equipment containing PCBs or DEPH, such as fluorescent light ballasts, are removed and properly disposed of according to applicable federal, state, and local laws prior to the start of renovation, and that any fluorescent light tubes, which could contain mercury, are similarly removed and properly disposed of. Any other hazardous materials identified, either before or during work, shall be abated according to applicable federal, state, and local laws.</p>	<p>Project sponsor, contractor(s).</p>	<p>Prior to demolition of structures.</p>	<p>Planning Department, in consultation with DPH; where Site Mitigation Plan is required, Project Sponsor or contractor shall submit a monitoring report to DPH, with a copy to Planning Department and DBI, at end of construction.</p>	<p>Considered complete when equipment containing PCBs or DEHP or other hazardous materials is properly disposed.</p>



SAN FRANCISCO PLANNING DEPARTMENT

Initial Study – Community Plan Evaluation

Case No.: 2013.0977E
Project Address: 980 Folsom Street
Zoning: MUR (Mixed Use-Residential) District
45-X and 85-X Height and Bulk Districts
South of Market Youth and Family Special Use District
Block/Lot: 3732/028, 035, and 152
Lot Size: 6,864 square feet
Plan Area: East SoMA of the Eastern Neighborhoods Area Plan
Project Sponsor: John Goldman, Goldman Architects, (415) 391-1339 ext. 104
Staff Contact: Jenny Delumo, (415) 575-9146, Jenny.Delumo@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

Project Site

The project site at 980 Folsom Street is comprised of three adjacent lots on Assessor's Block 3732: 980 Folsom Street (Lot 028), 976 Folsom Street (Lot 152), and 483 Clementina Street (Lot 035). The project site is on the block bounded by Folsom Street to the south, Clementina Street to the north, 6th Street to the west, and 5th Street to the east, and within the South of Market neighborhood and South of Market Youth and Family Special Use District (**Figure 1**). The project site is currently developed with an approximately 7,569 gross-square-foot (gsf), 21-foot-tall, single-story building. The existing building is occupied with an auto body repair and paint facility with 6,159 square feet of production, distribution and repair (PDR) space and 1,410 square feet of office space. The project site is served by two curb cuts: one on Folsom Street (approximately 16 feet wide) and one on Clementina Street (approximately 12-feet and six-inches wide) that continues another 12 feet and two inches in front of the adjacent building to the east.

Project Characteristics

The proposed project would demolish the existing structure and construct an approximately 36,214 gsf residential development with ground-floor retail and frontage on Folsom Street and Clementina Street. The portion of the proposed project that would front Folsom Street would be comprised of an eight-story, 85-foot-tall (with an additional 15 feet for the elevator and stair penthouses) building with approximately 31,464 square feet of residential space above 963 square feet of ground-floor retail space. The portion of the proposed project that would front Clementina Street would be comprised of a four-story, 45-foot-tall (with an additional 10 feet for the elevator and stair penthouses) building with approximately 3,673 square feet of residential space above a 3,787 square feet parking garage with space for 14 vehicles. A podium terrace would connect the two buildings on the second floor. The proposed project would Work (1650 Mission St) provide approximately 31,464 square feet of residential space comprised of up to 33

residential dwelling units. The proposed project would provide approximately 34 Class I (secured) bicycle parking spaces, four Class II bicycle parking spaces, and 4,013 sf of common open space on the podium terrace and on a roof deck. The proposed project would remove both curb cuts and install a new nine-foot-wide curb cut on Clementina Street in order to access the proposed garage. The curb cut in front of the adjacent building on Clementina Street would remain. Photovoltaic panels would be installed on the roofs of both buildings. Three new street trees would be planted on the portion of the sidewalk adjacent to the proposed project's Folsom Street frontage and one new street tree would be planted on the portion of the sidewalk adjacent to the proposed project's Clementina Street frontage. The proposed project would include excavation of approximately 210 cubic yards of material to a maximum depth of approximately four feet below grade to accommodate the vehicle parking lifts in the proposed garage.

Project Construction

On-site construction work would consist of demolition of the existing structures, excavation and subgrade work (including subsurface treatment, if required by the Department of Public Health (DPH)), installation of the foundation, construction of the superstructure, exterior wall construction and finishes, and interior construction and finishes. Project construction is anticipated to last approximately 20-24 months.

Abatement and demolition of the existing buildings on the project site would be completed in approximately one month. Following demolition, the project site would be excavated to a maximum depth of roughly four feet below grade, resulting in approximately 210 cubic yards of soil disturbance. The project sponsor proposes to export all of the excavated soil in one phase. Creation of temporary slopes and shoring would also take place during this phase, which is expected to last approximately three months.

Due to the presence of heterogeneous fill and weak marsh deposits on the site, the project sponsor proposes to support the building using a mat slab foundation. Installation of the foundation is expected to last approximately two months.

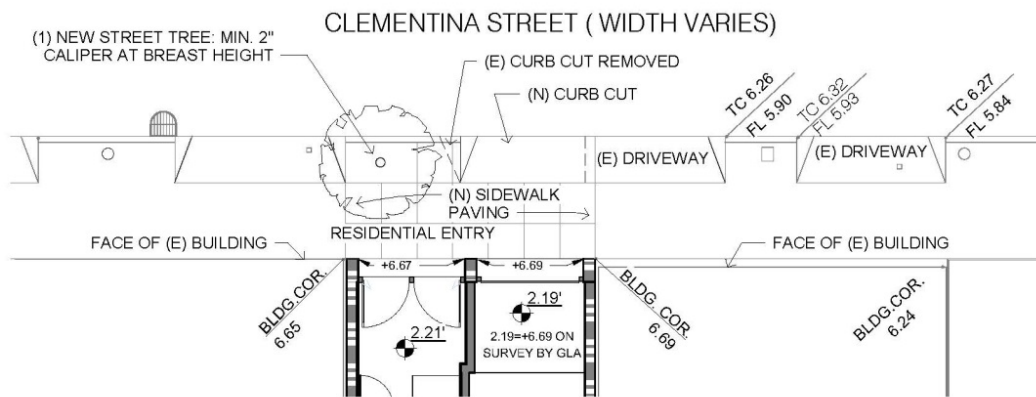
The structure of the proposed building would be constructed over the course of approximately five months. The last month of this phase would overlap with the first month of the exterior finishing phase, which would take approximately four months to complete. Towards the second month of exterior finishing, the contractor would begin constructing the building's interiors. It is expected that the building's interiors would be installed within approximately seven months.

Figure 1 – Project Site Location

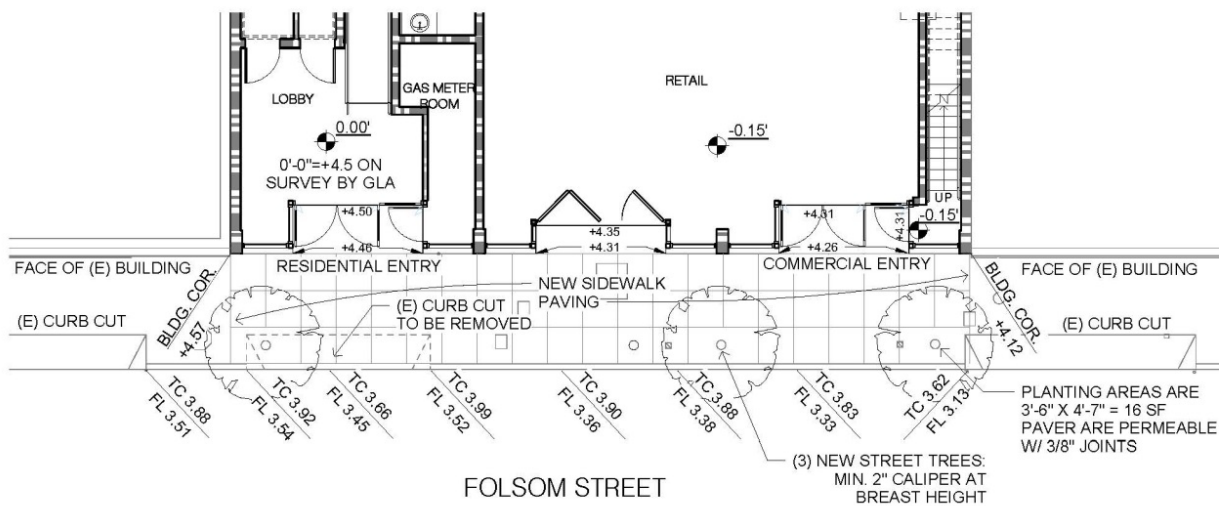


Source: San Francisco Planning Department

Figure 2 – Proposed Streetscape Plan



2 SITE DETAIL CLEMENTINA
1/8" = 1'-0"

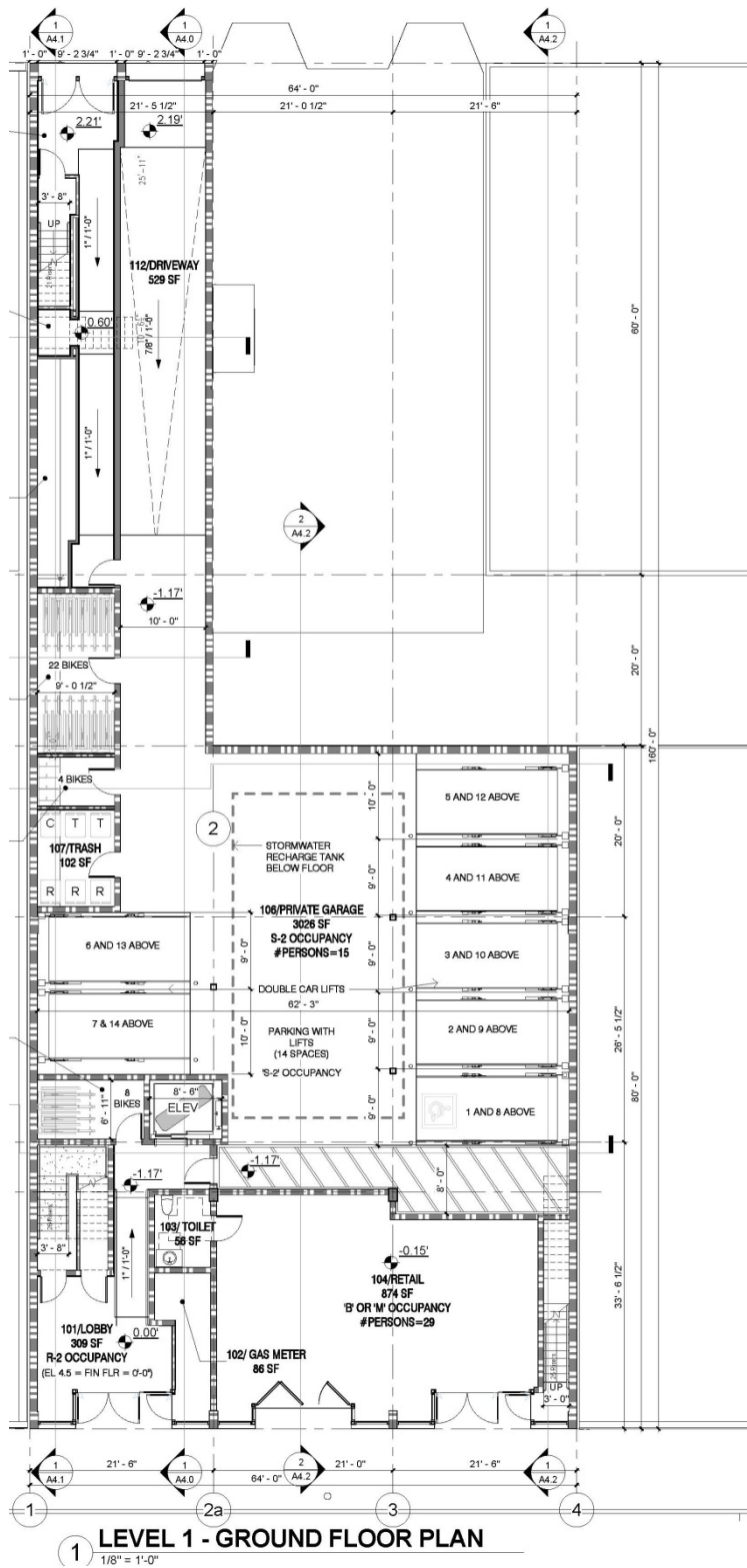


3 SITE DETAIL FOLSOM
1/8" = 1'-0"



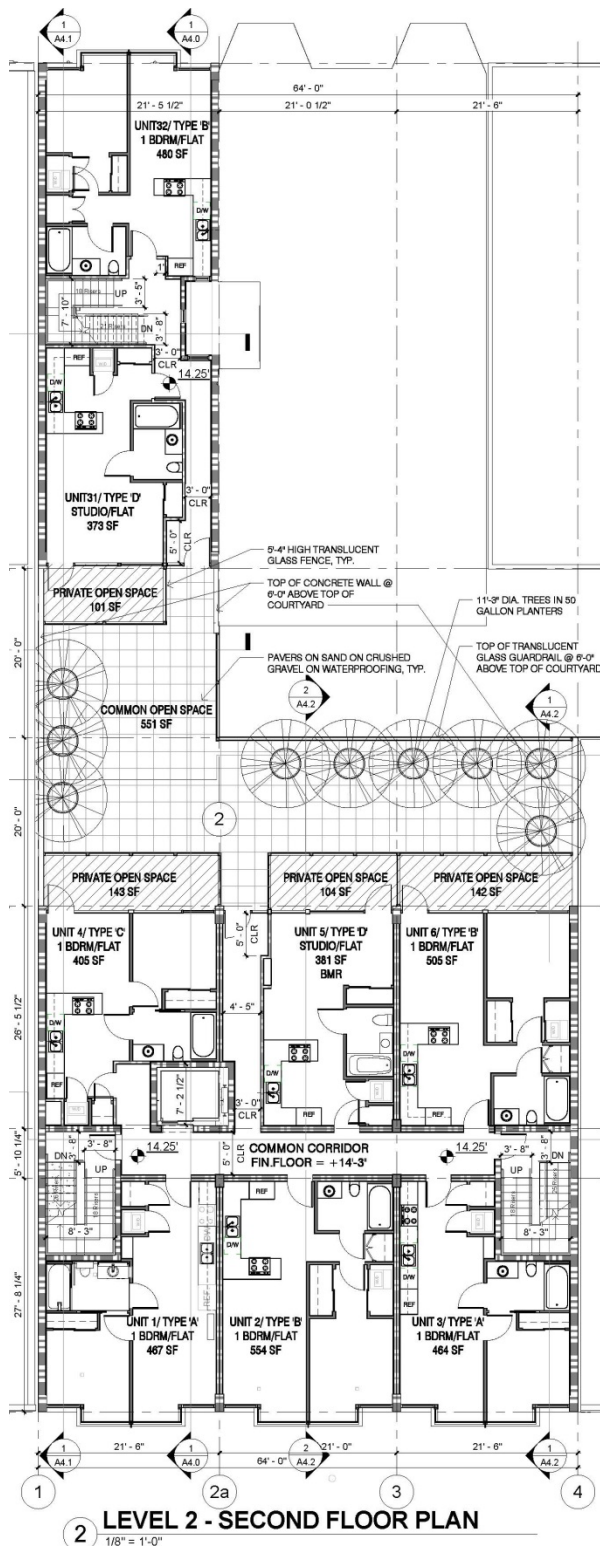
Source: Goldman Architects

Figure 3 – Proposed Ground Floor



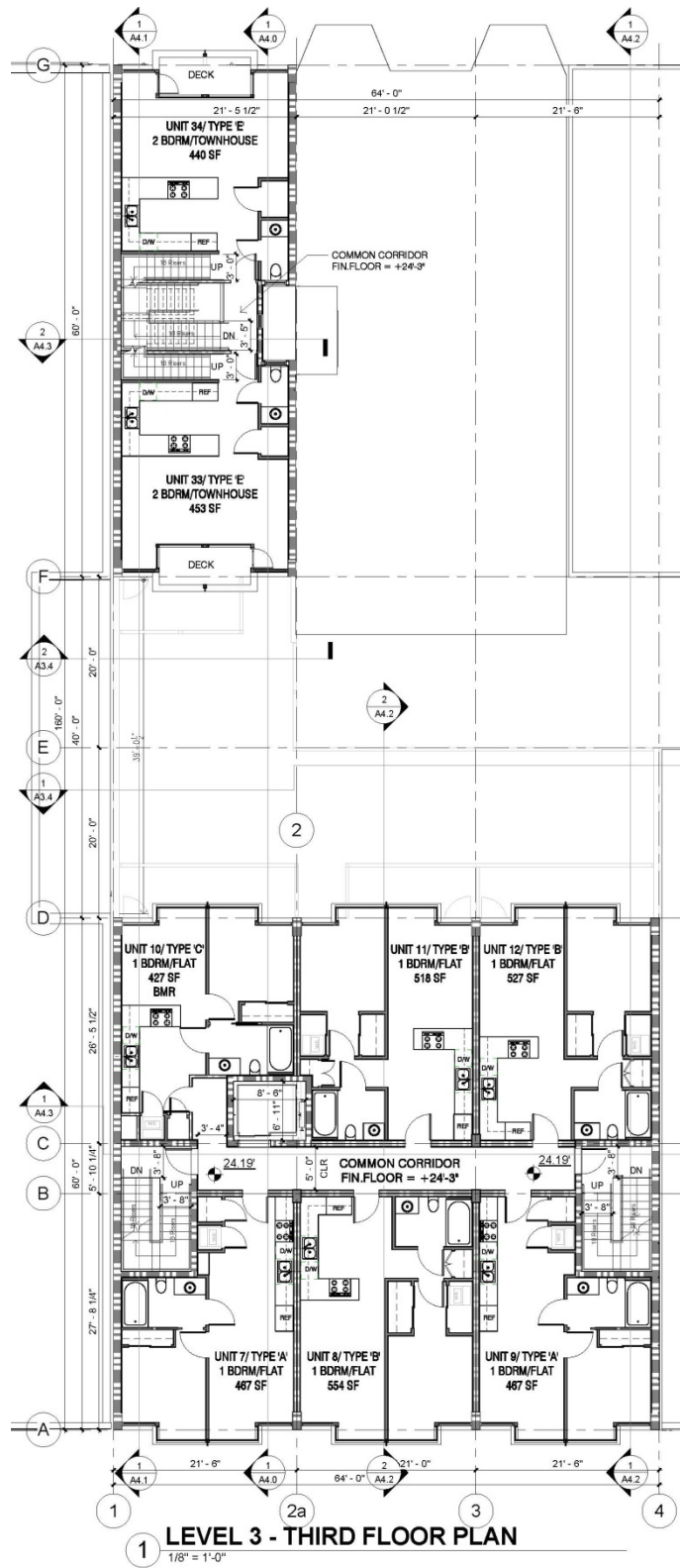
Source: Goldman Architects

Figure 4 – Proposed Second Floor



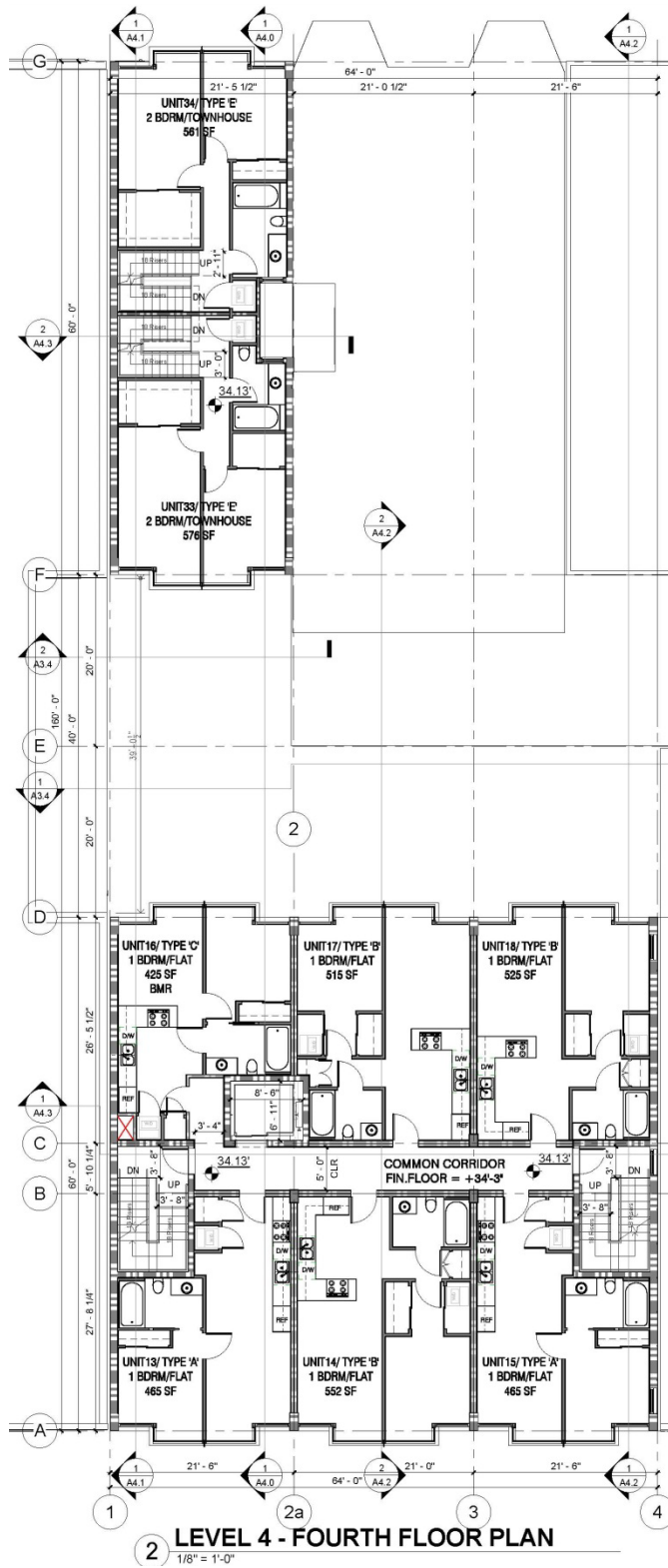
Source: Goldman Architects

Figure 5 – Proposed Third Floor



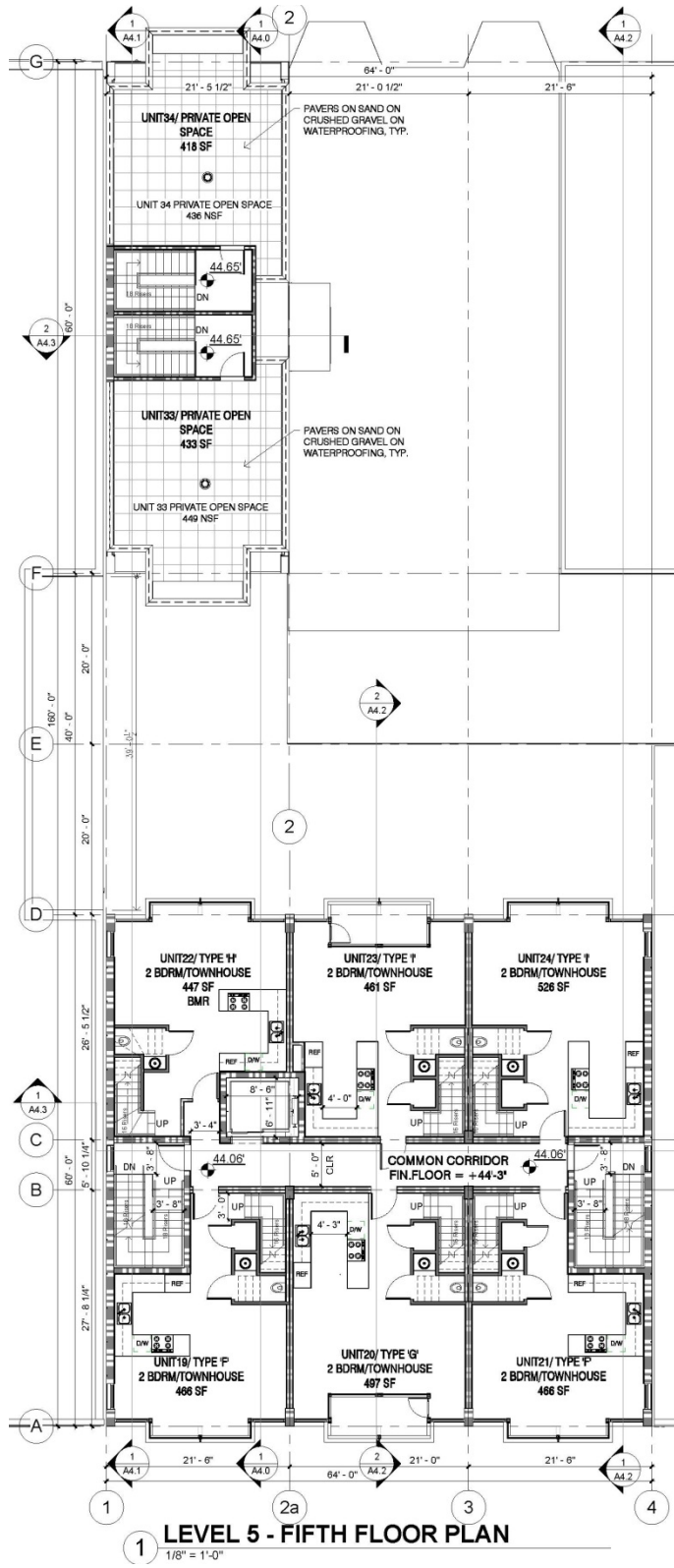
Source: Goldman Architects

Figure 6 – Proposed Fourth Floor



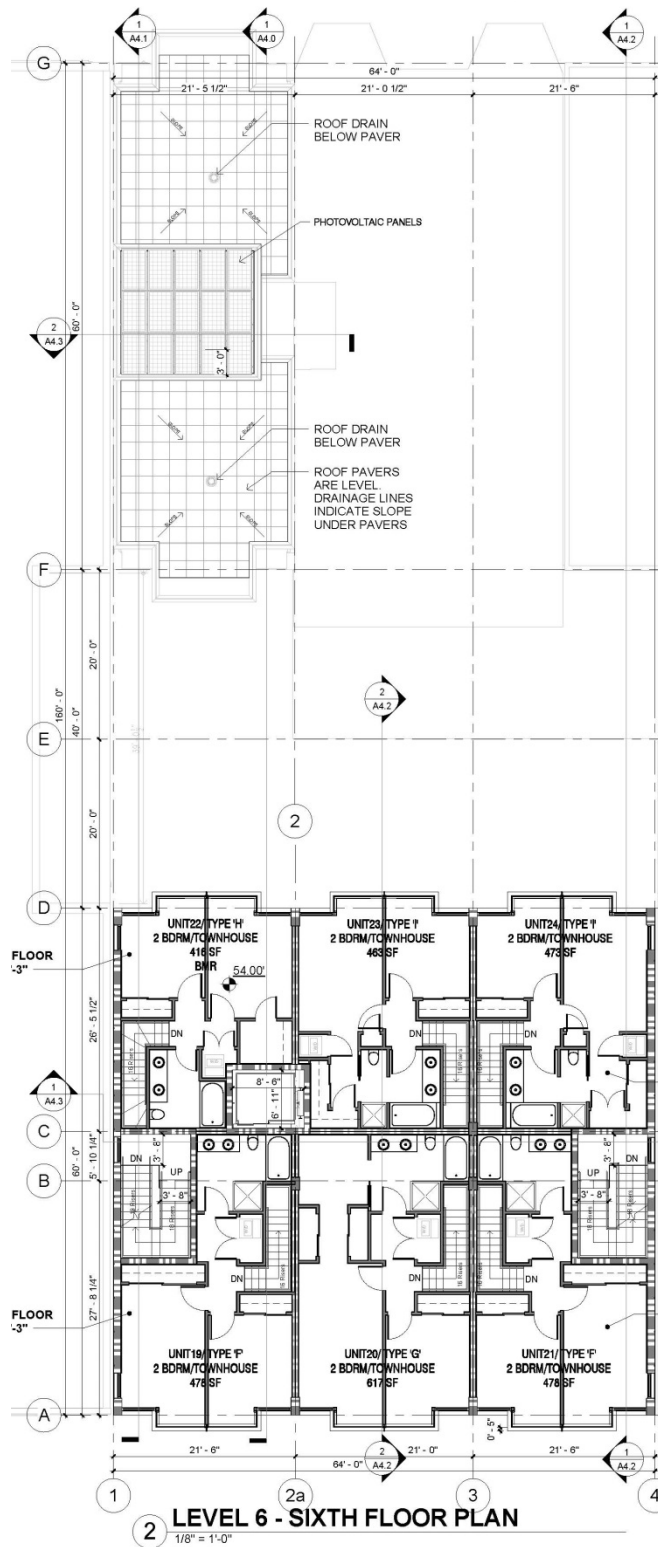
Source: Goldman Architects

Figure 7 – Proposed Fifth Floor



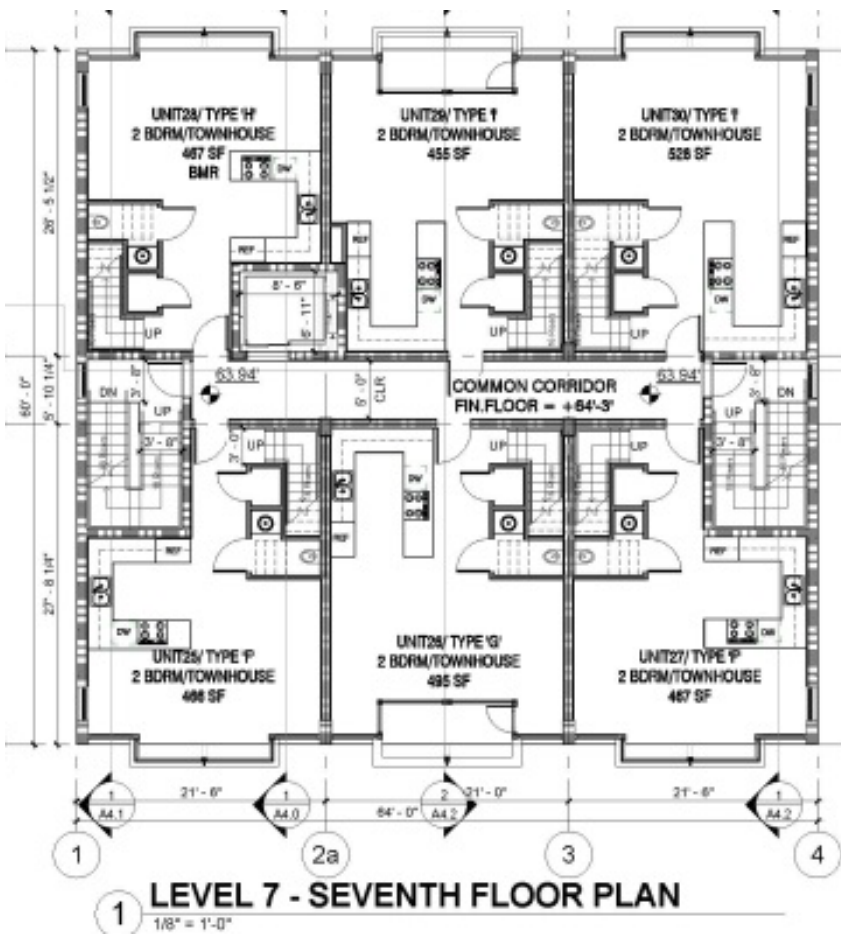
Source: Goldman Architects

Figure 8 – Proposed Sixth Floor



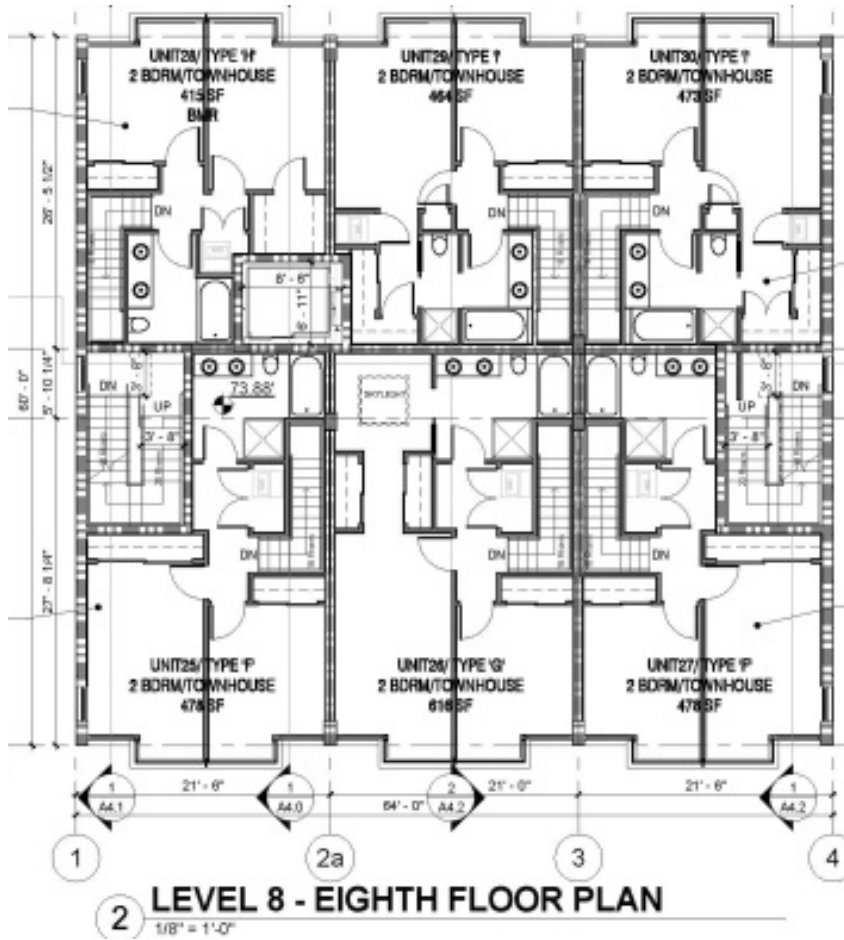
Source: Goldman Architects

Figure 9 – Proposed Seventh Floor



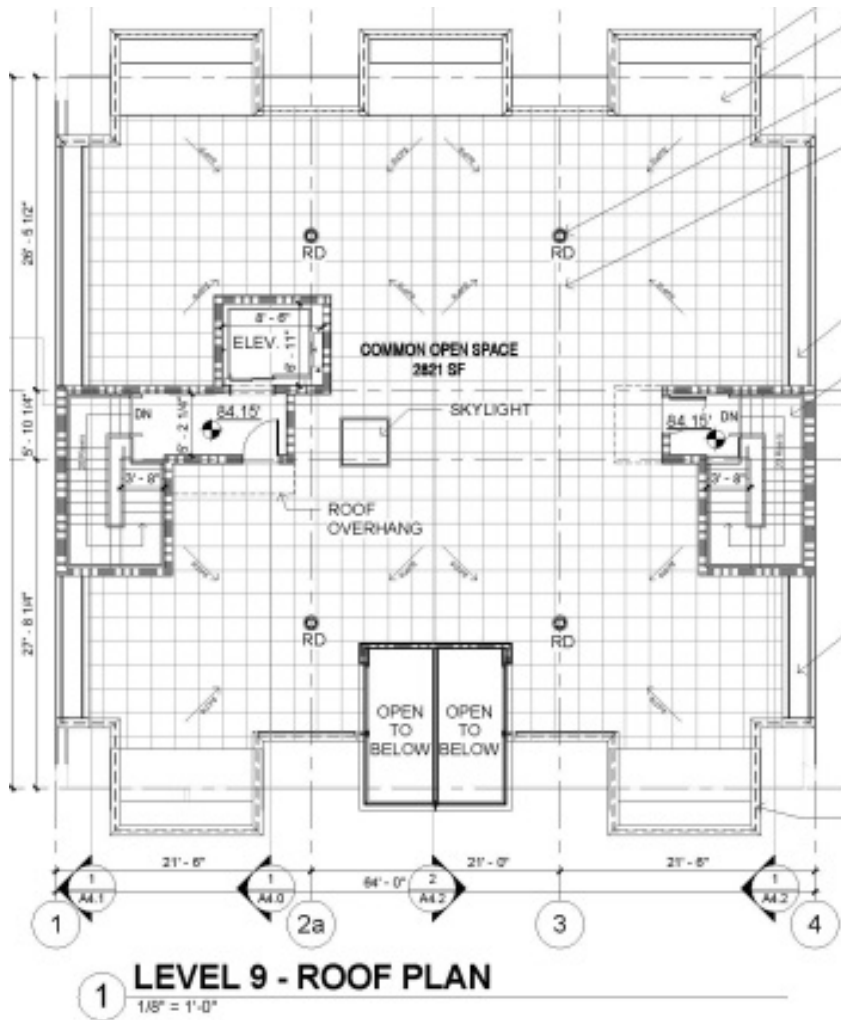
Source: Goldman Architects

Figure 10 – Proposed Eighth Floor



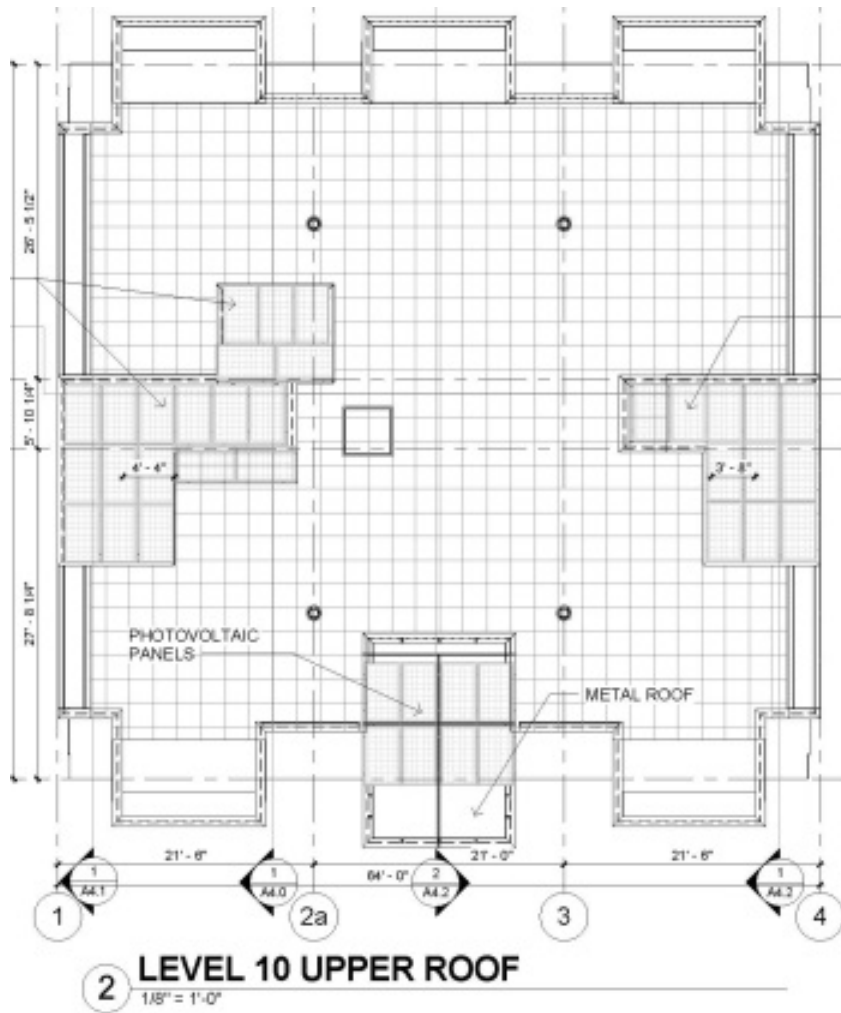
Source: Goldman Architects

Figure 11 – Proposed Roof Plan



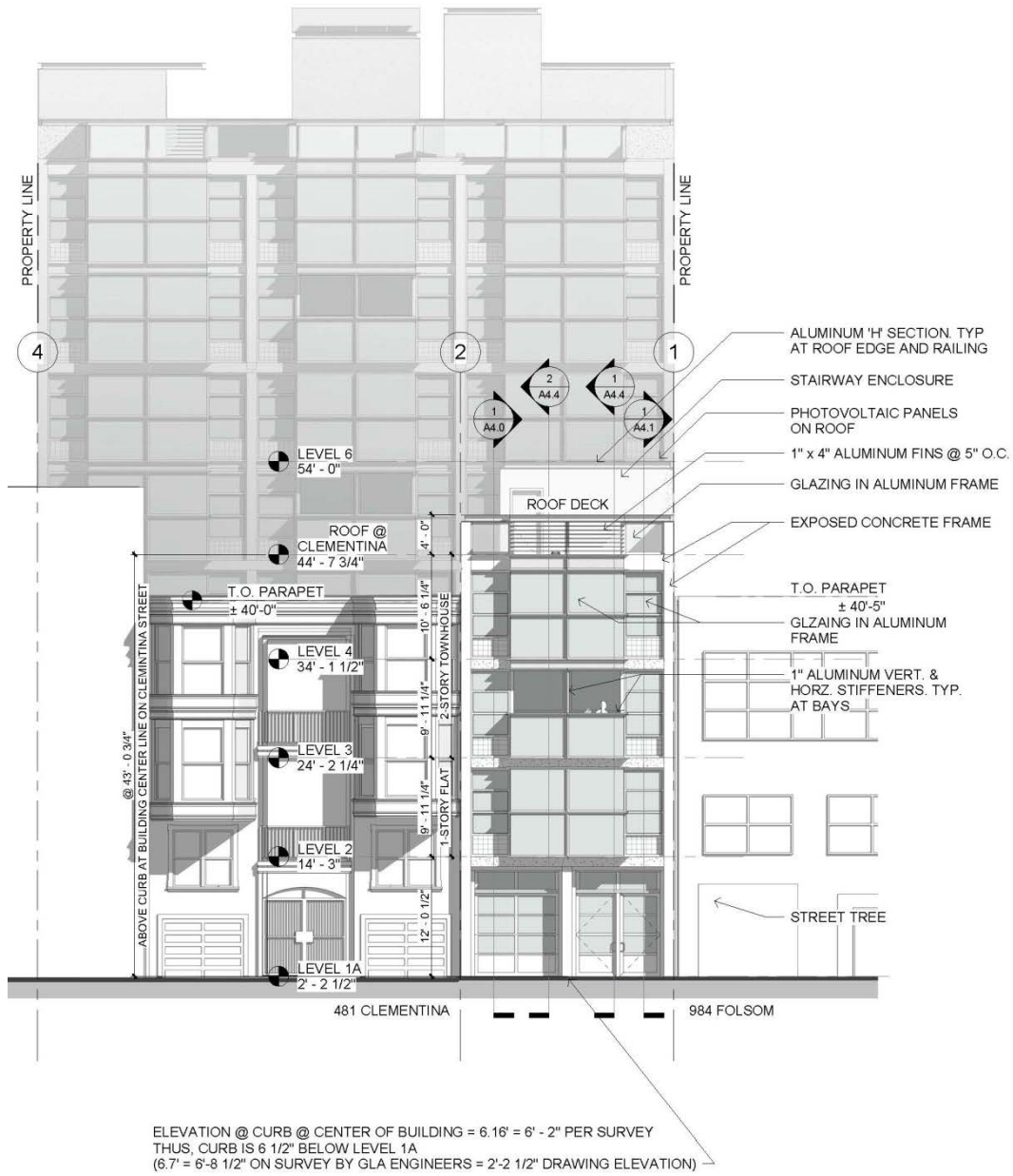
Source: Goldman Architects

Figure 12 – Proposed Upper Roof Plan



Source: Goldman Architects

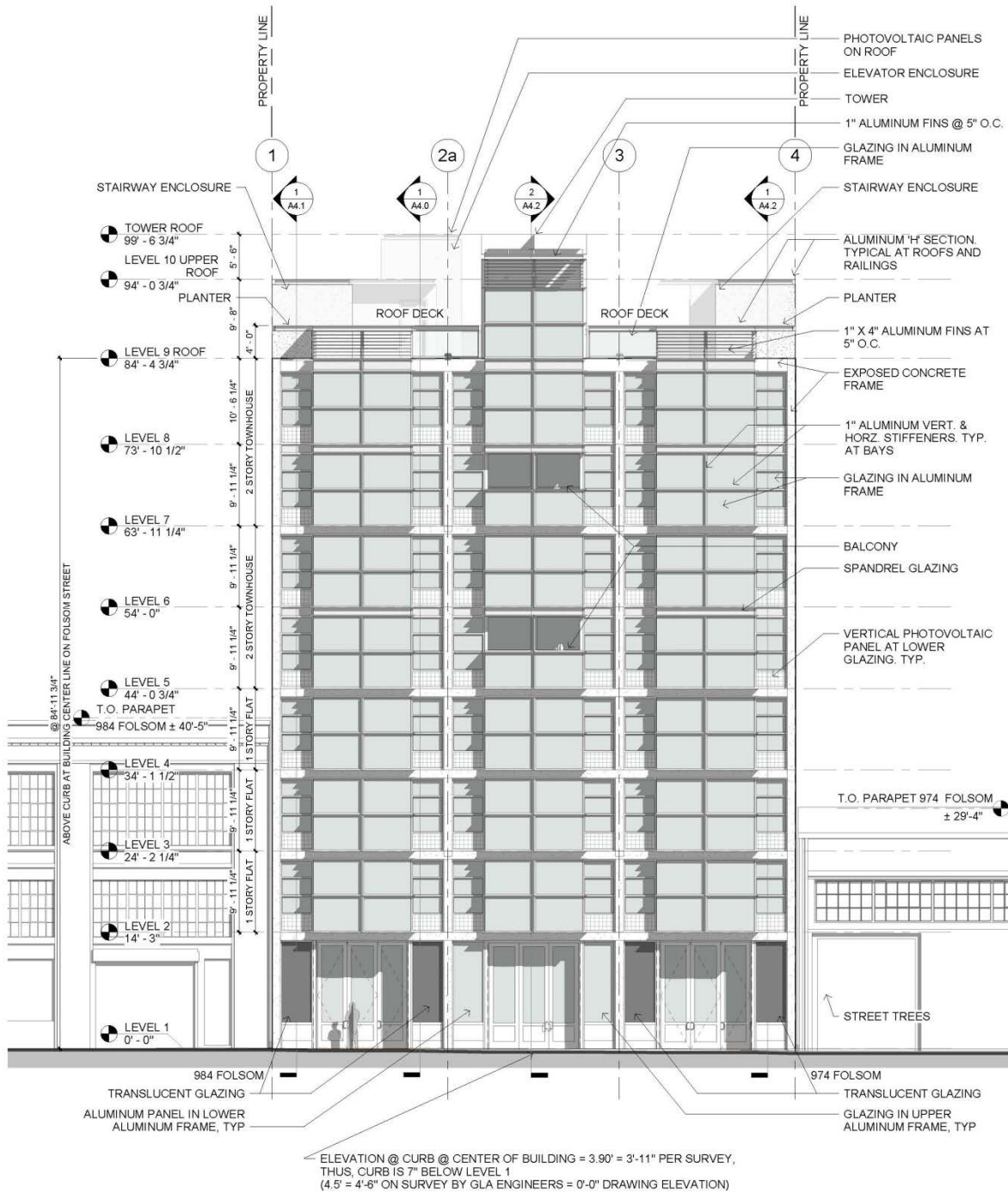
Figure 13 – Proposed North Elevation



2 NORTH ELEVATION
1/8" = 1'-0"

Source: Goldman Architects

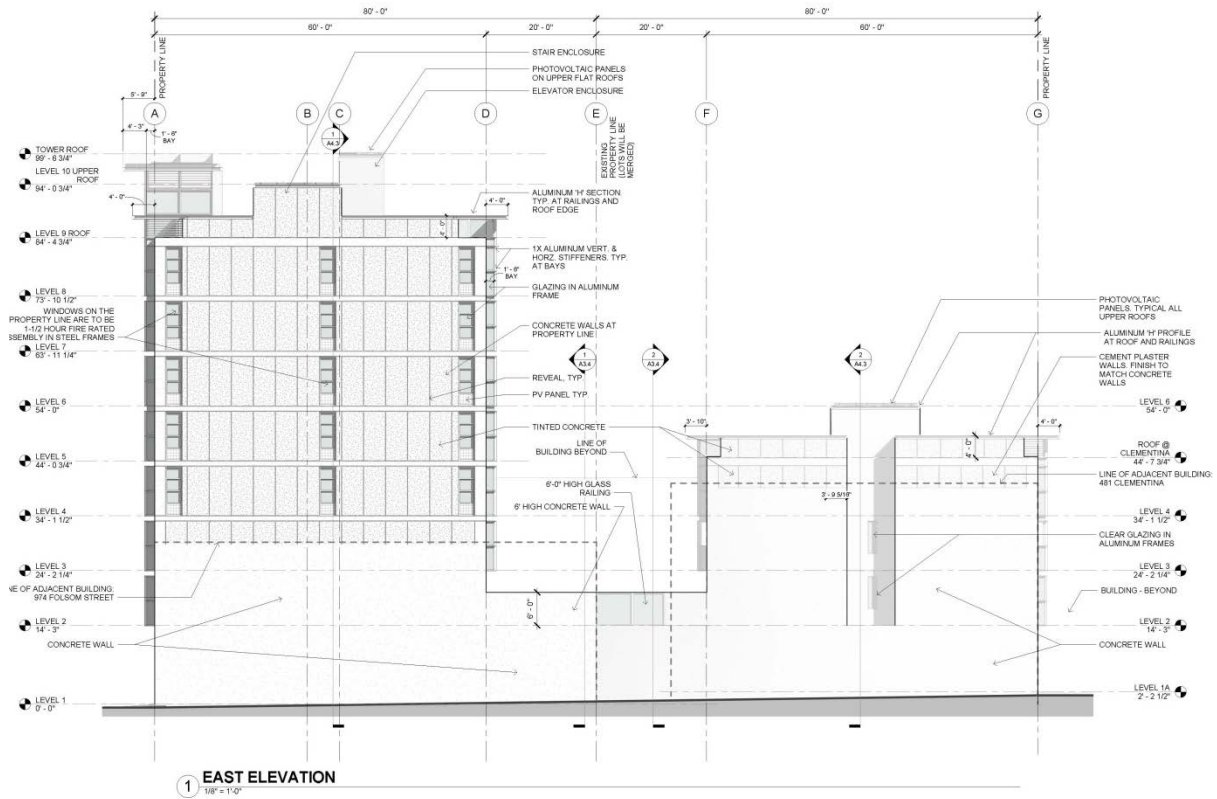
Figure 14 – Proposed South Elevation



1 SOUTH ELEVATION
1/8" = 1'-0"

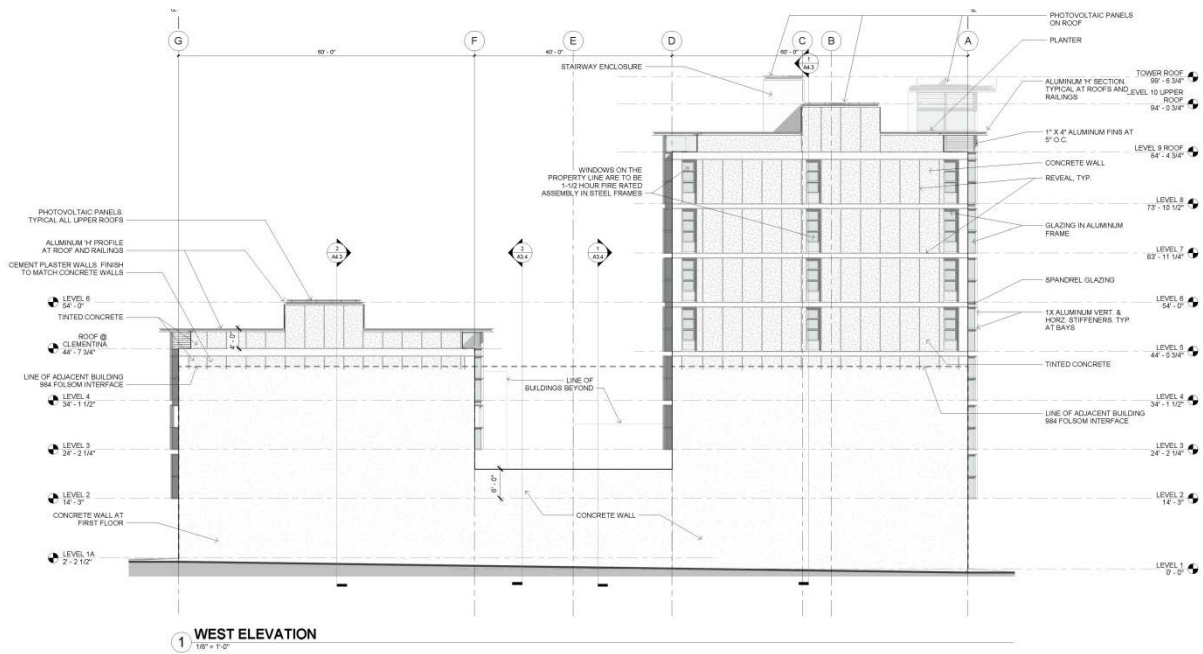
Source: Goldman Architects

Figure 15 – Proposed East Elevation



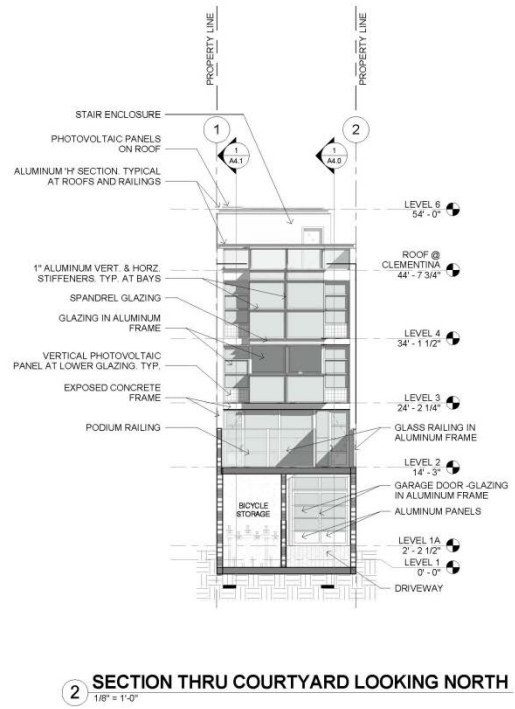
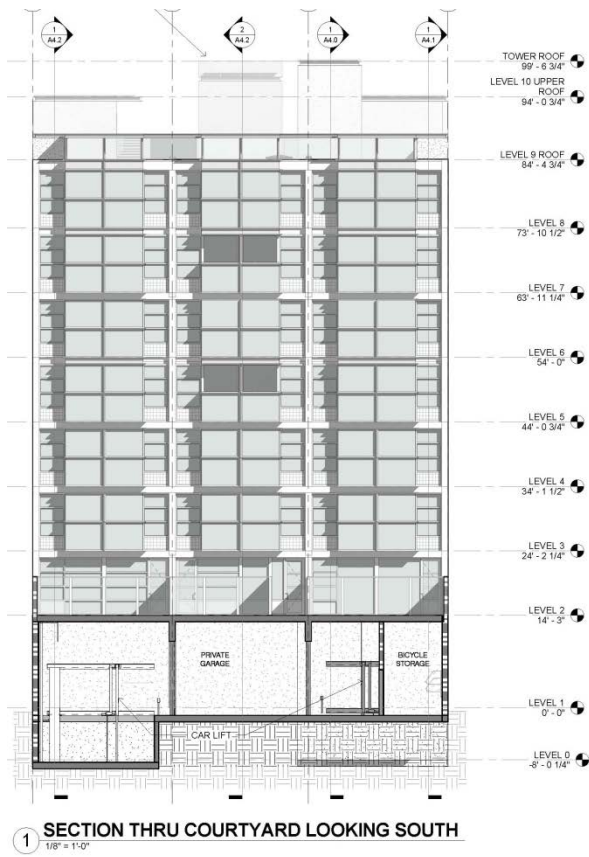
Source: Goldman Architects

Figure 16 – Proposed West Elevation



Source: Goldman Architects

Figure 17 – Proposed Courtyard Sections



Source: Goldman Architects

Project Setting

As previously discussed, the subject block is bounded by Folsom Street to the south, Clementina Street to the north, 6th Street to the west, and 5th Street to the east. Folsom Street is an eastbound four-lane, one-way street with parallel parking on both sides of the street and a protected bike lane on the south side of the street. Running north/south, 6th Street is a two-way, four-lane street with parallel parking on both sides of the street. Fifth Street is a two-way, four-lane street running north/south. Parallel parking spaces are provided on both sides of 5th street, with the exception of the west side of the street between Clementina and Folsom Streets. Class II bicycle facilities¹ are located on Fifth Street as part of Citywide Bicycle Routes 19 and 30. Class II bicycle facilities are bike lanes striped within the paved areas of roadways and established for the preferential use of bicycles. Clementina Street is a westbound one-lane, one-way street. Parallel parking spaces are provided on either side of Clementina Street. A city-owned parking facility is located approximately 0.4-mile from the project site at 415 7th Street. Other off-street parking facilities in the vicinity of the project site primarily serve residents, and employees and patrons of private businesses.

The project site vicinity (roughly a 0.5-mile radius around the project site) is characterized by a mix of residential, PDR, commercial, and recreational uses. With the exception of the lot on the corner of 6th and Clementina Streets, the majority of the subject block is zoned MUR (Mixed Use-Residential). The blocks north, south, and east of the project site are also zoned MUR. The lots fronting either side of 6th Street from are zoned SoMa NCT (SoMa Neighborhood Commercial Transit), except for Gene Friend Recreation Center (located on the southwest corner of Folsom and 6th Streets), which is zoned P (Public). The blocks west of the project site are zoned MUG (Mixed Use-General) and RED (South of Market Residential Enclave). The southern half of the project site, along with lots fronting Folsom Street and the majority of 6th Street, are within an 85-X height and bulk district. The project site vicinity includes 45-X height and bulk districts (on lots north of the project site fronting Clementina Street and Tehama Street), 65-X height and bulk districts (on lots on the west side of 6th Street between Howard and Folsom streets).

The project site vicinity is composed of low- to moderate-density scale of development. The buildings on Folsom Street are predominately two to three stories with an eight-story residential building at the southwest corner of Folsom and 5th Streets. The buildings on 5th Street range from one to six stories with one 14-story building at the southeast corner of Clementina and 5th Streets. One- to two-story commercial buildings and three- to four-story residential buildings front Clementina Street. The buildings on 6th Street range from two to three stories.

¹ Bicycle facilities are defined by the State of California in the California Streets and Highway Code Section 890.4.

PROJECT APPROVALS

The proposed 980 Folsom Street project would require the following approvals:

Actions by the Planning Commission

The proposed project would require approval of a Large Project Authorization (LPA) by the Planning Commission pursuant to Planning Code Section 329. The proposed project requires an LPA for new construction greater than 25,000 gross square feet and greater than 75 feet in height in the MUR (Mixed Use-Residential) District.

Implementation of the proposed project would require exceptions from the following Planning Code requirements through the approval of a LPA, as discussed below:

- As proposed, the configuration of the rear yard of the project does not meet the requirements of Planning Code Section 134(g);
- Some of the proposed dwelling units do not meet the requirements of Planning Code Section 140 for dwelling unit exposure; and
- The proposed project includes more vehicle parking spaces than permitted per Planning Code Section 151.1.

Therefore, the project would, as part of the LPA process, request exceptions from these Planning Code requirements.

Actions by other City Departments

- **Recreation and Park Commission.** Joint determination with the Planning Commission that the project would have no adverse shadow impact on Gene Friend Recreation Center or other parks subject to Section 295 of the Planning Code.
- **Department of Building Inspection (DBI).** Approval of demolition, grading, building and occupancy permits for demolition of the existing structures and new construction.
- **Department of Public Health (DPH).** Approval of a Site Mitigation Plan pursuant to the Maher Ordinance prior to the commencement of any excavation work; approval of a Dust Control Plan prior to construction-period activities; issuance of a certificate of registration for a diesel backup generator.
- **San Francisco Municipal Transportation Agency (SFMTA).** Approval of all proposed changes in curb cuts and parking zones pursuant to the SFMTA Color Curb Program. Coordination with the SFMTA Interdepartmental Staff Committee on Traffic and Transportation (ISCOTT) to coordinate temporary construction-related changes to the transportation network.
- **San Francisco Public Works Department (Public Works), Bureau of Streets and Mapping.** Approval of modifications to public sidewalks, street trees, curb cuts, and bulb out extensions.
- **San Francisco Public Utilities Commission (SFPUC).** Approval of a Stormwater Control Plan and an Erosion and Sediment Control Plan prior to commencing construction.

Actions by other Government Agencies

- **Bay Area Air Quality Management District.** Approval of a permit for the installation, operation, and testing of a diesel backup generator.

EVALUATION OF ENVIRONMENTAL EFFECTS

This initial study evaluates whether the environmental impacts of the proposed project are addressed in the programmatic environmental impact report for the Eastern Neighborhoods Rezoning and Area Plans (Eastern Neighborhoods PEIR).² The initial study considers whether the proposed project would result in significant impacts that: (1) are peculiar to the project or project site; (2) were not identified as significant project-level, cumulative, or off-site effects in the PEIR; or (3) are previously identified significant effects, which as a result of substantial new information that was not known at the time that the Eastern Neighborhoods PEIR was certified, are determined to have a more severe adverse impact than discussed in the PEIR. Such impacts, if any, will be evaluated in a project-specific, focused mitigated negative declaration or environmental impact report. If no such impacts are identified, no additional environmental review shall be required for the project beyond that provided in the Eastern Neighborhoods PEIR and this project-specific initial study in accordance with CEQA section 21083.3 and CEQA Guidelines section 15183.

Mitigation measures identified in the PEIR are discussed under each topic area, and measures that are applicable to the proposed project are provided under the Mitigation Measures section at the end of this checklist.

The Eastern Neighborhoods PEIR identified significant impacts related to land use, transportation, cultural resources, shadow, noise, air quality, and hazardous materials. Additionally, the PEIR identified significant cumulative impacts related to land use, transportation, and cultural resources. Mitigation measures were identified for the above impacts and reduced all impacts to less-than-significant except for those related to land use (cumulative impacts on Production, Distribution, and Repair (PDR) use), transportation (program-level and cumulative traffic impacts at nine intersections; program-level and cumulative transit impacts on seven Muni lines), cultural resources (cumulative impacts from demolition of historical resources), and shadow (program-level impacts on parks).

The proposed project would include construction of an approximately 36,214 gsf mixed-used development with up to 33 residential units, and fronting Folsom Street and Clementina Street. The portion of the proposed project that would front Folsom Street would be comprised of an eight-story, 85-foot-tall (with an additional 15 feet for the elevator and stair penthouses) building with approximately 31,464 square feet of residential space above 963 square feet of ground-floor retail space. The portion of the proposed project that would front Clementina Street would be comprised of a four-story, 45-foot-tall (with an additional 10 feet for the elevator and stair penthouses) building with approximately 3,673 square feet of residential space above a 3,787 square feet parking garage with space for 14 vehicles. A podium terrace would connect the two buildings on the second floor. The proposed project would provide approximately 33,125 square feet of residential space, comprised of up to 33 residential dwelling units, 34 Class I bicycle parking spaces, four Class II bicycle parking spaces, and 4,013 sf of common open space. As discussed below in this initial study, the proposed project would not result in new, significant

² San Francisco Planning Department, Eastern Neighborhoods Rezoning and Area Plans Final Environmental Impact Report (PEIR), Planning Department Case No. 2004.0160E, State Clearinghouse No. 2005032048, certified August 7, 2008. Available online at: <http://www.sf-planning.org/index.aspx?page=1893>, accessed August 17, 2012.

environmental effects, or effects of greater severity than were already analyzed and disclosed in the Eastern Neighborhoods PEIR.

CHANGES IN THE REGULATORY ENVIRONMENT

Since the certification of the Eastern Neighborhoods PEIR in 2008, several new policies, regulations, statutes, and funding measures have been adopted, passed, or are underway that affect the physical environment and/or environmental review methodology for projects in the Eastern Neighborhoods plan areas. As discussed in each topic area referenced below, these policies, regulations, statutes, and funding measures have implemented or will implement mitigation measures or further reduce less-than-significant impacts identified in the PEIR. These include:

- State legislation amending CEQA to eliminate consideration of aesthetics and parking impacts for infill projects in transit priority areas, effective January 2014.
- State legislation amending CEQA and San Francisco Planning Commission resolution replacing level of service (LOS) analysis of automobile delay with vehicle miles traveled (VMT) analysis, effective March 2016 (see the “Automobile Delay and Vehicle Miles Traveled” heading below).
- San Francisco Bicycle Plan update adoption in June 2009, Better Streets Plan adoption in 2010, Transit Effectiveness Project (aka “Muni Forward”) adoption in March 2014, Vision Zero adoption by various City agencies in 2014, Proposition A and B passage in November 2014, and the Transportation Sustainability Program (see Initial Study Checklist topic 4, Transportation).
- San Francisco ordinance establishing Noise Regulations Related to Residential Uses near Places of Entertainment effective June 2015 (see Initial Study Checklist topic 5, Noise).
- San Francisco ordinances establishing Construction Dust Control, effective July 2008, and Enhanced Ventilation Required for Urban Infill Sensitive Use Developments, amended December 2014 (see Initial Study Checklist topic 6, Air Quality).
- San Francisco Clean and Safe Parks Bond passage in November 2012 and San Francisco Recreation and Open Space Element of the General Plan adoption in April 2014 (see Initial Study Checklist topic 9, Recreation).
- Urban Water Management Plan adoption in 2011 and Sewer System Improvement Program process (see Initial Study Checklist topic 10, Utilities and Service Systems).
- Article 22A of the Health Code amendments effective August 2013 (see Initial Study Checklist topic 15, Hazards and Hazardous Materials).

Aesthetics and Parking

In accordance with CEQA Section 21099 – Modernization of Transportation Analysis for Transit Oriented Projects – aesthetics and parking shall not be considered in determining if a project has the potential to result in significant environmental effects, provided the project meets all of the following three criteria:

- a) The project is in a transit priority area;
- b) The project is on an infill site; and
- c) The project is residential, mixed-use residential, or an employment center.

The proposed project meets each of the above three criteria and thus, this checklist does not consider aesthetics or parking in determining the significance of project impacts under CEQA.³ Project elevations are included in the project description.

Automobile Delay and Vehicle Miles Traveled

In addition, CEQA Section 21099(b)(1) requires that the State Office of Planning and Research (OPR) develop revisions to the CEQA Guidelines establishing criteria for determining the significance of transportation impacts of projects that “promote the reduction of greenhouse gas emissions, the development of multimodal transportation networks, and a diversity of land uses.” CEQA Section 21099(b)(2) states that upon certification of the revised guidelines for determining transportation impacts pursuant to Section 21099(b)(1), automobile delay, as described solely by level of service or similar measures of vehicular capacity or traffic congestion shall not be considered a significant impact on the environment under CEQA.

In January 2016, OPR published for public review and comment a [Revised Proposal on Updates to the CEQA Guidelines on Evaluating Transportation Impacts in CEQA](#)⁴ recommending that transportation impacts for projects be measured using a vehicle miles traveled (VMT) metric. On March 3, 2016, in anticipation of the future certification of the revised CEQA Guidelines, the San Francisco Planning Commission adopted OPR’s recommendation to use the VMT metric instead of automobile delay to evaluate the transportation impacts of projects (Resolution 19579). (Note: the VMT metric does not apply to the analysis of project impacts on non-automobile modes of travel such as transit, walking, and bicycling.) Therefore, impacts and mitigation measures from the Eastern Neighborhoods PEIR associated with automobile delay are not discussed in this checklist, including PEIR Mitigation Measures E-1: Traffic Signal Installation, E-2: Intelligent Traffic Management, E-3: Enhanced Funding, and E-4: Intelligent Traffic Management. Instead, a VMT and induced automobile travel impact analysis is provided in the Transportation section.

³ San Francisco Planning Department. Eligibility Checklist: CEQA Section 21099 – Modernization of Transportation Analysis for 980 Folsom Street, July 19, 2016. This document (and all other documents cited in this report, unless otherwise noted), is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400 as part of Case File No. 2013.0977E.

⁴ This document is available online at: https://www.opr.ca.gov/s_sb743.php.

Topics:	<u>Significant Impact Peculiar to Project or Project Site</u>	<u>Significant Impact not Identified in PEIR</u>	<u>Significant Impact due to Substantial New Information</u>	<u>No Significant Impact not Previously Identified in PEIR</u>
1. LAND USE AND LAND USE PLANNING—Would the project:				
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial impact upon the existing character of the vicinity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR analyzed a range of potential rezoning options and considered the effects of losing between approximately 520,000 to 4,930,000 square feet of PDR space in the plan area throughout the lifetime of the plan (year 2025). This was compared to an estimated loss of approximately 4,620,000 square feet of PDR space in the plan area under the No Project scenario. Within the Eastern SoMa subarea, the Eastern Neighborhoods PEIR considered the effects of losing up to approximately 770,000 square feet of PDR space through the year 2025. The Eastern Neighborhoods PEIR determined that adoption of the rezoning and area plans would result in an unavoidable significant impact on land use due to the cumulative loss of PDR space. This impact was addressed in a *statement of overriding considerations* with CEQA findings and adopted as part of the Eastern Neighborhoods Rezoning and Areas Plans approval on January 19, 2009.

The Eastern Neighborhoods Areas include PDR clusters where similar types of PDR-related businesses are located near one another in order to capitalize on their shared proximity to customers, transportation, labor, and infrastructure. By forming in clusters, PDR businesses are also able to share resources and information. One of the objectives of the Eastern Neighborhoods Area Plans, as discussed in the PEIR, was to encourage new housing development while preserving a sufficient supply of land for PDR businesses. Thus, the PEIR found that in order to achieve this objective a key element of the Plan would be establishing districts that would encourage transitional development patterns between business and employment districts (e.g., PDR and commercial districts) and predominately residential neighborhoods. Transitions between PDR districts and residential area would be achieved through UMU (Urban Mixed Use) and MUR districts, which allow some PDR uses in combination with commercial, residential, and mixed uses. The Eastern Neighborhoods PEIR found that this development pattern would reduce PDR displacement and minimize the secondary economic effects related to increases in land values that occur through the conversion of specific sites to non-industrial uses, undermining the economic viability of existing adjacent industrial clusters. However, the PEIR determined that implementation of the Area Plans would likely result in the eventual displacement of some existing PDR businesses and employment. The PEIR noted that certain types of PDR uses have clustered in East SoMa subarea, including, but not

limited to, printing and publishing and auto repair, and that the auto repair PDR cluster is concentrated west of 5th Street.⁵

As discussed in the Project Description section, the project site is developed with a one-story industrial building containing approximately 6,159 square feet of PDR space and 1,410 square feet of office space, and occupied by an auto repair shop. Thus, demolition of the existing building and development of the proposed project would result in the net loss of approximately 6,159 square feet of PDR space. The PEIR considers the presence of PDR businesses and activities and how they may operate as PDR clusters. The project site, which is currently developed with an auto repair shop, is located west of 5th Street. The roughly 6,159 square feet of industrial use on the project site, combined with the industrial uses located in the project site vicinity, may form a PDR cluster, as described in the PEIR. PDR uses at the project site would have to relocate and may not be able to relocate near other similar PDR uses, thus potentially reducing the viability of this PDR cluster in the site vicinity and contributing to the significant land use impact identified in the Eastern Neighborhoods PEIR. Thus, the proposed project would contribute considerably to the significant cumulative land use impact related to loss of PDR uses that was identified in the Eastern Neighborhoods PEIR.

Development of the proposed project would result in the net loss of approximately 6,159 square feet of PDR building space and this would contribute considerably to the significant cumulative land use impact related to loss of PDR uses that was identified in the Eastern Neighborhoods PEIR. The project site is located in the MUR District, which is intended to facilitate the development of high-density, mid-rise housing and encourage the expansion of retail, business service and commercial and cultural arts activities, and is within the development density as envisioned for the site under the Eastern Neighborhoods Plan, and the proposed project is consistent with the development density established for the site under the Eastern Neighborhoods Rezoning and Area Plans. As stated above, the PEIR acknowledges that the loss of PDR space resulting from development under the adopted rezoning and area plans would have a significant and unavoidable cumulative impact on land use. The proposed loss of 6,159 square feet of existing PDR uses represents a considerable contribution to the cumulative loss of PDR space analyzed in the Eastern Neighborhoods PEIR, but would not result in new or more severe impacts than were disclosed in the PEIR. As such, the project's contribution to this cumulative impact does not require any additional environmental review beyond that provided in the Eastern Neighborhoods PEIR and this project-specific initial study.

The Eastern Neighborhoods PEIR determined that implementation of the area plans would not create any new physical barriers in the Eastern Neighborhoods because the rezoning and area plans do not provide for any new major roadways, such as freeways that would disrupt or divide the plan area or individual neighborhoods or subareas.

The Citywide Planning and Current Planning divisions of the planning department have determined that the proposed project is permitted in the MUR District and is consistent with the bulk, density, and land uses as envisioned in the East SoMa Area Plan. Furthermore, the project site is within the Folsom Street Corridor, which is designed to strengthen Folsom Street as the area's key neighborhood-serving boulevard by requiring residential uses in all new development, with limited mixed-use office and retail

⁵ San Francisco Planning Department, Eastern Neighborhoods Rezoning and Area Plans Final Environmental Impact Report (PEIR), Planning Department Case No. 2004.0160E, State Clearinghouse No. 2005032048, certified August 7, 2008, page 40. Available at <http://www.sf-planning.org/index.aspx?page=1893>, accessed April 4, 2017.

uses allowed. As the proposed project would result in a mixed-use development consisting of residential and retail uses, the proposed project is consistent with this designation.^{6,7}

Because the proposed project is consistent with the development density established in the Eastern Neighborhoods Rezoning and Area Plans, implementation of the proposed project would not result in significant impacts that were not identified in the Eastern Neighborhoods PEIR related to land use and land use planning, and no mitigation measures are necessary.

Topics:	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
2. POPULATION AND HOUSING—				
Would the project:				
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing housing units or create demand for additional housing, necessitating the construction of replacement housing?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

One of the objectives of the Eastern Neighborhoods Rezoning and Area Plans is to identify appropriate locations for housing in the City’s industrially zoned land to meet the citywide demand for additional housing. The PEIR assessed how the rezoning actions would affect housing supply and location options for businesses in the Eastern Neighborhoods and compared these outcomes to what would otherwise be expected without the rezoning, assuming a continuation of development trends and ad hoc land use changes (such as allowing housing within industrial zones through conditional use authorization on a case-by-case basis, site-specific rezoning to permit housing, and other similar case-by-case approaches). The PEIR concluded that adoption of the rezoning and area plans: “would induce substantial growth and concentration of population in San Francisco.” The PEIR states that the increase in population expected to occur as a result of the proposed rezoning and adoption of the area plans would not, in itself, result in adverse physical effects, and would serve to advance key City policy objectives, such as providing housing in appropriate locations next to Downtown and other employment generators and furthering the City’s transit first policies. It was anticipated that the rezoning would result in an increase in both housing development and population in all of the area plan neighborhoods. The Eastern Neighborhoods PEIR determined that the anticipated increase in population and density would not directly result in significant adverse physical effects on the environment. However, the PEIR identified significant

⁶ Adam Varat, San Francisco Planning Department, Community Plan Exemption Eligibility Determination, Citywide Planning and Policy Analysis, 980 Folsom Street, April 2, 2015.

⁷ Jeff Joslin, San Francisco Planning Department, Community Plan Exemption Eligibility Determination, Current Planning Analysis, 980 Folsom Street, February 11, 2016.

cumulative impacts on the physical environment that would result indirectly from growth afforded under the rezoning and area plans, including impacts on land use, transportation, air quality, and noise. The PEIR contains detailed analyses of these secondary effects under each of the relevant resource topics, and identifies mitigation measures to address significant impacts where feasible.

The PEIR determined that implementation of the rezoning and area plans would not have a significant impact from the direct displacement of existing residents, and that each of the rezoning options considered in the PEIR would result in less displacement as a result of unmet housing demand than would be expected under the No-Project scenario because the addition of new housing would provide some relief to housing market pressure without directly displacing existing residents. However, the PEIR also noted that residential displacement is not solely a function of housing supply, and that adoption of the rezoning and area plans could result in indirect, secondary effects on neighborhood character through gentrification that could displace some residents. The PEIR discloses that the rezoned districts could transition to higher-value housing, which could result in gentrification and displacement of lower-income households, and states moreover that lower-income residents of the Eastern Neighborhoods, who also disproportionately live in crowded conditions and in rental units, are among the most vulnerable to displacement resulting from neighborhood change.

Pursuant to CEQA Guidelines 15131 and 15064(e), economic and social effects such as gentrification and displacement are only considered under CEQA where these effects would cause substantial adverse physical impacts on the environment. Only where economic or social effects have resulted in adverse physical changes in the environment, such as “blight” or “urban decay” have courts upheld environmental analysis that consider such effects. But without such a connection to an adverse physical change, consideration of social or economic impacts “shall not be considered a significant effect” per CEQA Guidelines 15382. While the Eastern Neighborhoods PEIR disclosed that adoption of the Eastern Neighborhoods Rezoning and Area Plans could contribute to gentrification and displacement, it did not determine that these potential socio-economic effects would result in significant adverse physical impacts on the environment.

The project site is currently developed with an industrial building occupied with an auto repair shop. The proposed project would include the construction of a mixed-use development with approximately 33 dwelling units and 963 square feet of commercial space.⁸ These direct effects of the proposed project on population and housing would not result in new or substantially more severe significant impacts on the physical environment beyond those identified in the Eastern Neighborhoods PEIR. The project’s contribution to indirect effects on the physical environment attributable to population growth are evaluated in this initial study under land use, transportation and circulation, noise, air quality, greenhouse gas emissions, recreation, utilities and service systems, and public services.

⁸ The estimated number of employees is based on Planning Department *Transportation Impact Analysis Guidelines for Environmental Review* (October 2002) (SF Guidelines) and assumes an average of one employee per 350 square feet of retail space. This would result in approximately 2 employees, which has been rounded to three for a conservative analysis.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
3. CULTURAL AND PALEONTOLOGICAL RESOURCES—Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5, including those resources listed in Article 10 or Article 11 of the San Francisco Planning Code?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Historic Architectural Resources

Pursuant to CEQA Guidelines Sections 15064.5(a)(1) and 15064.5(a)(2), historical resources are buildings or structures that are listed, or are eligible for listing, in the California Register of Historical Resources or are identified in a local register of historical resources, such as Articles 10 and 11 of the San Francisco Planning Code. The Eastern Neighborhoods PEIR determined that future development facilitated through the changes in use districts and height limits under the Eastern Neighborhoods Area Plans could have substantial adverse changes on the significance of both individual historical resources and on historical districts within the Plan Areas. The PEIR determined that approximately 32 percent of the known or potential historical resources in the Plan Areas could potentially be affected under the preferred alternative. The Eastern Neighborhoods PEIR found this impact to be significant and unavoidable. This impact was addressed in a Statement of Overriding Considerations with findings and adopted as part of the Eastern Neighborhoods Rezoning and Area Plans approval on January 19, 2009.

The project site is developed with a one-story industrial building constructed in 1988. The building on the project site was evaluated in the South of Market Area Historic Resource Survey and was rated “6Z”, which means the building was found ineligible for inclusion in the National Register of Historic Places, the California Register of Historic Resources, or local designation through survey evaluation.⁹ As such, the project site does not contain any historical structures, sites or architectural features. In addition, the project site is not located within or immediately adjacent to any identified historic districts. Therefore, the proposed project would not contribute to the significant historic resource impact identified in the Eastern Neighborhoods PEIR, and no historic resource mitigation measures would apply to the proposed project.

For these reasons, the proposed project would not result in significant impacts on historic architectural resources that were not identified in the Eastern Neighborhoods PEIR.

⁹ The South of Market Area Historic Resource Survey is available online at: <http://www.sf-planning.org/index.aspx?page=2530>, accessed February 6, 2015.

Archeological Resources

The Eastern Neighborhoods PEIR determined that implementation of the Area Plan could result in significant impacts on archeological resources and identified three mitigation measures that would reduce these potential impacts to a less than significant level. Eastern Neighborhoods PEIR Mitigation Measure J-1 applies to properties for which a final archeological research design and treatment plan is on file at the Northwest Information Center and the Planning Department. Mitigation Measure J-2 applies to properties for which no archeological assessment report has been prepared or for which the archeological documentation is incomplete or inadequate to serve as an evaluation of potential effects on archeological resources under CEQA. Mitigation Measure J-3, which applies to properties in the Mission Dolores Archeological District, requires that a specific archeological testing program be conducted by a qualified archeological consultant with expertise in California prehistoric and urban historical archeology.

The proposed project would excavate to a maximum depth of approximately four feet below grade, resulting in roughly 257 cubic yards of soils disturbance. Thus, the proposed project is subject to Mitigation Measure J-2, which is required for properties with no previous archeological studies. In accordance with Mitigation Measure J-2, a Preliminary Archeological Review (PAR) was conducted by the Planning Department’s staff archeologists. Based on the PAR, the Planning Department determined that standard Archeological Mitigation Measure I (Accidental Discovery) would apply to the proposed project.¹⁰ The PAR and mitigation requirements are consistent with Mitigation Measure J-2 of the Eastern Neighborhoods PEIR, the implementation of which would reduce impacts related to archeological resources to a less-than-significant level. The project sponsor has agreed to implement Mitigation Measure J-2, including the requirements of the Planning Department’s first standard Archeological Mitigation Measure, as **Project Mitigation Measure 1** (full text of Project Mitigation Measure 1 is provided in the Mitigation Measures section below).

For these reasons, the proposed project would not result in significant impacts on archeological resources that were not identified in the Eastern Neighborhoods PEIR.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
4. TRANSPORTATION AND CIRCULATION—Would the project:				
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

¹⁰ Randall Dean, San Francisco Planning Department, *Preliminary Archeological Review (PAR) for 980 Folsom Street*, February 27, 2015.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
b) Conflict with an applicable congestion management program, including but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels, obstructions to flight, or a change in location, that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR anticipated that growth resulting from the zoning changes would not result in significant impacts related to pedestrians, bicyclists, loading, or construction traffic. The PEIR states that in general, the analyses of pedestrian, bicycle, loading, emergency access, and construction transportation impacts are specific to individual development projects, and that project-specific analyses would need to be conducted for future development projects under the Eastern Neighborhoods Rezoning and Area Plans.

The Eastern Neighborhoods PEIR anticipated that growth resulting from the zoning changes could result in significant impacts on transit ridership, and identified seven transportation mitigation measures, which are described further below in the Transit sub-section. Even with mitigation, however, it was anticipated that the significant adverse cumulative impacts on transit lines could not be reduced to a less than significant level. Thus, these impacts were found to be significant and unavoidable.

As discussed above under “Automobile Delay and Vehicle Miles Traveled” on page 17, in response to state legislation that called for removing automobile delay from CEQA analysis, the Planning Commission adopted resolution 19579 replacing automobile delay with a VMT metric for analyzing transportation impacts of a project. Therefore, impacts and mitigation measures from the Eastern Neighborhoods PEIR associated with automobile delay are not discussed in this checklist.

The Eastern Neighborhoods PEIR did not evaluate vehicle miles traveled or the potential for induced automobile travel. The VMT Analysis and Induced Automobile Travel Analysis presented below evaluate the project’s transportation effects using the VMT metric.

The project site is not located within an airport land use plan area, or in the vicinity of a private airstrip. Therefore, the Initial Study Checklist topic 4c is not applicable.

Vehicle Miles Traveled (VMT) Analysis

Many factors affect travel behavior. These factors include density, diversity of land uses, design of the transportation network, access to regional destinations, distance to high-quality transit, development scale, demographics, and transportation demand management. Typically, low-density development at

great distance from other land uses, located in areas with poor access to non-private vehicular modes of travel, generate more automobile travel compared to development located in urban areas, where a higher density, mix of land uses, and travel options other than private vehicles are available.

Given these travel behavior factors, San Francisco has a lower VMT ratio than the nine-county San Francisco Bay Area region. In addition, some areas of the City have lower VMT ratios than other areas of the City. These areas of the City can be expressed geographically through transportation analysis zones. Transportation analysis zones are used in transportation planning models for transportation analysis and other planning purposes. The zones vary in size from single city blocks in the downtown core, multiple blocks in outer neighborhoods, to even larger zones in historically industrial areas like the Hunters Point Shipyard.

The San Francisco County Transportation Authority (Transportation Authority) uses the San Francisco Chained Activity Model Process (SF-CHAMP) to estimate VMT by private automobiles and taxis for different land use types. Travel behavior in SF-CHAMP is calibrated based on observed behavior from the California Household Travel Survey 2010-2012, Census data regarding automobile ownership rates and county-to-county worker flows, and observed vehicle counts and transit boardings. SF-CHAMP uses a synthetic population, which is a set of individual actors that represents the Bay Area's actual population, who make simulated travel decisions for a complete day. The Transportation Authority uses tour-based analysis for office and residential uses, which examines the entire chain of trips over the course of a day, not just trips to and from the project. For retail uses, the Transportation Authority uses trip-based analysis, which counts VMT from individual trips to and from the project (as opposed to entire chain of trips). A trip-based approach, as opposed to a tour-based approach, is necessary for retail projects because a tour is likely to consist of trips stopping in multiple locations, and the summarizing of tour VMT to each location would over-estimate VMT.^{11,12}

For residential development, the existing regional average daily VMT per capita is 17.2.¹³ For retail development, regional average daily retail VMT per employee is 14.9.¹⁴ Average daily VMT for all three land uses is projected to decrease in future 2040 cumulative conditions. Refer to Table 1: Daily Vehicle Miles Traveled, which includes the transportation analysis zone in which the project site is located, 628.

¹¹ To state another way: a tour-based assessment of VMT at a retail site would consider the VMT for all trips in the tour, for any tour with a stop at the retail site. If a single tour stops at two retail locations, for example, a coffee shop on the way to work and a restaurant on the way back home, then both retail locations would be allotted the total tour VMT. A trip-based approach allows us to apportion all retail-related VMT to retail sites without double-counting.

¹² San Francisco Planning Department, Executive Summary: Resolution Modifying Transportation Impact Analysis, Appendix F, Attachment A, March 3, 2016.

¹³ Includes the VMT generated by the households in the development and averaged across the household population to determine VMT per capita.

¹⁴ Retail travel is not explicitly captured in SF-CHAMP, rather, there is a generic "Other" purpose which includes retail shopping, medical appointments, visiting friends or family, and all other non-work, non-school tours. The retail efficiency metric captures all of the "Other" purpose travel generated by Bay Area households. The denominator of employment (including retail; cultural, institutional, and educational; and medical employment; school enrollment, and number of households) represents the size, or attraction, of the zone for this type of "Other" purpose travel.

Table 1 Daily Vehicle Miles Traveled

Land Use	Existing			Cumulative 2040		
	Bay Area Regional Average	Bay Area Regional Average minus 15%	TAZ 628	Bay Area Regional Average	Bay Area Regional Average minus 15%	TAZ 628
Households (Residential)	17.2	14.6	2.0	16.1	13.7	1.7
Employment (Retail)	14.9	12.6	7.2	14.6	12.4	7.4

A project would have a significant effect on the environment if it would cause substantial additional VMT. The State Office of Planning and Research’s (OPR) *Revised Proposal on Updates to the CEQA Guidelines on Evaluating Transportation Impacts in CEQA* (“proposed transportation impact guidelines”) recommends screening criteria to identify types, characteristics, or locations of projects that would not result in significant impacts to VMT. If a project meets one of the three screening criteria provided (Map-Based Screening, Small Projects, and Proximity to Transit Stations), then it is presumed that VMT impacts would be less than significant for the project and a detailed VMT analysis is not required. Map-Based Screening is used to determine if a project site is located within a transportation analysis zone that exhibits low levels of VMT; Small Projects are projects that would generate fewer than 100 vehicle trips per day; and the Proximity to Transit Stations criterion includes projects that are within a half mile of an existing major transit stop, have a floor area ratio of greater than or equal to 0.75, vehicle parking that is less than or equal to that required or allowed by the Planning Code without conditional use authorization, and are consistent with the applicable Sustainable Communities Strategy.

Vehicle Miles Traveled Analysis – Residential

Existing average daily household VMT per capita is 2.0 miles for the transportation analysis zone the project site is located in (TAZ 628). This is approximately 88 percent below the existing regional average daily household VMT of 17.2. Miles. As the project site is located in an area where existing VMT is more than 15 percent below the existing regional average, the proposed project’s residential uses would not result in substantial additional VMT and impacts would be less than significant. Furthermore, the project site meets the Proximity to Transit Stations screening criterion, which also indicates the proposed project’s residential uses would not cause substantial additional VMT.¹⁵

San Francisco 2040 cumulative conditions were projected using a SF-CHAMP model run, using the same methodology as outlined for existing conditions, but includes residential and job growth estimates and reasonably foreseeable transportation investments through 2040. Projected 2040 average daily household VMT per capita is 1.7 miles for the transportation analysis zone the project site is located in (628). This is approximately 89 percent below the projected 2040 regional average daily household VMT of 16.1 miles. Given the project site is located in an area where VMT is greater than 15 percent below the projected 2040 regional average, the proposed project’s residential uses would not result in substantial additional VMT.

¹⁵ San Francisco Planning Department. Eligibility Checklist: CEQA Section 21099 – Modernization of Transportation Analysis for 980 Folsom Street, July 19, 2016.

Therefore, the proposed project would not contribute considerably to any substantial cumulative increase in VMT for the proposed residential use.

Vehicle Miles Traveled Analysis – Retail

Existing average daily retail employee VMT per capita is 7.2 miles for the transportation analysis zone the project site is located in (TAZ 628). This is approximately 72 percent below the existing regional average daily retail employee VMT of 14.9 miles. As the project site is located in an area where existing VMT is more than 15 percent below the existing regional average, the proposed project's retail uses would not result in substantial additional VMT and these impacts would be less than significant. Furthermore, the project site meets the Proximity to Transit Stations screening criterion, which also indicates the proposed project's retail uses would not cause substantial additional VMT.¹⁶

Projected 2040 average daily retail employee VMT per capita is 7.4 miles for the transportation analysis zone the project site is located in (628). This is approximately 49 percent below the projected 2040 regional average daily retail employee VMT of 14.6 miles. Given that the project site is located in an area where VMT is greater than 15 percent below the projected 2040 regional average, the proposed project's retail uses would not result in substantial additional VMT. Therefore, the proposed project would not contribute considerably to any substantial cumulative increase in VMT as a result of the proposed retail use.¹⁷

Induced Automobile Travel Analysis

A project would have a significant effect on the environment if it would substantially induce additional automobile travel by increasing physical roadway capacity in congested areas (i.e., by adding new mixed-flow lanes) or by adding new roadways to the network. OPR's proposed transportation impact guidelines include a list of transportation project types that would not likely lead to a substantial or measureable increase in VMT. If a project fits within the general types of projects (including combinations of types), then it is presumed that VMT impacts would be less than significant and a detailed VMT analysis is not required.

The proposed project is not a transportation project. However, the proposed project would include features that would alter the transportation network. The project proposes to remove an approximately 16-foot-wide curb cut on Folsom Street and an approximately 13-foot-wide curb cut on the west end of the Clementina Street frontage, and place an approximately nine-foot-long curb cut on the east end of the Clementina Street frontage. In addition, the proposed project would install approximately four Class II bicycle parking spaces on Folsom Street. These features fit within the general types of projects that would not substantially induce automobile travel. Therefore, the impacts would be less than significant.¹⁸ Therefore, the proposed project would not substantially induce automobile travel.

¹⁶ *Ibid.*

¹⁷ San Francisco Planning Department. Eligibility Checklist: CEQA Section 21099 – Modernization of Transportation Analysis for 980 Folsom Street, July 19, 2016.

¹⁸ *Ibid.*

Based on the foregoing, the proposed project would not cause substantial additional VMT and impacts would be less than significant.

Trip Generation

The proposed project would demolish the existing 6,159-gsf, one-story building on the project site and construct an approximately 36,214-gsf mixed-use development. The proposed project would consist of 33,125 square feet of residential space, providing 33 dwelling units, and 963 square feet of retail space on the ground floor. An approximately 3,787-square-foot, ground-floor parking garage would provide space for 14 vehicles. The ground floor would also provide space for approximately 34 Class 1 bicycle parking spaces. Four Class II bicycle parking spaces would be installed on the sidewalk of Folsom street adjacent to the project site

Localized trip generation of the proposed project was calculated using a trip-based analysis and information in the *2002 Transportation Impacts Analysis Guidelines for Environmental Review* (SF Guidelines) developed by the San Francisco Planning Department.¹⁹ The proposed project would generate an estimated 407 person trips (inbound and outbound) on a weekday daily basis, consisting of 131 person trips by auto, 86 transit trips, 137 walk trips and 53 trips by other modes. During the p.m. peak hour, the proposed project would generate an estimated 61 person trips, consisting of 19 person trips by auto (15 vehicle trips accounting for vehicle occupancy data for this Census Tract), 13 transit trips, 20 walk trips and eight trips by other modes.

Transit

Mitigation Measures E-5 through E-11 in the Eastern Neighborhoods PEIR were adopted as part of the Plan with uncertain feasibility to address significant transit impacts. These measures are not applicable to the proposed project, as they are plan-level mitigations to be implemented by City and County agencies. In compliance with a portion of Mitigation Measure E-5: Enhanced Transit Funding, the City adopted impact fees for development in Eastern Neighborhoods that goes towards funding transit and complete streets. In addition, San Francisco Board of Supervisors approved amendments to the San Francisco Planning Code, referred to as the Transportation Sustainability Fee (Ordinance 200-154, effective December 25, 2015).²⁰ The fee updated, expanded, and replaced the prior Transit Impact Development Fee, which is in compliance with portions of Mitigation Measure E-5: Enhanced Transit Funding. The proposed project would be subject to the fee. Both the Transportation Sustainability Fee and the transportation demand management efforts are part of the Transportation Sustainability Program.²¹ In compliance with all or portions of Mitigation Measure E-6: Transit Corridor Improvements, Mitigation Measure E-7: Transit Accessibility, Mitigation Measure E-9: Rider Improvements, and Mitigation Measure E-10: Transit Enhancement, the SFMTA is implementing the Transit Effectiveness Project (TEP), which was approved by the SFMTA Board of Directors in March 2014. The TEP (now called Muni Forward) includes system-wide review, evaluation, and recommendations to improve service and increase transportation efficiency. Examples of transit priority and pedestrian safety improvements within the Eastern Neighborhoods Plan area as part of Muni Forward include the 14 Mission Rapid Transit Project, the 22 Fillmore Extension along 16th Street to Mission Bay (expected construction between 2017 and 2020),

¹⁹ San Francisco Planning Department, Transportation Calculations for 980 Folsom Street, July 19, 2016.

²⁰ Two additional files were created at the Board of Supervisors for TSF regarding hospitals and health services, grandfathering, and additional fees for larger projects: see Board file nos. 151121 and 151257.

²¹ <http://tsp.sfplanning.org>

and the Travel Time Reduction Project on Route 9 San Bruno (initiation in 2015). In addition, Muni Forward includes service improvements to various routes with the Eastern Neighborhoods Plan area; for instance the implemented new Route 55 on 16th Street.

Mitigation Measure E-7 also identifies implementing recommendations of the Bicycle Plan and Better Streets Plan. As part of the San Francisco Bicycle Plan, adopted in 2009, a series of minor, near-term, and long-term bicycle facility improvements are planned or have been implemented within the Eastern Neighborhoods, including along 2nd Street, 5th Street, 17th Street, Townsend Street, Illinois Street, and Cesar Chavez Boulevard. The San Francisco Better Streets Plan, adopted in 2010, describes a vision for the future of San Francisco's pedestrian realm and calls for streets that work for all users. The Better Streets Plan requirements were codified in Section 138.1 of the Planning Code and new projects constructed in the Eastern Neighborhoods Plan area are subject to varying requirements, dependent on project size. Another effort which addresses transit accessibility, Vision Zero, was adopted by various City agencies in 2014. Vision Zero focuses on building better and safer streets through education, evaluation, enforcement, and engineering. The goal is to eliminate all traffic fatalities by 2024. Vision Zero projects within the Eastern Neighborhoods Plan area include pedestrian intersection treatments along Mission Street from 18th to 23rd streets, the Potrero Avenue Streetscape Project from Division to Cesar Chavez streets, and the Howard Street Pilot Project, which includes pedestrian intersection treatments from 4th to 6th streets.

The project site is located within a quarter mile of several local transit lines including Muni lines 8 (Bayshore), 27 (Bryant), and 47 (Van Ness) at Harrison and 6th Streets. The proposed project would be expected to generate 86 daily transit trips, including 13 during the p.m. peak hour. Given the wide availability of nearby transit, the addition of 13 p.m. peak hour transit trips would be accommodated by existing capacity. As such, the proposed project would not result in unacceptable levels of transit service or cause a substantial increase in delays or operating costs such that significant adverse impacts in transit service could result.

Each of the rezoning options in the Eastern Neighborhoods PEIR identified significant and unavoidable cumulative impacts relating to increases in transit ridership on Muni lines, with the Preferred Project having significant impacts on seven lines. Of those lines, the project site is located within a quarter-mile of Muni line 27 (Bryant). The proposed project would not contribute considerably to these conditions as its minor contribution of 13 p.m. peak hour transit trips would not be a substantial proportion of the overall additional transit volume generated by Eastern Neighborhood projects. The proposed project would not contribute considerably to 2025 cumulative transit conditions and thus would not result in any significant cumulative transit impacts.

Conclusion

For the above reasons, the proposed project would not result in significant impacts that were not identified in the Eastern Neighborhoods PEIR related to transportation and circulation and would not contribute considerably to cumulative transportation and circulation impacts that were identified in the Eastern Neighborhoods PEIR.

Topics:	Significant Impact Peculiar to Project or Project Site	Significant Impact not Identified in PEIR	Significant Impact due to Substantial New Information	No Significant Impact not Previously Identified in PEIR
5. NOISE—Would the project:				
a) Result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan area, or, where such a plan has not been adopted, in an area within two miles of a public airport or public use airport, would the project expose people residing or working in the area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) For a project located in the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Be substantially affected by existing noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR determined that implementation of the Eastern Neighborhoods Area Plans and Rezoning would result in significant noise impacts during construction activities and due to conflicts between noise-sensitive uses in proximity to noisy uses such as PDR, retail, entertainment, cultural/institutional/educational uses, and office uses. The Eastern Neighborhoods PEIR also determined that incremental increases in traffic-related noise attributable to implementation of the Eastern Neighborhoods Area Plans and Rezoning would be less than significant. The Eastern Neighborhoods PEIR identified six noise mitigation measures, three of which may be applicable to subsequent development projects.²² These mitigation measures would reduce noise impacts from construction and noisy land uses to less-than-significant levels.

²² Eastern Neighborhoods PEIR Mitigation Measures F-3, F-4, and F-6 address the siting of sensitive land uses in noisy environments. In a decision issued on December 17, 2015, the California Supreme Court held that CEQA does not generally require an agency to consider the effects of existing environmental conditions on a proposed project's future users or residents except where a project or its residents may exacerbate existing environmental hazards (*California Building Industry Association v. Bay Area Air Quality Management District*, December 17, 2015, Case No. S213478. Available at: <http://www.courts.ca.gov/opinions/documents/S213478.PDF>). As noted above, the *Eastern Neighborhoods PEIR* determined that incremental increases in traffic-related noise attributable to implementation of the Eastern Neighborhoods Area Plans and Rezoning would be less than significant, and thus would not exacerbate the existing noise environment. Therefore, Eastern Neighborhoods Mitigation Measures F-3, F-4, and F-6 are not applicable. Nonetheless, for all noise sensitive uses, the general requirements for adequate interior noise levels of Mitigation Measures F-3 and F-4 are met by compliance with the acoustical standards required under the California Building Standards Code (California Code of Regulations Title 24).

Construction Noise

Eastern Neighborhoods PEIR Mitigation Measures F-1 and F-2 relate to construction noise. Mitigation Measure F-1 addresses individual projects that include pile-driving, and Mitigation Measure F-2 addresses individual projects that include particularly noisy construction procedures (including pile-driving). The proposed project would require excavation in order to construct the new foundation. Per the geotechnical report, the proposed building should be constructed on a deep foundation system utilizing drilled piers, driven concrete or steel piles, torque-down piles, or auger cast-in-place piles.²³ The report found that drilled piers and driven piles would not be desirable for the project site due to existing site conditions and the vibration and noise that would result from pile driving, and that torque-down and auger cast-in-place piles would be the most appropriate foundation systems. While the project sponsor intends to install a torque-down pile foundation,²⁴ it is still possible that the foundation could be constructed with drilled piers. Therefore, Mitigation Measure F-1 would apply to the proposed project, and has been included as **Project Mitigation Measure 2 Construction Noise from Pile Driving**. Project Mitigation Measure 2 requires the implementation of site-specific noise attenuation measures to minimize noise from pile driving activities during construction (see the Mitigation Measures section below for the full text of this mitigation measure). Implementation of the proposed project could include other noisy construction activities due to the anticipated use of an excavator, concrete pump, backhoe, ready mix truck, and drilling machine. Therefore, Eastern Neighborhoods Mitigation Measure F-2 applies to the project as and has been included as **Project Mitigation Measure 3 Construction Noise**. Project Mitigation Measure 3 requires the identification and implementation of site-specific noise attenuation measures and is described in detail in the Mitigation Measures section below.

In addition, all construction activities for the proposed project (approximately 20-24 months) would be subject to the San Francisco Noise Ordinance (Article 29 of the San Francisco Police Code) (Noise Ordinance). Construction noise is regulated by the Noise Ordinance. The Noise Ordinance requires construction work to be conducted in the following manner: (1) noise levels of construction equipment, other than impact tools, must not exceed 80 dBA at a distance of 100 feet from the source (the equipment generating the noise); (2) impact tools must have intake and exhaust mufflers that are approved by the Director of Public Works (PW) or the Director of the Department of Building Inspection (DBI) to best accomplish maximum noise reduction; and (3) if the noise from the construction work would exceed the ambient noise levels at the site property line by 5 dBA, the work must not be conducted between 8:00 p.m. and 7:00 a.m. unless the Director of Public Works authorizes a special permit for conducting the work during that period.

DBI is responsible for enforcing the Noise Ordinance for private construction projects during normal business hours (8:00 a.m. to 5:00 p.m.). The Police Department is responsible for enforcing the Noise Ordinance during all other hours. Nonetheless, during the construction period for the proposed project of approximately 20-24 months, occupants of the nearby properties could be disturbed by construction noise. Times may occur when noise could interfere with indoor activities in nearby residences and other businesses near the project site. The increase in noise in the project area during project construction would not be considered a significant impact of the proposed project, because the construction noise would be temporary, intermittent, and restricted in occurrence and level, as the contractor would be

²³ Rockridge Geotechnical, *Geotechnical Study, Proposed Mixed-Use Building, 980 Folsom Street*, December 30, 2013.

²⁴ Goldman Architects Email to Jenny Delumo, *San Francisco Planning Department, regarding 980 Folsom Street*, July 25, 2016.

required to comply with the Noise Ordinance and Eastern Neighborhoods PEIR Mitigation Measure F-2, which would reduce construction noise impacts to a less-than-significant level.

Operational Noise

Eastern Neighborhoods PEIR Mitigation Measure F-5 addresses impacts related to individual projects that include uses that would be expected to generate noise levels in excess of ambient noise in the project vicinity. The proposed project does not include noise-generating land uses. While the proposed project would include retail space on the ground floor, it is not anticipated that use of the space would generate noise above existing ambient noise levels in the project site vicinity. The proposed project would include mechanical equipment, including an elevator with a diesel-powered backup generator and an air conditioning and heating system. The proposed building equipment would be subject to the Noise Ordinance, which limits noise from building equipment to no more than 5 dBA above the local ambient noise level at any point outside of the property line. Therefore, Mitigation Measure F-5 is not applicable.

The proposed project would be subject to the following interior noise standards, which are described for informational purposes. The California Building Standards Code (Title 24) establishes uniform noise insulation standards. The Title 24 acoustical requirement for residential structures is incorporated into Section 1207 of the San Francisco Building Code and requires these structures be designed to prevent the intrusion of exterior noise so that the noise level with windows closed, attributable to exterior sources, shall not exceed 45 dBA in any habitable room. In compliance with Title 24, DBI would review the final building plans to ensure that the building wall, floor/ceiling, and window assemblies meet Title 24 acoustical requirements. If determined necessary by DBI, a detailed acoustical analysis of the exterior wall and window assemblies may be required.

Additionally, the proposed project would be subject to the Noise Regulations Relating to Residential Uses Near Places of Entertainment (Ordinance 70-15, effective June 19, 2015). The intent of these regulations is to address noise conflicts between residential uses in noise critical areas, such as in proximity to highways and other high-volume roadways, railroads, rapid transit lines, airports, nighttime entertainment venues or industrial areas. In accordance with the adopted regulations, residential structures to be located where the day-night average sound level (Ldn) or community noise equivalent level (CNEL) exceeds 60 decibels shall require an acoustical analysis with the application of a building permit showing that the proposed design would limit exterior noise to 45 decibels in any habitable room. Furthermore, the regulations require the Planning Department and Planning Commission to consider the compatibility of uses when approving residential uses adjacent to or near existing permitted places of entertainment and take all reasonably available means through the City's design review and approval processes to ensure that the design of new residential development projects take into account the needs and interests of both the places of entertainment and the future residents of the new development.

The project site is not located within an airport land use plan area, within two miles of a public airport, or in the vicinity of a private airstrip. Therefore, topics 12e and f from the CEQA Guidelines, Appendix G are not applicable.

For the above reasons, the proposed project would not result in significant noise impacts that were not identified in the Eastern Neighborhoods PEIR.

<i>Topics:</i>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
6. AIR QUALITY—Would the project:				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal, state, or regional ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR identified potentially significant air quality impacts resulting from construction activities and impacts to sensitive land uses²⁵ as a result of exposure to elevated levels of diesel particulate matter (DPM) and other toxic air contaminants (TACs). The Eastern Neighborhoods PEIR identified four mitigation measures that would reduce these air quality impacts to less-than-significant levels and stated that with implementation of identified mitigation measures, the Area Plan would be consistent with the Bay Area 2005 Ozone Strategy, the applicable air quality plan at that time. All other air quality impacts were found to be less than significant.

Eastern Neighborhoods PEIR Mitigation Measure G-1 addresses air quality impacts during construction, and PEIR Mitigation Measures G-3 and G-4 address proposed uses that would emit DPM and other TACs.²⁶

Construction Dust Control

Eastern Neighborhoods PEIR Mitigation Measure G-1 Construction Air Quality requires individual projects involving construction activities to include dust control measures and to maintain and operate construction equipment so as to minimize exhaust emissions of particulates and other pollutants. The San Francisco Board of Supervisors subsequently approved a series of amendments to the San Francisco Building and Health Codes, generally referred to as the Construction Dust Control Ordinance (Ordinance 176-08, effective July 30, 2008). The intent of the Construction Dust Control Ordinance is to reduce the quantity of fugitive dust generated during site preparation, demolition, and construction work in order to protect the health of the general public and of on-site workers, minimize public nuisance complaints, and to avoid orders to stop work by DBI. Project-related construction activities would result in construction

²⁵ The Bay Area Air Quality Management District (BAAQMD) considers sensitive receptors as: children, adults or seniors occupying or residing in: 1) residential dwellings, including apartments, houses, condominiums, 2) schools, colleges, and universities, 3) daycares, 4) hospitals, and 5) senior care facilities. BAAQMD, Recommended Methods for Screening and Modeling Local Risks and Hazards, May 2011, page 12.

²⁶ The Eastern Neighborhoods PEIR also includes Mitigation Measure G-2, which has been superseded by Health Code Article 38, as discussed below, and is no longer applicable.

dust, primarily from ground-disturbing activities. In compliance with the Construction Dust Control Ordinance, the project sponsor and contractor responsible for construction activities at the project site would be required to control construction dust on the site through a combination of watering disturbed areas, covering stockpiled materials, street and sidewalk sweeping and other measures.

The regulations and procedures set forth by the San Francisco Dust Control Ordinance would ensure that construction dust impacts would not be significant. These requirements supersede the dust control provisions of PEIR Mitigation Measure G-1. Therefore, the portion of PEIR Mitigation Measure G-1 Construction Air Quality that addresses dust control is no longer applicable to the proposed project.

Criteria Air Pollutants

While the Eastern Neighborhoods PEIR determined that at a program-level the Eastern Neighborhoods Rezoning and Area Plans would not result in significant regional air quality impacts, the PEIR states that “Individual development projects undertaken in the future pursuant to the new zoning and area plans would be subject to a significance determination based on the BAAQMD’s quantitative thresholds for individual projects.”²⁷ The BAAQMD’s *CEQA Air Quality Guidelines* (Air Quality Guidelines) provide screening criteria²⁸ for determining whether a project’s criteria air pollutant emissions would violate an air quality standard, contribute to an existing or projected air quality violation, or result in a cumulatively considerable net increase in criteria air pollutants. Pursuant to the Air Quality Guidelines, projects that meet the screening criteria do not have a significant impact related to criteria air pollutants. Criteria air pollutant emissions during construction and operation of the proposed project would meet the Air Quality Guidelines screening criteria. The screening criteria level for an “Apartment, mid-rise” is 494 dwelling units for operations and 240 dwelling units for construction. The screening criteria level for a “Fast food restaurant without a drive through” is 8,000 square feet for operations and 277,000 square feet for construction. This land use category was chosen as the project sponsor does not know the type of retail service that would occupy the proposed retail space, and this land use category is one of the most restrictive uses for a small retail space. As the proposed project would provide approximately 33 dwelling units and 963 square feet of commercial space, it would meet the Air Quality Guidelines screening criteria. Therefore, the project would not have a significant impact related to criteria air pollutants, and a detailed air quality assessment is not required.

Health Risk

Since certification of the PEIR, San Francisco Board of Supervisors approved a series of amendments to the San Francisco Building and Health Codes, generally referred to as the Enhanced Ventilation Required for Urban Infill Sensitive Use Developments or Health Code, Article 38 (Ordinance 224-14, amended December 8, 2014)(Article 38). The Air Pollutant Exposure Zone as defined in Article 38 are areas that, based on modeling of all known air pollutant sources, exceed health protective standards for cumulative PM_{2.5} concentration, cumulative excess cancer risk, and incorporates health vulnerability factors and proximity to freeways. For sensitive use projects within the Air Pollutant Exposure Zone, such as the proposed project, the ordinance requires that the project sponsor submit an Enhanced Ventilation Proposal for approval by the Department of Public Health (DPH) that achieves protection from PM_{2.5} (fine particulate matter) equivalent to that associated with a Minimum Efficiency Reporting Value 13 filtration.

²⁷ San Francisco Planning Department, Eastern Neighborhood’s Rezoning and Area Plans Final Environmental Impact Report. See page 346. Available online at: <http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=4003>. Accessed June 4, 2014.

²⁸ Bay Area Air Quality Management District, CEQA Air Quality Guidelines, updated May 2011. See pp. 3-2 to 3-3.

DBI will not issue a building permit without written notification from the Director of Public Health that the applicant has an approved Enhanced Ventilation Proposal. In compliance Article 38, the project sponsor has submitted an initial application to DPH.²⁹

Construction

The project site is located within an identified Air Pollutant Exposure Zone; therefore, the ambient health risk to sensitive receptors from air pollutants is considered substantial. The proposed project would require heavy-duty off-road diesel vehicles and equipment during the anticipated 20-24-month construction period. Thus, **Project Mitigation Measure 4 Construction Air Quality** has been identified to implement the portions of Eastern Neighborhoods PEIR Mitigation Measure G-1 related to emissions exhaust by requiring engines with higher emissions standards on construction equipment. Project Mitigation Measure 4 Construction Air Quality would reduce DPM exhaust from construction equipment by 89 to 94 percent compared to uncontrolled construction equipment.³⁰ Therefore, impacts related to construction health risks would be less than significant through implementation of Project Mitigation Measure 3 Construction Air Quality. The full text of Project Mitigation Measure 4 Construction Air Quality is provided in the Mitigation Measures Section below.

Siting New Sources

The proposed project would not be expected to generate 100 trucks per day or 40 refrigerated trucks per day. Therefore, Eastern Neighborhoods PEIR Mitigation Measure G-3 is not applicable. However, the proposed project would include a backup diesel generator, which would emit DPM, a TAC. Therefore, **Project Mitigation Measure 5 Best Available Control Technology for Diesel Generators** has been identified to implement the portions of Eastern Neighborhoods PEIR Mitigation Measure G-4 related to siting of uses that emit TACs by requiring the engine to meet higher emission standards. Project Mitigation Measure 5 Best Available Control Technology for Diesel Generators would reduce DPM exhaust from stationary sources by 89 to 94 percent compared to uncontrolled stationary sources. Impacts related to new sources of health risk would be less than significant through implementation of Project Mitigation Measure 5 Best Available Control Technology for Diesel Generators. The full text of Project Mitigation Measure 5 Best Available Control Technology for Diesel Generators is provided in the Mitigation Measures Section below.

²⁹ Department of Public Health, *Article 38: 980 Folsom Street Project*, July 20, 2016

³⁰ PM emissions benefits are estimated by comparing off-road PM emission standards for Tier 2 with Tier 1 and 0. Tier 0 off-road engines do not have PM emission standards, but the United States Environmental Protection Agency's *Exhaust and Crankcase Emissions Factors for Nonroad Engine Modeling – Compression Ignition* has estimated Tier 0 engines between 50 hp and 100 hp to have a PM emission factor of 0.72 g/hp-hr and greater than 100 hp to have a PM emission factor of 0.40 g/hp-hr. Therefore, requiring off-road equipment to have at least a Tier 2 engine would result in between a 25 percent and 63 percent reduction in PM emissions, as compared to off-road equipment with Tier 0 or Tier 1 engines. The 25 percent reduction comes from comparing the PM emission standards for off-road engines between 25 hp and 50 hp for Tier 2 (0.45 g/bhp-hr) and Tier 1 (0.60 g/bhp-hr). The 63 percent reduction comes from comparing the PM emission standards for off-road engines above 175 hp for Tier 2 (0.15 g/bhp-hr) and Tier 0 (0.40 g/bhp-hr). In addition to the Tier 2 requirement, ARB Level 3 VDECSs are required and would reduce PM by an additional 85 percent. Therefore, the mitigation measure would result in between an 89 percent (0.0675 g/bhp-hr) and 94 percent (0.0225 g/bhp-hr) reduction in PM emissions, as compared to equipment with Tier 1 (0.60 g/bhp-hr) or Tier 0 engines (0.40 g/bhp-hr).

Conclusion

For the above reasons, with implementation of **Project Mitigation Measures 4 and 5**, the proposed project would not result in significant air quality impacts that were not identified in the PEIR.

Topics:	Significant Impact Peculiar to Project or Project Site	Significant Impact not Identified in PEIR	Significant Impact due to Substantial New Information	No Significant Impact not Previously Identified in PEIR
7. GREENHOUSE GAS EMISSIONS—				
Would the project:				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable plan, policy, or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR assessed the GHG emissions that could result from rezoning of the East SoMa Area Plan under the three rezoning options. The Eastern Neighborhoods Rezoning Options A, B, and C are anticipated to result in GHG emissions on the order of 4.2, 4.3 and 4.5 metric tons of CO₂E³¹ per service population,³² respectively. The Eastern Neighborhoods PEIR concluded that the resulting GHG emissions from the three options analyzed in the Eastern Neighborhoods Area Plans would be less than significant. No mitigation measures were identified in the PEIR.

The BAAQMD has prepared guidelines and methodologies for analyzing GHGs. These guidelines are consistent with CEQA Guidelines Sections 15064.4 and 15183.5 which address the analysis and determination of significant impacts from a proposed project's GHG emissions and allow for projects that are consistent with an adopted GHG reduction strategy to conclude that the project's GHG impact is less than significant. San Francisco's *Strategies to Address Greenhouse Gas Emissions*³³ presents a comprehensive assessment of policies, programs, and ordinances that collectively represent San Francisco's GHG reduction strategy in compliance with the BAAQMD and CEQA guidelines. These GHG reduction actions have resulted in a 23.3 percent reduction in GHG emissions in 2012 compared to 1990 levels,³⁴ exceeding the year 2020 reduction goals outlined in the BAAQMD's *2010 Clean Air Plan*,³⁵ Executive

³¹ CO₂E, defined as equivalent Carbon Dioxide, is a quantity that describes other greenhouse gases in terms of the amount of Carbon Dioxide that would have an equal global warming potential.

³² Memorandum from Jessica Range to Environmental Planning staff, Greenhouse Gas Analyses for Community Plan Exemptions in Eastern Neighborhoods, April 20, 2010. This memorandum provides an overview of the GHG analysis conducted for the Eastern Neighborhoods PEIR and provides an analysis of the emissions using a service population (equivalent of total number of residents and employees) metric.

³³ San Francisco Planning Department, *Strategies to Address Greenhouse Gas Emissions in San Francisco*, November 2010. Available at http://sfmea.sfplanning.org/GHG_Reduction_Strategy.pdf, accessed March 3, 2016.

³⁴ ICF International, *Technical Review of the 2012 Community-wide GHG Inventory for the City and County of San Francisco*, January 21, 2015. Available at http://sfenvironment.org/sites/default/files/fliers/files/icf_verificationmemo_2012sfcommunityinventory_2015-01-21.pdf, accessed March 16, 2015.

³⁵ Bay Area Air Quality Management District, *Clean Air Plan*, September 2010. Available at <http://www.baaqmd.gov/plans-and-climate/air-quality-plans/current-plans>, accessed March 3, 2016.

Order S-3-05³⁶, and Assembly Bill 32 (also known as the Global Warming Solutions Act),^{37,38} In addition, San Francisco's GHG reduction goals are consistent with, or more aggressive than, the long-term goals established under Executive Orders S-3-05,³⁹ B-30-15,^{40,41} and Senate Bill (SB) 32.^{42,43} Therefore, projects that are consistent with San Francisco's GHG Reduction Strategy would not result in GHG emissions that would have a significant effect on the environment and would not conflict with state, regional, and local GHG reduction plans and regulations.

The proposed project would increase the intensity of use of the site. The existing use on the project site is an auto repair shop. The proposed project would add approximately 33 new residential units and a neighborhood-serving retail space, thereby increasing the number of people who would access the project site daily. Therefore, the proposed project would contribute to annual long-term increases in GHGs as a result of increased vehicle trips (mobile sources) and residential and commercial operations that result in an increase in energy use, water use, wastewater treatment, and solid waste disposal. Construction activities would also result in temporary increases in GHG emissions.

The proposed project would be subject to regulations adopted to reduce GHG emissions as identified in the GHG reduction strategy. As discussed below, compliance with the applicable regulations would reduce the project's GHG emissions related to transportation, energy use, waste disposal, wood burning, and use of refrigerants.

Compliance with the City's Transportation Sustainability Fee and bicycle parking requirements would reduce the proposed project's transportation-related emissions. These regulations reduce GHG emissions from single-occupancy vehicles by promoting the use of alternative transportation modes with zero or lower GHG emissions on a per capita basis

The proposed project would be required to comply with the energy efficiency requirements of the City's Green Building Code, Stormwater Management Ordinance, Water Conservation and Irrigation

³⁶ Office of the Governor, *Executive Order S-3-05*, June 1, 2005. Available at <https://www.gov.ca.gov/news.php?id=1861>, accessed March 3, 2016.

³⁷ California Legislative Information, *Assembly Bill 32*, September 27, 2006. Available at http://www.leginfo.ca.gov/pub/05-06/bill_asm/ab_0001-0050/ab_32_bill_20060927_chaptered.pdf, accessed March 3, 2016.

³⁸ Executive Order S-3-05, Assembly Bill 32, and the Bay Area 2010 Clean Air Plan set a target of reducing GHG emissions to below 1990 levels by year 2020.

³⁹ Executive Order S-3-05 sets forth a series of target dates by which statewide emissions of GHGs need to be progressively reduced, as follows: by 2010, reduce GHG emissions to 2000 levels (approximately 457 million metric tons of carbon dioxide equivalents (MTCO₂E)); by 2020, reduce emissions to 1990 levels (approximately 427 million MTCO₂E); and by 2050 reduce emissions to 80 percent below 1990 levels (approximately 85 million MTCO₂E). Because of the differential heat absorption potential of various GHGs, GHG emissions are frequently measured in "carbon dioxide-equivalents," which present a weighted average based on each gas's heat absorption (or "global warming") potential.

⁴⁰ Office of the Governor, *Executive Order B-30-15*, April 29, 2015. Available at <https://www.gov.ca.gov/news.php?id=18938>, accessed March 3, 2016. Executive Order B-30-15 sets a state GHG emissions reduction goal of 40 percent below 1990 levels by the year 2030.

⁴¹ San Francisco's GHG reduction goals are codified in Section 902 of the Environment Code and include: (i) by 2008, determine City GHG emissions for year 1990; (ii) by 2017, reduce GHG emissions by 25 percent below 1990 levels; (iii) by 2025, reduce GHG emissions by 40 percent below 1990 levels; and by 2050, reduce GHG emissions by 80 percent below 1990 levels.

⁴² Senate Bill 32 amends California Health and Safety Code Division 25.5 (also known as the California Global Warming Solutions Act of 2006) by adding Section 38566, which directs that statewide greenhouse gas emissions to be reduced by 40 percent below 1990 levels by 2030.

⁴³ Senate Bill 32 was paired with Assembly Bill 197, which would modify the structure of the State Air Resources Board; institute requirements for the disclosure of greenhouse gas emissions criteria pollutants, and toxic air contaminants; and establish requirements for the review and adoption of rules, regulations, and measures for the reduction of greenhouse gas emissions.

ordinances, which would promote energy and water efficiency, thereby reducing the proposed project’s energy-related GHG emissions.⁴⁴ Additionally, the project would be required to meet the renewable energy criteria of the Green Building Code, further reducing the project’s energy-related GHG emissions.

The proposed project’s waste-related emissions would be reduced through compliance with the City’s Recycling and Composting Ordinance, Construction and Demolition Debris Recovery Ordinance, and Green Building Code requirements. These regulations reduce the amount of materials sent to a landfill, reducing GHGs emitted by landfill operations. These regulations also promote reuse of materials, conserving their embodied energy⁴⁵ and reducing the energy required to produce new materials.

Compliance with the regulations limiting refrigerant emissions and the Wood Burning Fireplace Ordinance would reduce emissions of GHGs and black carbon, respectively. Regulations requiring low-emitting finishes would reduce volatile organic compounds (VOCs).⁴⁶ Thus, the proposed project was determined to be consistent with San Francisco’s GHG reduction strategy.⁴⁷

Therefore, the proposed project’s GHG emissions would not conflict with state, regional, and local GHG reduction plans and regulations. Furthermore, the proposed project is within the scope of the development evaluated in the PEIR and would not result in impacts associated with GHG emissions beyond those disclosed in the PEIR. For the above reasons, the proposed project would not result in significant GHG emissions that were not identified in the Eastern Neighborhoods PEIR and no mitigation measures are necessary.

<i>Topics:</i>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
8. WIND AND SHADOW—Would the project:				
a) Alter wind in a manner that substantially affects public areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create new shadow in a manner that substantially affects outdoor recreation facilities or other public areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Wind

Based on the height and location of the proposed approximately 85-foot-tall building frontage on Folsom Street and 45-foot-tall building frontage on Clementina Street, a pedestrian wind assessment (“wind assessment”) was prepared by a qualified wind consultant for the proposed project.⁴⁸ The objective of the

⁴⁴ Compliance with water conservation measures reduce the energy (and GHG emissions) required to convey, pump and treat water required for the project.

⁴⁵ Embodied energy is the total energy required for the extraction, processing, manufacture and delivery of building materials to the building site.

⁴⁶ While not a GHG, VOCs are precursor pollutants that form ground level ozone. Increased ground level ozone is an anticipated effect of future global warming that would result in added health effects locally. Reducing VOC emissions would reduce the anticipated local effects of global warming.

⁴⁷ San Francisco Planning Department, *Greenhouse Gas Analysis: Compliance Checklist for 980 Folsom Street*, April 20, 2017.

⁴⁸ Environmental Science Associates, *Potential Impact of Proposed Mixed Use Residential Project, 980 Folsom Street Development, San Francisco, California, ESA 150325*, June 3, 2015.

Wind assessment was to provide a qualitative evaluation of the potential wind impacts of the proposed development, which provides a screening-level estimation of the potential wind impact.

The project site is not located within the C-3 zoning district, and therefore is not subject to Planning Code Section 148. Nevertheless, the 26-miles-per-hour wind hazard criterion from Section 148 was used to evaluate the potential wind impacts of the project. Of the 16 primary wind directions, four of them occur with the greatest frequency. These four wind directions are west, northwest, west-northwest, and west-southwest. More than 90 percent of measured winds over 13 miles per hour blow from these four directions, which is why they were used in the Wind Assessment to assess whether the proposed building would result in wind speeds in excess of the 26 miles per hour.

The wind assessment found that: (1) shelter provided by existing buildings across Clementina Street, upwind of the project site, would decrease the magnitude of northwest winds that could strike the proposed four-story Clementina Street frontage; (2) west-northwest winds would be partially blocked by the two- to four-story buildings upwind of the project site and the existing adjacent building to the west of the project site would provide additional shelter; (3) the existing adjacent three-story building to the east of the project site, the buildings across 6th Street from the project site, and the eight-story building on the corner of 6th and Tehama streets would limit the magnitude of west winds to a level similar to existing conditions and that construction of the proposed project would not substantially affect wind conditions along the Folsom Street sidewalks in the project site vicinity; and (4) the proposed project's Clementina Street and Folsom Street frontages would redirect southwest winds horizontally, generally preventing them from reaching the Clementina Street and Folsom Street sidewalks, and thus any increase of winds on those sidewalks from southwest winds would be insubstantial.

Based on this analysis, the wind assessment concluded that the proposed building is not likely to not cause winds that would reach or exceed the 26-mile-per-hour wind hazard criterion in all pedestrian areas on and around the proposed development and that wind speeds at building entrances and public sidewalks would be suitable for the intended pedestrian usage.

There are no cumulative projects in the immediate vicinity of the proposed project that could combine with the project's effects to result in significant cumulative wind impacts.⁴⁹ The cumulative projects at 1025 Howard Street, 345 6th Street, and 363 6th Street are located to the south and northeast of the project site, and would not combine with the 980 Folsom Street project to create cumulative wind conditions. The project at 999 Folsom Street, which would result in an approximately eight-story building, is located on the opposite side of the street from the proposed project. The wind assessment for 999 Folsom Street found that future cumulative projects with similar development on Folsom and 6th streets in the immediate vicinity (such as the 980 Folsom Street project) would reduce wind speeds at that site,⁵⁰ and buildings with similar heights are unlikely to cause additional ground-level wind acceleration and turbulence.⁵¹ As discussed above, the proposed project is not likely to result in any new locations where the wind hazard criterion would be exceeded. Thus, even if the proposed project in combination past, present, and reasonably foreseeable projects, resulted in cumulative wind impacts in the vicinity reaching

⁴⁹ Cumulative projects include the proposed development at 999 Folsom Street/301 6th Street (2013.0538E), 345 6th Street (2013.1773E), and 363 6th Street (2011.0586E).

⁵⁰ Environmental Science Associates, *Potential Impact of Proposed Mixed Use Residential Project, 999 Folsom Street Development, San Francisco California, CASE: 2013.0538E*, March 10, 2017.

⁵¹ Environmental Science Associates, *Potential Impact of Proposed Mixed Use Residential Project, 980 Folsom Street Development, San Francisco, California, ESA 150325*, June 3, 2015.

a significant level, the project-related contribution to wind impacts under cumulative conditions would not be considerable because it would represent a minor proportion of the overall wind conditions in the site vicinity. Therefore, the cumulative impact of the proposed project on wind would be less than significant.

Shadow

Planning Code Section 295 generally prohibits new structures above 40 feet in height that would cast additional shadows on open space that is under the jurisdiction of the San Francisco Recreation and Park Commission between one hour after sunrise and one hour before sunset, at any time of the year, unless that shadow would not result in a significant adverse effect on the use of the open space. Under the Eastern Neighborhoods Rezoning and Area Plans, sites surrounding parks could be redeveloped with taller buildings without triggering Section 295 of the Planning Code because certain parks are not subject to Section 295 of the Planning Code (i.e., under jurisdiction of departments other than the San Francisco Recreation and Parks Department or privately owned). The Eastern Neighborhoods PEIR could not conclude if the rezoning and community plans would result in less-than-significant shadow impacts because the feasibility of complete mitigation for potential new shadow impacts of unknown proposals could not be determined at that time. Therefore, the PEIR determined shadow impacts to be significant and unavoidable. No mitigation measures were identified in the PEIR.

The proposed project would construct a mixed-use development with 85-foot-tall building fronting Folsom Street and a 45-foot-tall building fronting Clementina Street-foot-tall building; therefore, the Planning Department prepared a preliminary shadow fan analysis to determine whether the project would have the potential to cast new shadow on nearby parks.⁵² The shadow fan indicated that the proposed project would potentially cast new shadows on Gene Friend Recreation Center (“Gene Friend” or “the park”), an approximately 1.02-acre park roughly a half block west of the project site. As shown on **Figure 18**, Gene Friend is on the block bounded by Howard Street to the north, Folsom street to the south, Harriet Street to the west, and 6th Street to the east with frontage on Folsom, Harriet, and 6th Street. Gene Friend is under the jurisdiction of the Recreation and Parks Commission. Thus, project-generated shadow on the park is subject to Section 295 of the Planning Code.

⁵² Cite preliminary shadow analysis.

Figure 18 – Gene Friend Recreation Center



The Proposition K memorandum, dated February 3, 1989, was developed by the Recreation and Park Department and the Planning Department⁵³ to establish tolerance levels for new shading for specific parks and established criteria for parks not named in the memorandum but still subject to Section 295 of the Planning Code. The tolerance limits are based on the new shadow-foot-hours that would potentially be added to a park as a percentage of the theoretical total square-foot-hours (sfh)⁵⁴ of sunlight for that property over a period of one year. The Proposition K memorandum established generic criteria for determining a potentially permissible quantitative limit for additional shadows, known as the absolute

⁵³ San Francisco Planning Department, *Proposition K – The Sunlight Ordinance Memorandum, February 3, 1989.*

⁵⁴ The amount of sun the park would receive throughout the year if there was no shadow on the park at any time.

cumulative limit, for parks not named in the memorandum. Gene Friend, formerly known as South of Market Park, was named in the Proposition K memorandum and assigned an absolute cumulative limit of zero percent. Thus, approval of new shadow on Gene Friend would require an amendment to the Proposition K legislation made at a joint hearing of the Planning Commission and Recreation and Park Commission. Per the Proposition K memorandum, projects that propose to contribute new shadow to a park with an Absolute Cumulative Limit of zero percent must also meet additional qualitative criteria. The qualitative criteria includes existing shadow profiles, important times of day and seasons in the year, the size and duration of new shadows, and the public good served by the buildings casting new shadow. Based on the results of the preliminary shadow fan analysis a detailed shadow study was prepared for the proposed project pursuant to Planning Department guidance.⁵⁵ The shadow study consists of quantitative and qualitative analysis of the potential shadow impacts, including existing surrounding buildings and cumulative projects (i.e. reasonably foreseeable development projects with the potential to shadow Gene Friend Recreation Center). The shadow analysis was conducted for representative times of the day for three representative days of the year. The representative days are the summer solstice (June 21), when the midday sun is at its highest and shadows are shortest; the winter solstice (December 21), when the midday sun is at its lowest and shadows are longest; and the spring/fall equinox (March 21/September 21), when shadows are midway through a period of lengthening.

The analysis determined that the proposed project would cast new shadow on Gene Friend from May 5 through August 9, for a total of 97 days. June 21 was found to be the “worst case” day, when the estimated net new shadow on Gene Friend, as a result of the project, would be at its largest and longest duration. On the day of maximum shading, new shadow would be present at 6:45 a.m. (sunrise + one hour) and would be gone by 8:00 a.m. (see **Figures 19-21**).⁵⁶ New shadow would occur at the basketball court and near the Harriet Street entrance beginning at 6:48 a.m., and would fully recede by 8:00 a.m. Thus, the proposed building would add new shadow to the park during hours regulated by Planning Code Section 295 (i.e., from one hour after sunrise to one hour after sunset). The longest duration of new shadow would be approximately 38 minutes and the average shadow would be cast for 21 minutes.

New shadow on Gene Friend would not occur during the park’s normal hours of operation. The park is open to youth from 2:00 p.m. to 6:00 p.m. on Monday, to all users from 9:00 a.m. to 2:00 p.m. and 6:00 p.m. to 9:00 p.m. Tuesday through Friday, 9:00 a.m. to 5:00 p.m. on Saturday, and is closed to the general public on Sundays.

⁵⁵ Prevision Design, Shadow Analysis Report for the Proposed 980 Folsom Street Project per SF Planning Section 295 Standards, May 3, 2017.

⁵⁶ Shadow figures for 9:00 a.m. - 7:36 p.m. not included as the proposed project would not shadow Gene Friend at that time. Those figures are available in the *Shadow Analysis Report for the Proposed Project at 980 Folsom Street per SF Planning Section 295 Standards*.

Figure 19 – June 21: 6:45 a.m. (sunrise + one hour)



SUMMER SOLSTICE
JUNE 21

6:46 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

Gene Friend Rec Center

- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street

Figure 20 – June 21: 7:00 a.m.



SUMMER SOLSTICE
JUNE 21

7:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

- Gene Friend Rec Center Legend
- 1 Park Entries
 - 5 Restrooms
 - 2 Basketball Court
 - 6 Lawn
 - 3 Recreation Center
 - 7 Gymnasium
 - 4 Playground

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street

Figure 21 – June 21: 8:00 a.m.



SUMMER SOLSTICE
JUNE 21

8:00 AM

- Proposed Project
- Existing (current) Shadows
- New Shading by Proposed Project
- New Shading from Cumulative Projects

Gene Friend Rec Center Legend

- 1 Park Entries
- 5 Restrooms
- 2 Basketball Court
- 6 Lawn
- 3 Recreation Center
- 7 Gymnasium
- 4 Playground

Gene Friend Rec Center

- Gene Friend Rec Center
- Cumulative Projects
- 1 999 Folsom Street
- 2 345 6th Street
- 3 363 6th Street

As shown in **Figures 19 and 20**, net new shadow would be cast on the western portion of the park, affecting the area just north of the Harriet Street park entrance and the western edge of the basketball court. The qualitative analysis for the shadow study included six 30-minute field observations. The observations were conducted between October 22, 2015 and October 31, 2015, at various times of the day, in order to assess park usage. Over the course of these site visits, approximately 10 to 59 users were observed at Gene Friend. Peak usage (59 people) occurred on a Friday afternoon and the lowest observed usage (10 people) occurred on a Saturday morning. Most users entered the park from the Harriet Street entrance. During the observation periods, park benches and the basketball court were regularly in use, with all of the park's facilities utilized during peak usage periods (weekday afternoons).

As discussed above, new shadow would occur at the basketball court and near the Harriet Street entrance, and would fully recede by 8:00 a.m. However, the new shadow would occur before the park typically opens (9:00 a.m.), while peak usage occurs on weekday afternoons. Even if the park were to open at a time during which new shadow would occur, the new shadow would not be expected to substantially affect the use and enjoyment of the park as the shadow would primarily occur in the early morning and would be of short duration. Therefore, the proposed project would result in less-than-significant shadow impacts on Gene Friend.

The proposed project would also shadow portions of nearby streets and sidewalks and private property at times within the project vicinity. Shadows upon streets and sidewalks would not exceed levels commonly expected in urban areas and would be considered a less-than-significant effect under CEQA. Although occupants of nearby properties may regard the increase in shadow as undesirable, the limited increase in shading of private properties, as a result of the proposed project would not be considered a significant impact under CEQA.

When taking other reasonably foreseeable projects into consideration,⁵⁷ the shadow study found that cumulative shadow from other proposed projects in the vicinity would not intersect with shadow from the proposed project. Cumulative project that could shadow Gene Friend include 1025 Howard Street (2015-005200NV) and 999 Folsom Street (2013.0538E).⁵⁸ While 1025 Howard Street would shadow a portion of the basketball court, similar to the 980 Folsom Street project, that shadow would not occur until 6:00 p.m.,⁵⁹ whereas the shadow from 980 Folsom Street would recede by 8:00 a.m. The 999 Folsom Street project would shadow walkways and the lawn adjacent to Folsom Street, and as such would not shadow the same areas as the 980 Folsom Street project. Other cumulative projects were not found to shadow Gene Friend. Therefore, the proposed project, in combination with cumulative project, would not result in cumulative impacts with regards to shadow.

For the above reasons, the proposed project would not result in significant project-level or cumulative impacts related to shadow that were not identified in the Eastern Neighborhoods PEIR.

⁵⁸ Cumulative projects include the proposed development at 999 Folsom Street/301 6th Street (2013.0538E), 345 6th Street (2013.1773E), and 363 6th Street (2011.0586E).

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
9. RECREATION—Would the project:				
a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facilities would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Physically degrade existing recreational resources?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR concluded that implementation of the Eastern Neighborhoods Rezoning and Area Plans would not result in substantial or accelerated deterioration of existing recreational resources or require the construction or expansion of recreational facilities that may have an adverse effect on the environment. No mitigation measures related to recreational resources were identified in the Eastern Neighborhoods PEIR. However, the PEIR identified Improvement Measure H-1: Support for Upgrades to Existing Recreation Facilities. This improvement measure calls for the City to implement funding mechanisms for an ongoing program to repair, upgrade and adequately maintain park and recreation facilities to ensure the safety of users.

As part of the Eastern Neighborhoods adoption, the City adopted impact fees for development in Eastern Neighborhoods that goes towards funding recreation and open space. Since certification of the PEIR, the voters of San Francisco passed the 2012 San Francisco Clean and Safe Neighborhood Parks Bond providing the Recreation and Parks Department an additional \$195 million to continue capital projects for the renovation and repair of parks, recreation, and open space assets. This funding is being utilized for improvements and expansion to Garfield Square, South Park, Potrero Hill Recreation Center, Warm Water Cove Park, and Pier 70 Parks Shoreline within the Eastern Neighborhoods Plan area. The impact fees and the 2012 San Francisco Clean and Safe Neighborhood Parks Bond are funding measures similar to that described in PEIR Improvement Measure H-1: Support for Upgrades to Existing Recreation Facilities.

An update of the Recreation and Open Space Element (ROSE) of the General Plan was adopted in April 2014. The amended ROSE provides a 20-year vision for open spaces in the City. It includes information and policies about accessing, acquiring, funding, and managing open spaces in San Francisco. The amended ROSE identifies areas within the Eastern Neighborhoods Plan area for acquisition and the locations where new open spaces and open space connections should be built, consistent with PEIR Improvement Measure H-2: Support for New Open Space. Two of these open spaces, Daggett Park and at 17th and Folsom, are both set to open in 2017. In addition, the amended ROSE identifies the role of both the Better Streets Plan (refer to “Transportation” section for description) and the Green Connections Network in open space and recreation. Green Connections are special streets and paths that connect people to parks, open spaces, and the waterfront, while enhancing the ecology of the street environment. Six routes identified within the Green Connections Network cross the Eastern Neighborhoods Plan area: Mission to Peaks (Route 6); Noe Valley to Central Waterfront (Route 8), a portion of which has been

conceptually designed; Tenderloin to Potrero (Route 18); Downtown to Mission Bay (Route 19); Folsom, Mission Creek to McLaren (Route 20); and Shoreline (Route 24).

The recreational needs of the proposed project’s future occupants could be accommodated by existing and proposed private and public open spaces. The new residents of the proposed project would be served by the San Francisco Recreation and Parks Department, which administers more than 220 parks, playgrounds, and open spaces throughout the City, as well as recreational facilities.⁶⁰ Although the proposed project would introduce a new permanent population to the project site through construction of approximately 33 dwelling units, the number of new residents would not be large enough to substantially increase demand for, or use of, either neighborhood parks and recreational facilities (e.g., Gene Friend) or citywide facilities (e.g., Golden Gate Park), such that substantial physical deterioration would be expected. Furthermore, the Planning Code requires a specified amount of new usable open space (either private or common) for each new residential unit. Some developments are also required to provide privately owned, publicly accessible open spaces. The proposed project would include approximately 4,013 square feet of common open space on the second level and on a roof deck. The Planning Code open space requirements would help offset some of the additional open space needs generated by increased residential population to the project area.

As the proposed project would not degrade recreational facilities and is consistent with the development density established under the Eastern Neighborhoods Rezoning and Area Plans, there would be no additional impacts on recreation beyond those analyzed in the Eastern Neighborhoods PEIR.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
10. UTILITIES AND SERVICE SYSTEMS—Would the project:				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supply available to serve the project from existing entitlements and resources, or require new or expanded water supply resources or entitlements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

⁶⁰ Cumulative projects include the proposed development at 999 Folsom Street/301 6th Street (2013.0538E), 345 6th Street (2013.1773E), and 363 6th Street (2011.0586E).

⁶⁰ San Francisco Recreation and Parks Department. Available at sfrecpark.org. Accessed April 20, 2017.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
e) Result in a determination by the wastewater treatment provider that would serve the project that it has inadequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR determined that the anticipated increase in population would not result in a significant impact to the provision of water, wastewater collection and treatment, and solid waste collection and disposal. No mitigation measures were identified in the PEIR.

Since certification of the PEIR, the San Francisco Public Utilities Commission (SFPUC) adopted the 2010 Urban Water Management Plan (UWMP) in June 2011. The UWMP update includes city-wide demand projections to the year 2035, compares available water supplies to meet demand and presents water demand management measures to reduce long-term water demand. Additionally, the UWMP update includes a discussion of the conservation requirement set forth in Senate Bill 7 passed in November 2009 mandating a statewide 20 percent reduction in per capita water use by 2020. The UWMP includes a quantification of the SFPUC's water use reduction targets and plan for meeting these objectives. The UWMP projects sufficient water supply in normal years and a supply shortfall during prolonged droughts. Plans are in place to institute varying degrees of water conservation and rationing as needed in response to severe droughts.

In addition, the SFPUC is in the process of implementing the Sewer System Improvement Program, which is a 20-year, multi-billion dollar citywide upgrade to the City's sewer and stormwater infrastructure to ensure a reliable and seismically safe system. The program includes planned improvements that will serve development in the Eastern Neighborhoods Plan area including at the Southeast Treatment Plant, the Central Bayside System, and green infrastructure projects, such as the Mission and Valencia Green Gateway.

As the proposed project is consistent with the development density established under the Eastern Neighborhoods Rezoning and Area Plans, there would be no additional impacts on utilities and service systems beyond those less-than-significant impacts analyzed in the Eastern Neighborhoods PEIR.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
----------------	---	--	--	--

11. PUBLIC SERVICES—Would the project:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Result in substantial adverse physical impacts associated with the provision of, or the need for, new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any public services such as fire protection, police protection, schools, parks, or other services? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The Eastern Neighborhoods PEIR determined that the anticipated increase in population would not result in a substantial adverse physical impacts associated with the provision of or need for new or physically altered public services, including fire protection, police protection, and public schools. No mitigation measures were identified in the PEIR.

As the proposed project is consistent with the development density established under the Eastern Neighborhoods Rezoning and Area Plans, the project would not result in new or substantially more severe impacts on the physical environment associated with the provision of public services beyond those analyzed in the Eastern Neighborhoods PEIR.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
----------------	---	--	--	--

12. BIOLOGICAL RESOURCES—Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

As discussed in the Eastern Neighborhoods PEIR, the Eastern Neighborhoods Plan area is in a developed urban environment that does not provide native natural habitat for any rare or endangered plant or animal species. There are no riparian corridors, estuaries, marshes, or wetlands in the Plan Area that could be affected by the development anticipated under the Area Plan. In addition, development envisioned under the Eastern Neighborhoods Area Plan would not substantially interfere with the movement of any resident or migratory wildlife species. For these reasons, the PEIR concluded that implementation of the Area Plan would not result in significant impacts on biological resources, and no mitigation measures were identified.

The project site is located East SoMa Plan area of the Eastern Neighborhoods Area Plan on a lot fully developed with an industrial building currently occupied with an auto body repair and paint facility. As such, the project site does not support habitat for any candidate, sensitive or special status species. Therefore, implementation of the proposed project would not result in significant impacts to biological resources not identified in the Eastern Neighborhoods PEIR.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
----------------	---	--	--	--

13. GEOLOGY AND SOILS—Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? (Refer to Division of Mines and Geology Special Publication 42.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
c) Be located on geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code, creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Change substantially the topography or any unique geologic or physical features of the site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR concluded that implementation of the Plan would indirectly increase the population that would be subject to an earthquake, including seismically induced ground-shaking, liquefaction, and landslides. The PEIR also noted that new development is generally safer than comparable older development due to improvements in building codes and construction techniques. Compliance with applicable codes and recommendations made in project-specific geotechnical analyses would not eliminate earthquake risks, but would reduce them to an acceptable level, given the seismically active characteristics of the Bay Area. Thus, the PEIR concluded that implementation of the Plan would not result in significant impacts with regard to geology, and no mitigation measures were identified in the Eastern Neighborhoods PEIR.

A geotechnical investigation was prepared for the proposed project.⁶¹ The investigation included reconnaissance of the project site and vicinity and review of prior subsurface investigations performed at and adjacent to the project site. The report concluded that the site is suitable for construction of the proposed project, provided the recommendations in the report are incorporated into the design and construction of the project. Recommendations include that, the proposed development should be constructed on a deep foundation system due to the presence of loose to medium dense sandy fill overlaying marsh deposits and bay mud. The report found that drilled piers and driven piles would not be desirable for the project site due to existing site conditions and vibration and noise that would result from pile driving. Therefore, the report concluded that torque-down piles or auger cast-in-place piles would be the most appropriate foundation systems for the proposed project. Additional recommendations for site preparation and grading, installation of utility lines, compaction grouting, foundation design and installation, underpinning, retaining walls, shoring, and seismic design are included in the report.

The project is required to conform to the San Francisco Building Code, which ensures the safety of all new construction in the City. In addition, the project site is located within a state seismic hazard zone for liquefaction hazard. Pursuant to the State Seismic Hazard Mapping Act (SHMA) (Public Resources Code Chapter 7.8, sections 2690-2699.6), the geotechnical report is required to identify and area of seismic hazard, and the recommendations to address such hazards are required to be made conditions of the

⁶¹ Rockridge Geotechnical, *Geotechnical Study, Proposed Mixed-Use Building, 980 Folsom Street*, December 30, 2013.

building permit for the proposed project. DBI will review the project-specific geotechnical report during its review of the building permit for the project. In addition, DBI may require additional site specific soils report(s) through the building permit application process, as needed. The DBI requirement for a geotechnical report and review of the building permit application pursuant to DBI's implementation of the Building Code would ensure that the proposed project would have no significant impacts related to soils, seismic or other geological hazards.

In light of the above, the proposed project would not result in a significant effect related to seismic and geologic hazards. Therefore, the proposed project would not result in significant impacts related to geology and soils that were not identified in the Eastern Neighborhoods PEIR, and no mitigation measures are necessary.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
14. HYDROLOGY AND WATER QUALITY—Would the project:				
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other authoritative flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures that would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Expose people or structures to a significant risk of loss, injury or death involving inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR determined that the anticipated increase in population would not result in a significant impact on hydrology and water quality, including the combined sewer system and the potential for combined sewer outflows. No mitigation measures were identified in the PEIR.

The approximately 6,864-square feet project site is fully developed with impervious surfaces consisting of a one-story industrial building. While the proposed building would be constructed over the entire footprint of the project site, this would result in impervious surface similar to existing conditions. In accordance with the Stormwater Management Ordinance (Ordinance No. 64-16) and Public Works Code section 147, the proposed project would be subject to and would comply with the San Francisco Public Utilities Commission (SFPUC) Stormwater Design Guidelines, incorporating low impact design approaches and stormwater management systems into the project. Adherence to SFPUC requirements would ensure that stormwater is managed appropriately so as to not adversely affect drainage systems and water quality.

Stormwater runoff during construction must comply with the Construction Site Runoff Ordinance (Ordinance No. 260-13) and the Public Works Code section 146. Construction activities that disturbs 5,000 sf or more, such as the project, must submit an Erosion and Sediment Control Plan to the SFPUC for review and approval prior to construction. The plan would outline the best management practices (BMPs) to be implemented during construction to prevent the discharge of sediment, non-stormwater, and waste runoff from the project site. As a result, the proposed project would not increase stormwater runoff. As a result, the proposed project would not increase stormwater runoff. The proposed project is in a flood-prone area as mapped by the SFPUC. However, as the proposed project would not increase stormwater runoff on the site, it is not expected to increase the frequency or severity of flooding or cause flooding to occur in an area, and thus would not exacerbate any anticipated future flood hazards in the project area.

Therefore, the proposed project would not result in any significant impacts related to hydrology and water quality that were not identified in the Eastern Neighborhoods PEIR.



<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
15. HAZARDS AND HAZARDOUS MATERIALS—Would the project:				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury, or death involving fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR noted that implementation of any of the proposed project’s rezoning options would encourage construction of new development within the project area. The PEIR found that there is a high potential to encounter hazardous materials during construction activities in many parts of the project area because of the presence of 1906 earthquake fill, previous and current land uses associated with the use of hazardous materials, and known or suspected hazardous materials cleanup cases. However, the PEIR found that existing regulations for facility closure, Under Storage Tank (UST) closure, and investigation and cleanup of soil and groundwater would ensure implementation of measures to protect workers and the community from exposure to hazardous materials during construction.

Hazardous Building Materials

The Eastern Neighborhoods PEIR determined that future development in the Plan Area may involve demolition or renovation of existing structures containing hazardous building materials. Some building materials commonly used in older buildings could present a public health risk if disturbed during an accident or during demolition or renovation of an existing building. Hazardous building materials addressed in the PEIR include asbestos, electrical equipment such as transformers and fluorescent light

ballasts that contain PCBs or di (2 ethylhexyl) phthalate (DEHP), fluorescent lights containing mercury vapors, and lead-based paints. Asbestos and lead based paint may also present a health risk to existing building occupants if they are in a deteriorated condition. If removed during demolition of a building, these materials would also require special disposal procedures. The Eastern Neighborhoods PEIR identified a significant impact associated with hazardous building materials including PCBs, DEHP, and mercury and determined that that Mitigation Measure L-1: Hazardous Building Materials, as outlined below, would reduce effects to a less-than-significant level. Because the proposed development includes demolition of an existing building, Mitigation Measure L-1 would apply to the proposed project. The project sponsor has agreed to implement this measure as **Project Mitigation Measure 6 Hazardous Building Materials** (see full text of in the Mitigation Measures section below).

Soil and Groundwater Contamination

Since certification of the PEIR, Article 22A of the Health Code, also known as the Maher Ordinance, was expanded to include properties throughout the City where there is potential to encounter hazardous materials, primarily industrial zoning districts, sites with industrial uses or underground storage tanks, sites with historic bay fill, and sites in close proximity to freeways or underground storage tanks. The over-arching goal of the Maher Ordinance is to protect public health and safety by requiring appropriate handling, treatment, disposal and when necessary, remediation of contaminated soils that are encountered in the building construction process. Projects that disturb 50 cubic yards or more of soil that are located on sites with potentially hazardous soil or groundwater within Eastern Neighborhoods Plan area are subject to this ordinance.

The project site was occupied by Ferry Steel Products, a sheet metal works business, prior to being redeveloped in 1986. The project site is currently occupied by an auto repair shop and the proposed project would include excavation to a maximum depth of four feet below grade, resulting in approximately 257 cubic yards of soil excavation. Therefore, the project is subject to Article 22A of the Health Code, also known as the Maher Ordinance, which is administered and overseen by the Department of Public Health (DPH). The Maher Ordinance requires the project sponsor to retain the services of a qualified professional to prepare a Phase I Environmental Site Assessment (ESA) that meets the requirements of Health Code Section 22.A.6.

The Phase I ESA would determine the potential for site contamination and level of exposure risk associated with the project. Based on that information, the project sponsor may be required to conduct soil and/or groundwater sampling and analysis. Where such analysis reveals the presence of hazardous substances in excess of state or federal standards, the project sponsor is required to submit a site mitigation plan (SMP) to the DPH or other appropriate state or federal agency(ies), and to remediate any site contamination in accordance with an approved SMP prior to the issuance of any building permit. The SMP would provide soil management measures for soil excavation and grading and the off-site transport and disposal of impacted soils, in order to protect the health of the public and onsite construction workers.

In compliance with the Maher Ordinance, the project sponsor has submitted a Maher Application⁶² and Phase I ESA⁶³ to DPH. Hazardous materials noted during the site reconnaissance conducted for the Phase I ESA include: one 55-gallon drum of waste paint, one 120-pound drum of Valvoline oil, containers of

⁶² Goldman Architects, *Maher Application*, 980 Folsom Street, April 9, 2015.

⁶³ AEI Consultants, *Phase I Environmental Site Assessment*, 980 Folsom Street, September 11, 2008.

paint, motor oil, antifreeze, brake fluid and other car cleaning equipment. In addition, gas cylinders of oxygen carbon dioxide, and acetylene were found on the project site. No sign of significant staining or evidence of release were observed, and the materials were not located near drains or other subsurface conduits. Thus, the report found that these materials were stored appropriately and do not constitute a significant environmental concern. While floor drains were observed, as they were not in close proximity to the hazardous substances, the report found that the presence of floor drains on the subject property does not constitute a significant environmental concern. The report concluded that no recognized environmental conditions or historical recognized environmental conditions are associated with the project site. DPH has reviewed and approved the proposed project’s Phase I ESA and geotechnical report.⁶⁴ Based on these materials, DPH determined that the project requires a Phase II Site Characterization Report and Work Plan. Depending on the results of this analysis a SMP may be required.

The proposed project would be required to remediate potential soil and groundwater contamination described above in accordance with Article 22A of the Health Code. Therefore, the proposed project would not result in any significant impacts related to hazardous materials that were not identified in the Eastern Neighborhoods PEIR.

Therefore, with implementation of **Project Mitigation Measure 5**, the proposed project would not result in significant impacts related to hazards or hazardous materials that were not identified in the Eastern Neighborhoods PEIR.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
16. MINERAL AND ENERGY RESOURCES—Would the project:				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Encourage activities which result in the use of large amounts of fuel, water, or energy, or use these in a wasteful manner?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR determined that the Area Plan would facilitate the construction of both new residential units and commercial buildings. Development of these uses would not result in use of large amounts of fuel, water, or energy in a wasteful manner or in the context of energy use throughout the City and region. The energy demand for individual buildings would be typical for such projects and would meet, or exceed, current state and local codes and standards concerning energy consumption, including Title 24 of the California Code of Regulations enforced by DBI. The Plan area does not include

⁶⁴ Rockridge Geotechnical, *Geotechnical Study, Proposed Mixed-Use Building, 980 Folsom Street*, December 30, 2013.

any natural resources routinely extracted and the rezoning does not result in any natural resource extraction programs. Therefore, the Eastern Neighborhoods PEIR concluded that implementation of the Area Plan would not result in a significant impact on mineral and energy resources. No mitigation measures were identified in the PEIR.

As the proposed project is consistent with the development density established under the Eastern Neighborhoods Rezoning and Area Plans, there would be no additional impacts on mineral and energy resources beyond those analyzed in the Eastern Neighborhoods PEIR.

<u>Topics:</u>	<i>Significant Impact Peculiar to Project or Project Site</i>	<i>Significant Impact not Identified in PEIR</i>	<i>Significant Impact due to Substantial New Information</i>	<i>No Significant Impact not Previously Identified in PEIR</i>
17. AGRICULTURE AND FOREST RESOURCES:—Would the project:				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)) or timberland (as defined by Public Resources Code Section 4526)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The Eastern Neighborhoods PEIR determined that no agricultural resources exist in the Plan area; therefore the rezoning and community plans would have no effect on agricultural resources. No mitigation measures were identified in the PEIR. The Eastern Neighborhoods PEIR did not analyze the effects on forest resources.

The project site is located within an urbanized area of San Francisco, and has been designated by the California Department of Conservation as “Urban and Built-Up Land.” Because the project site does not contain agricultural uses and is not zoned for such uses, the proposed project would not require the conversion of any land designated as prime farmland, unique farmland, or Farmland of Statewide Importance to non-agricultural use. Thus, the proposed project would not conflict with any existing

agricultural zoning or Williamson Act contracts.⁶⁵ The project site is not zoned as timberland or forestland, and no forestry resources are found on the site.

As the proposed project is consistent with the development density established under the Eastern Neighborhoods Rezoning and Area Plans, there would be no additional impacts on agriculture and forest resources beyond those analyzed in the Eastern Neighborhoods PEIR.

MITIGATION MEASURES

Project Mitigation Measure 1: Accidental Discovery (Implementing Eastern Neighborhoods PEIR Mitigation Measure J-2, Properties with No Previous Studies)

The following mitigation measure is required to avoid any potential adverse effect from the proposed project on accidentally discovered buried or submerged historical resources as defined in *CEQA Guidelines* Section 15064.5(a) and (c). The project sponsor shall distribute the Planning Department archeological resource "ALERT" sheet to the project prime contractor; to any project subcontractor (including demolition, excavation, grading, foundation, pile driving, etc. firms); or utilities firm involved in soils disturbing activities within the project site. Prior to any soils disturbing activities being undertaken each contractor is responsible for ensuring that the "ALERT" sheet is circulated to all field personnel including, machine operators, field crew, pile drivers, supervisory personnel, etc. The project sponsor shall provide the Environmental Review Officer (ERO) with a signed affidavit from the responsible parties (prime contractor, subcontractor(s), and utilities firm) to the ERO confirming that all field personnel have received copies of the Alert Sheet.

Should any indication of an archeological resource be encountered during any soils disturbing activity of the project, the project Head Foreman and/or project sponsor shall immediately notify the ERO and shall immediately suspend any soils disturbing activities in the vicinity of the discovery until the ERO has determined what additional measures should be undertaken.

If the ERO determines that an archeological resource may be present within the project site, the project sponsor shall retain the services of an archaeological consultant from the pool of qualified archaeological consultants maintained by the Planning Department archaeologist. The archeological consultant shall advise the ERO as to whether the discovery is an archeological resource, retains sufficient integrity, and is of potential scientific/historical/cultural significance. If an archeological resource is present, the archeological consultant shall identify and evaluate the archeological resource. The archeological consultant shall make a recommendation as to what action, if any, is warranted. Based on this information, the ERO may require, if warranted, specific additional measures to be implemented by the project sponsor.

Measures might include: preservation in situ of the archeological resource; an archaeological monitoring program; or an archeological testing program. If an archeological monitoring program or archeological testing program is required, it shall be consistent with the Environmental Planning (EP) division guidelines for such programs. The ERO may also require that the project sponsor immediately

⁶⁵ San Francisco is identified as "Urban and Built-Up Land" on the California Department of Conservation Important Farmland in California Map, 2008. Available at <http://maps.conservation.ca.gov/ciff/ciff.html>. Accessed April 20, 2017.

implement a site security program if the archeological resource is at risk from vandalism, looting, or other damaging actions.

The project archeological consultant shall submit a Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describing the archeological and historical research methods employed in the archeological monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.

Copies of the Draft FARR shall be sent to the ERO for review and approval. Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound copy, one unbound copy, and one unlocked, searchable PDF copy on CD; three copies of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest or interpretive value, the ERO may require a different final report content, format, and distribution than that presented above.

Project Mitigation Measure 2: Construction Noise from Pile Driving (Implementing Eastern Neighborhoods PEIR Mitigation Measure F-1)

For development projects within proximity to noise-sensitive uses that would include pile-driving, individual project sponsors shall ensure that piles be pre-drilled wherever feasible to reduce construction-related noise and vibration. No impact pile drivers shall be used unless absolutely necessary. Contractors shall be required to use pile-driving equipment with state-of-the-art noise shielding and muffling devices. To reduce noise and vibration impacts, sonic or vibratory sheet pile drivers, rather than impact drivers, shall be used wherever sheet piles are needed. Individual project sponsors shall also require that contractors schedule pile-driving activity for times of the day that would minimize disturbance to neighbors.

Project Mitigation Measure 3: Construction Noise (Implementing Eastern Neighborhoods PEIR Mitigation Measure F-2)

The project sponsor shall develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for such measures shall be submitted to the Department of Building Inspection to ensure that maximum feasible noise attenuation will be achieved. These attenuation measures shall include as many of the following control strategies as feasible:

- Erect temporary plywood noise barriers around the construction site, particularly where a site adjoins noise-sensitive uses;
- Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site;
- Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings housing sensitive uses;
- Monitor the effectiveness of noise attenuation measures by taking noise measurements; and

- Post signs on-site pertaining to permitted construction days and hours and complaint procedures and who to notify in the event of a problem, with telephone numbers listed.

Project Mitigation Measure 4: Construction Air Quality (Implementing Eastern Neighborhoods PEIR Mitigation Measure G-1)

The project sponsor or the project sponsor’s Contractor shall comply with the following:

A. Engine Requirements.

1. All off-road equipment greater than 25 hp and operating for more than 20 total hours over the entire duration of construction activities shall have engines that meet or exceed either U.S. Environmental Protection Agency (USEPA) or California Air Resources Board (ARB) Tier 2 off-road emission standards, and have been retrofitted with an ARB Level 3 Verified Diesel Emissions Control Strategy. Equipment with engines meeting Tier 4 Interim or Tier 4 Final off-road emission standards automatically meet this requirement.
2. Where access to alternative sources of power are available, portable diesel engines shall be prohibited.
3. Diesel engines, whether for off-road or on-road equipment, shall not be left idling for more than two minutes, at any location, except as provided in exceptions to the applicable state regulations regarding idling for off-road and on-road equipment (e.g., traffic conditions, safe operating conditions).
4. The Contractor shall post legible and visible signs in English, Spanish, and Chinese, in designated queuing areas and at the construction site to remind operators of the two-minute idling limit. The Contractor shall instruct construction workers and equipment operators on the maintenance and tuning of construction equipment, and require that such workers and operators properly maintain and tune equipment in accordance with manufacturer specifications.

B. Waivers

1. The Planning Department’s Environmental Review Officer (ERO) or designee may waive the alternative source of power requirement of Subsection (A)(2) if an alternative source of power is limited or infeasible at the project site. If the ERO grants the waiver, the Contractor must submit documentation that the equipment used for on-site power generation meets the requirements of Subsection (A)(1).
2. The ERO may waive the equipment requirements of Subsection (A)(1) if: a particular piece of off-road equipment with an ARB Level 3 VDECS is technically not feasible; the equipment would not produce desired emissions reduction due to expected operating modes; installation of the equipment would create a safety hazard or impaired visibility for the operator; or, there is a compelling emergency need to use off-road equipment that is not retrofitted with an ARB Level 3 VDECS. If the ERO grants the waiver, the Contractor must use the next cleanest piece of off-road equipment, according to the table below.

Table – Off-Road Equipment Compliance Step-down Schedule

Engine Emission Standard	Emissions Control
Tier 2	ARB Level 2 VDECS

Tier 2	ARB Level 1 VDECS
Tier 2	Alternative Fuel*

How to use the table: If the ERO determines that the equipment requirements cannot be met, then the project sponsor would need to meet Compliance Alternative 1. If the ERO determines that the Contractor cannot supply off-road equipment meeting Compliance Alternative 1, then the Contractor must meet Compliance Alternative 2. If the ERO determines that the Contractor cannot supply off-road equipment meeting Compliance Alternative 2, then the Contractor must meet Compliance Alternative 3. Alternative fuels are not a VDECS.

C. *Construction Emissions Minimization Plan.* Before starting on-site construction activities, the Contractor shall submit a Construction Emissions Minimization Plan (Plan) to the ERO for review and approval. The Plan shall state, in reasonable detail, how the Contractor will meet the requirements of Section A.

1. The Plan shall include estimates of the construction timeline by phase, with a description of each piece of off-road equipment required for every construction phase. The description may include, but is not limited to: equipment type, equipment manufacturer, equipment identification number, engine model year, engine certification (Tier rating), horsepower, engine serial number, and expected fuel usage and hours of operation. For VDECS installed, the description may include: technology type, serial number, make, model, manufacturer, ARB verification number level, and installation date and hour meter reading on installation date. For off-road equipment using alternative fuels, the description shall also specify the type of alternative fuel being used.
2. The ERO shall ensure that all applicable requirements of the Plan have been incorporated into the contract specifications. The Plan shall include a certification statement that the Contractor agrees to comply fully with the Plan.
3. The Contractor shall make the Plan available to the public for review on-site during working hours. The Contractor shall post at the construction site a legible and visible sign summarizing the Plan. The sign shall also state that the public may ask to inspect the Plan for the project at any time during working hours and shall explain how to request to inspect the Plan. The Contractor shall post at least one copy of the sign in a visible location on each side of the construction site facing a public right-of-way.

D. *Monitoring.* After start of construction activities, the Contractor shall submit quarterly reports to the ERO documenting compliance with the Plan. After completion of construction activities and prior to receiving a final certificate of occupancy, the project sponsor shall submit to the ERO a final report summarizing construction activities, including the start and end dates and duration of each construction phase, and the specific information required in the Plan.

Project Mitigation Measure 5: Best Available Control Technology for Diesel Generators (Implementing Eastern Neighborhoods PEIR Mitigation Measure G-4)

The project sponsor shall ensure that the backup diesel generator meet or exceed one of the following emission standards for particulate matter: (1) Tier 4 certified engine, or (2) Tier 2 or Tier 3 certified engine that is equipped with a California Air Resources Board (ARB) Level 3 Verified Diesel Emissions Control Strategy (VDECS). A non - verified diesel emission control strategy may be used if the filter has the same particulate matter reduction as the identical ARB verified model and if the Bay Area Air Quality Management District (BAAQMD) approves of its use. The project sponsor shall submit documentation of compliance with the BAAQMD New Source Review permitting process (Regulation 2, Rule 2, and Regulation 2, Rule 5) and the Community Plan Exemption Checklist 655 Folsom Street 2013.0253E 49 emission standard requirement of this mitigation measure to the Planning Department for review and approval prior to issuance of a permit for a backup diesel generator from any City agency.

Project Mitigation Measure 6: Hazardous Building Materials (Implementation of Eastern Neighborhoods PEIR Mitigation Measure L-1)

The project sponsor shall ensure that any equipment containing PCBs or DEPH, such as fluorescent light ballasts, are removed and properly disposed of according to applicable federal, state, and local laws prior to the start of renovation, and that any fluorescent light tubes, which could contain mercury, are similarly removed and properly disposed of. Any other hazardous materials identified, either before or during work, shall be abated according to applicable federal, state, and local laws.

ABBREVIATIONS table with columns for symbols and descriptions. Includes terms like @, #, AC, AD, ADJ, Alum., etc.

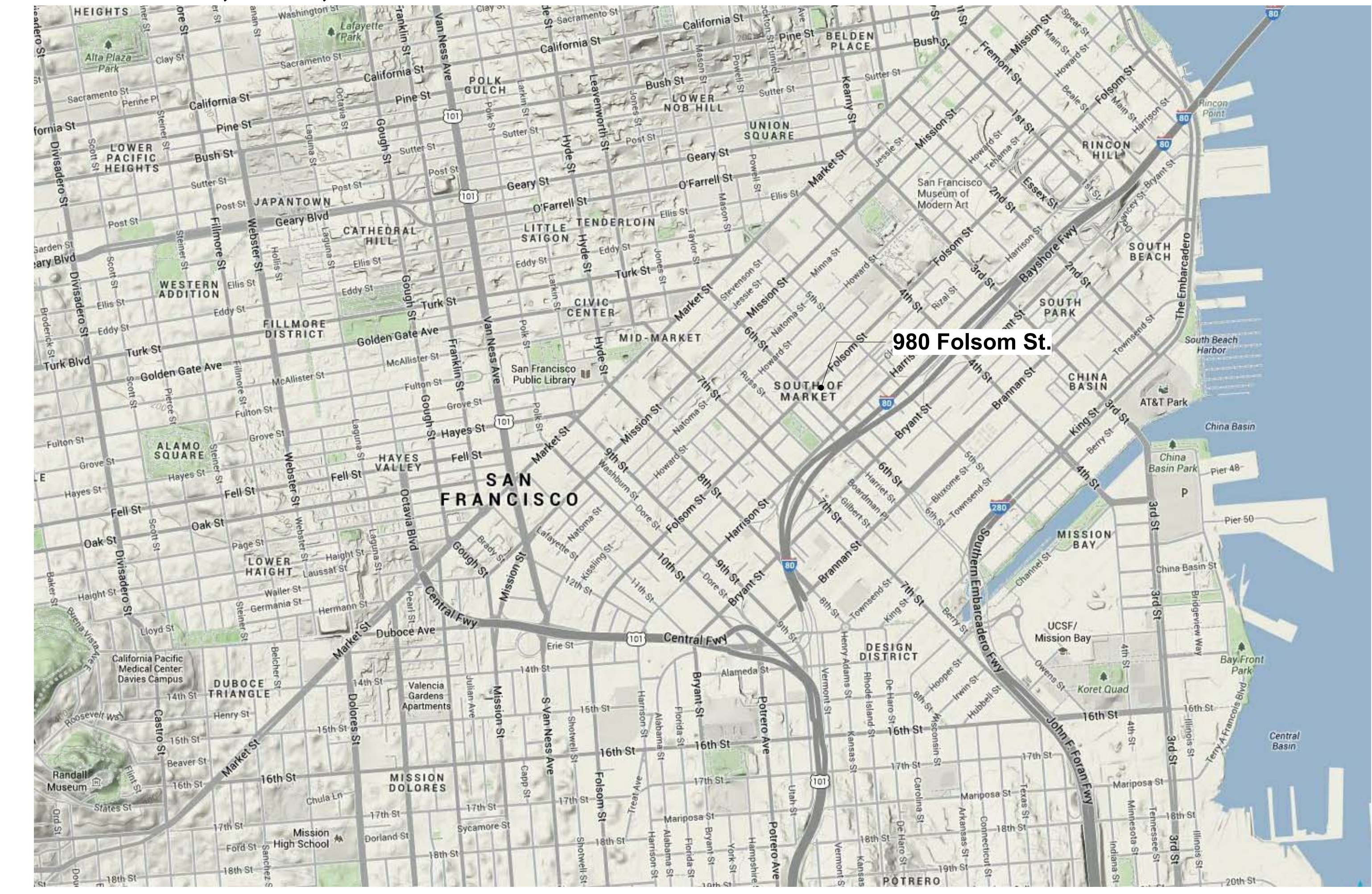
PROJECT DIRECTORY table with sections for PROJECT ADDRESS, OWNER, ARCHITECT, and SURVEYOR. Includes contact information for GOLDMAN ARCHITECTS and GLA ENGINEERS.

980 FOLSOM STREET: SITE PERMIT SET

Application #2014-12-29-45875

San Francisco, Ca 94107

LOT - 028, 035,152 BLOCK - 3732



SHEET INDEX table listing sheet numbers and names. Includes COVER SHEET, PLANNING CODE REVIEW, EXISTING CONDITION PHOTOS, DEMOLITION PLANS, and SURVEY PLAN.

PREVIOUS SUBMITTALS table listing previous project assessments and environmental evaluations.

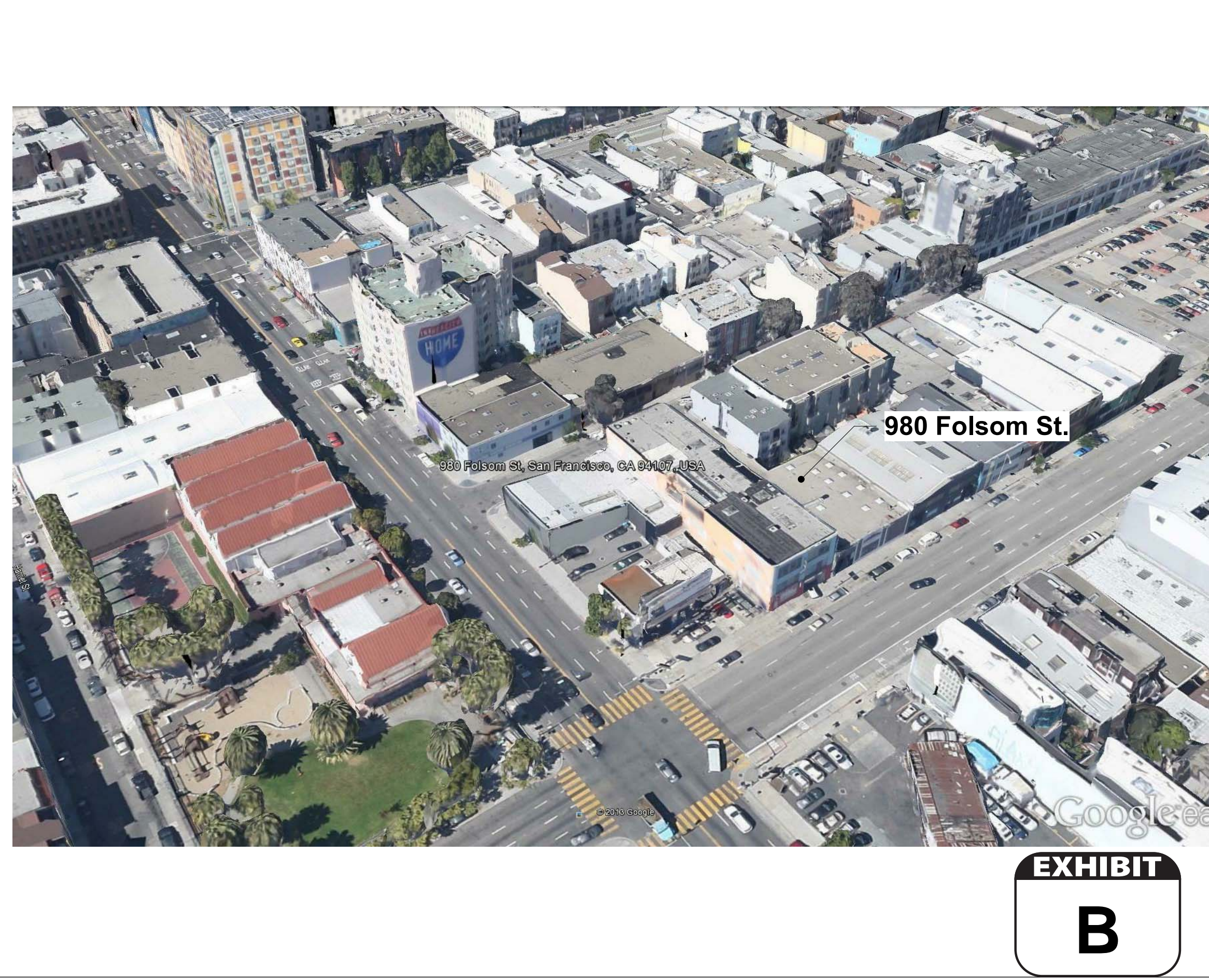
PROJECT INFORMATION

EXISTING BUILDING, SCOPE OF WORK, ZONING, HEIGHT & BULK, FRONT SETBACK, APPLICABLE CODES, ACCESSIBILITY, OCCUPANCY GROUPS, CONSTRUCTION TYPE, BUILDING HEIGHT, STORIES, ROOFTOP SOLAR, PARKING, GROSS AREA, and SYMBOL KEY details.

SYMBOL KEY

SYMBOL KEY table defining symbols for DWG SHEETS, EXTERIOR ELEVATION, SECTION / DETAIL, DOOR NUMBER, WINDOW TYPE, ROOM NAME, INTERIOR ELEVATION, ELEVATION POINT/DATUM, REVISION #, and PARTITION TYPE.

VICINITY MAP



No. ISSUES table with columns for issue number and description.



172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393

172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393

980 FOLSOM STREET
San Francisco, CA 94107

COVER SHEET B, EXHIBIT B, A0.0, Date 7/10/2017, Scale, Checked by: Checker, Drawn by: Author, Job 1202.



1 PANORAMIC VIEW OF 980 FOLSOM STREET - NEW
(VIEW FROM FOLSOM STREET)



2 PANORAMIC VIEW OF 980 FOLSOM STREET - EXISTING
(VIEW FROM FOLSOM STREET)



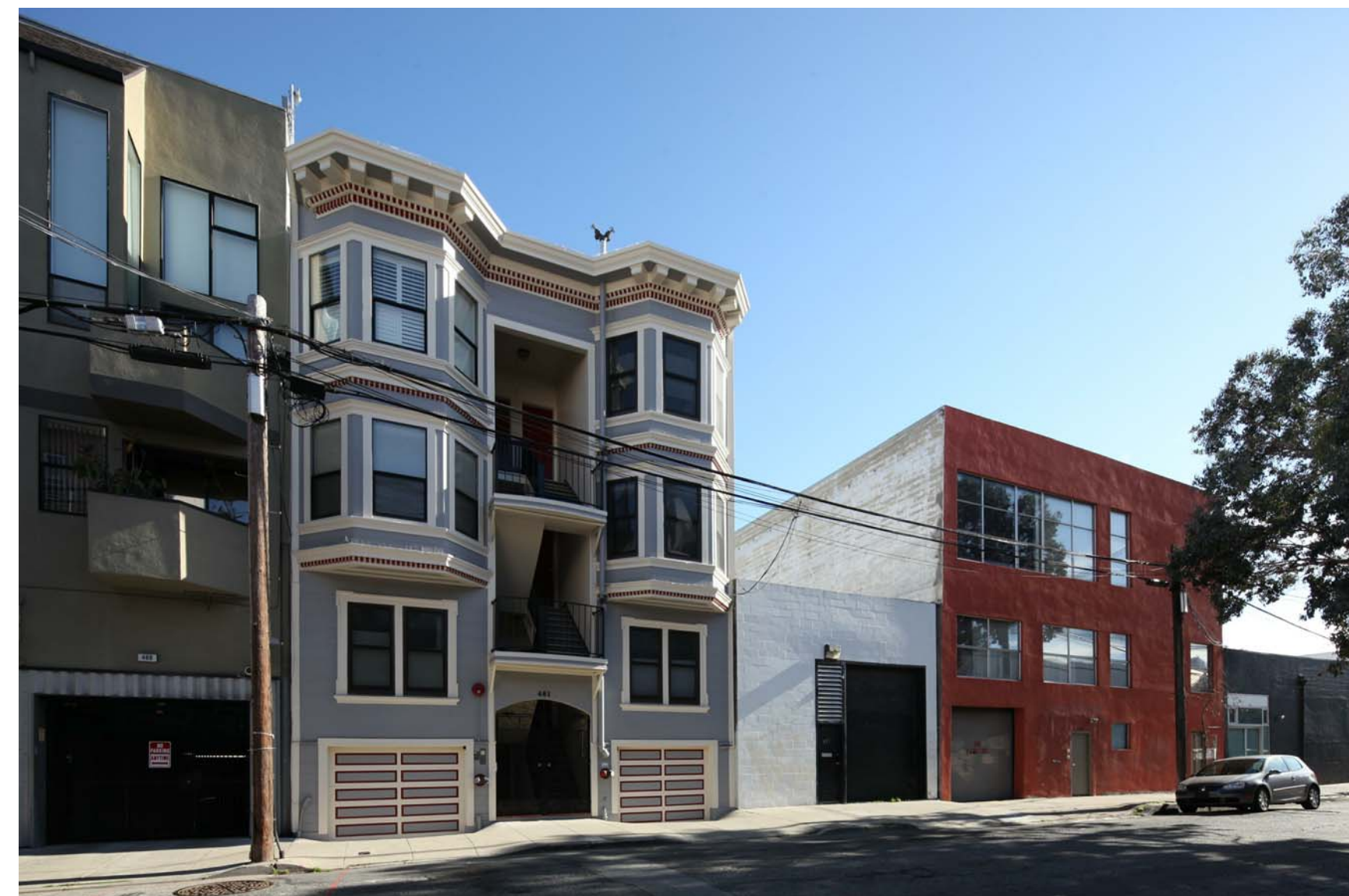
3 OBLIQUE VIEWS OF 980 FOLSOM - EXISTING
(VIEW FROM FOLSOM STREET)



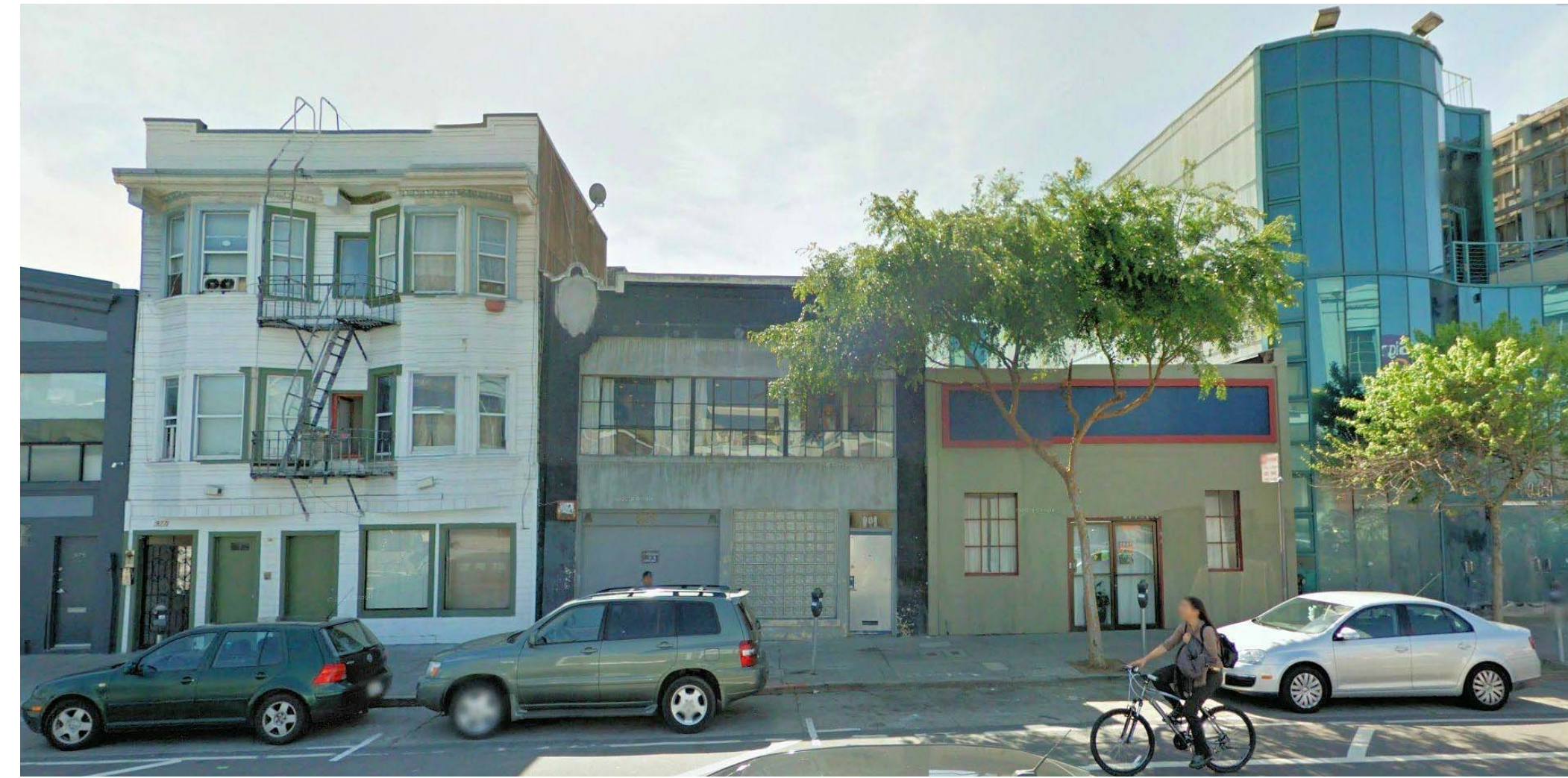
① **PANORAMIC VIEW OF REAR OF 980 FOLSOM - NEW**
(VIEW FROM CLEMENTINA STREET)



② **PANORAMIC VIEW OF REAR OF 980 FOLSOM - EXISTING**
(VIEW FROM CLEMENTINA STREET)



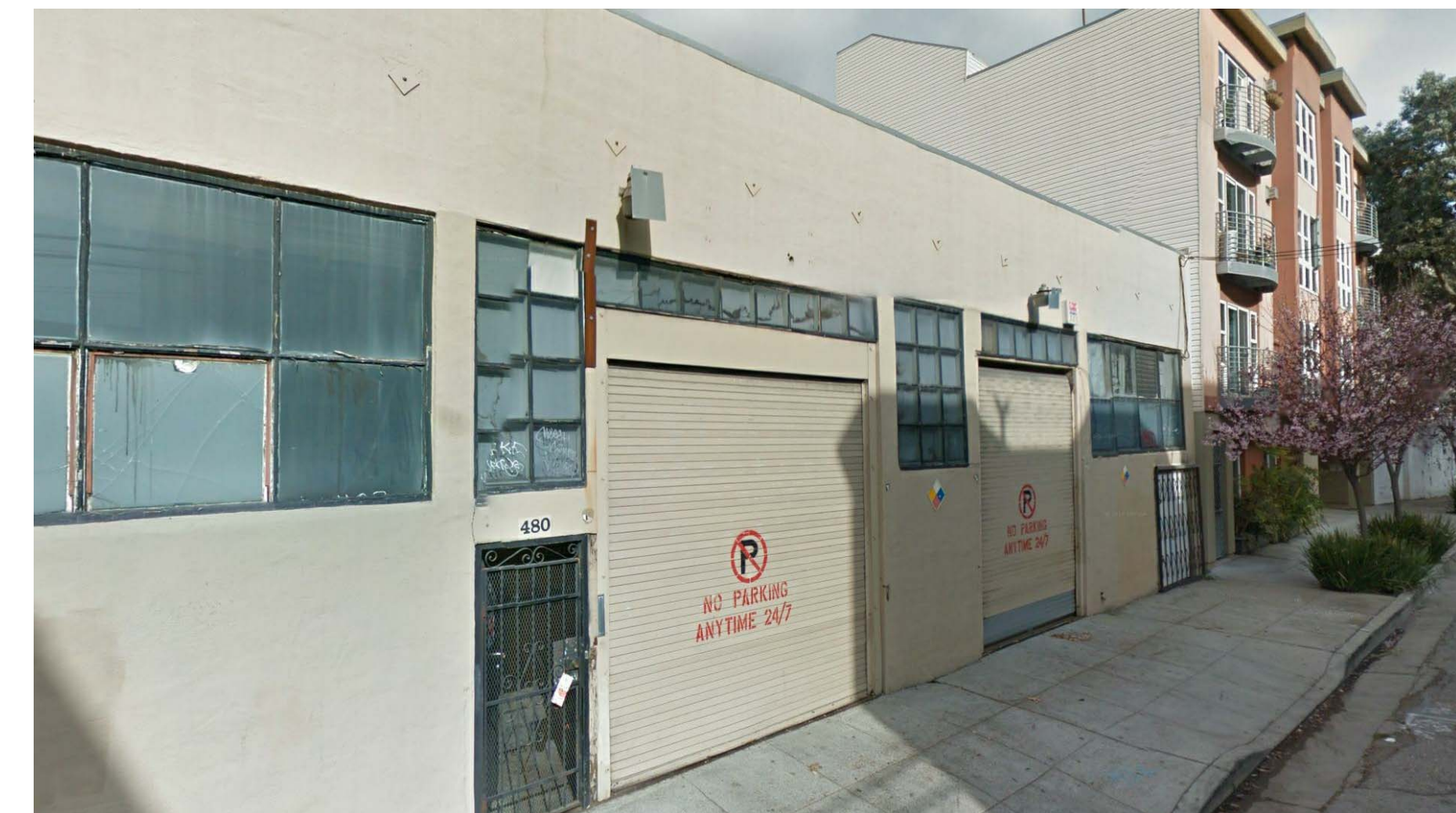
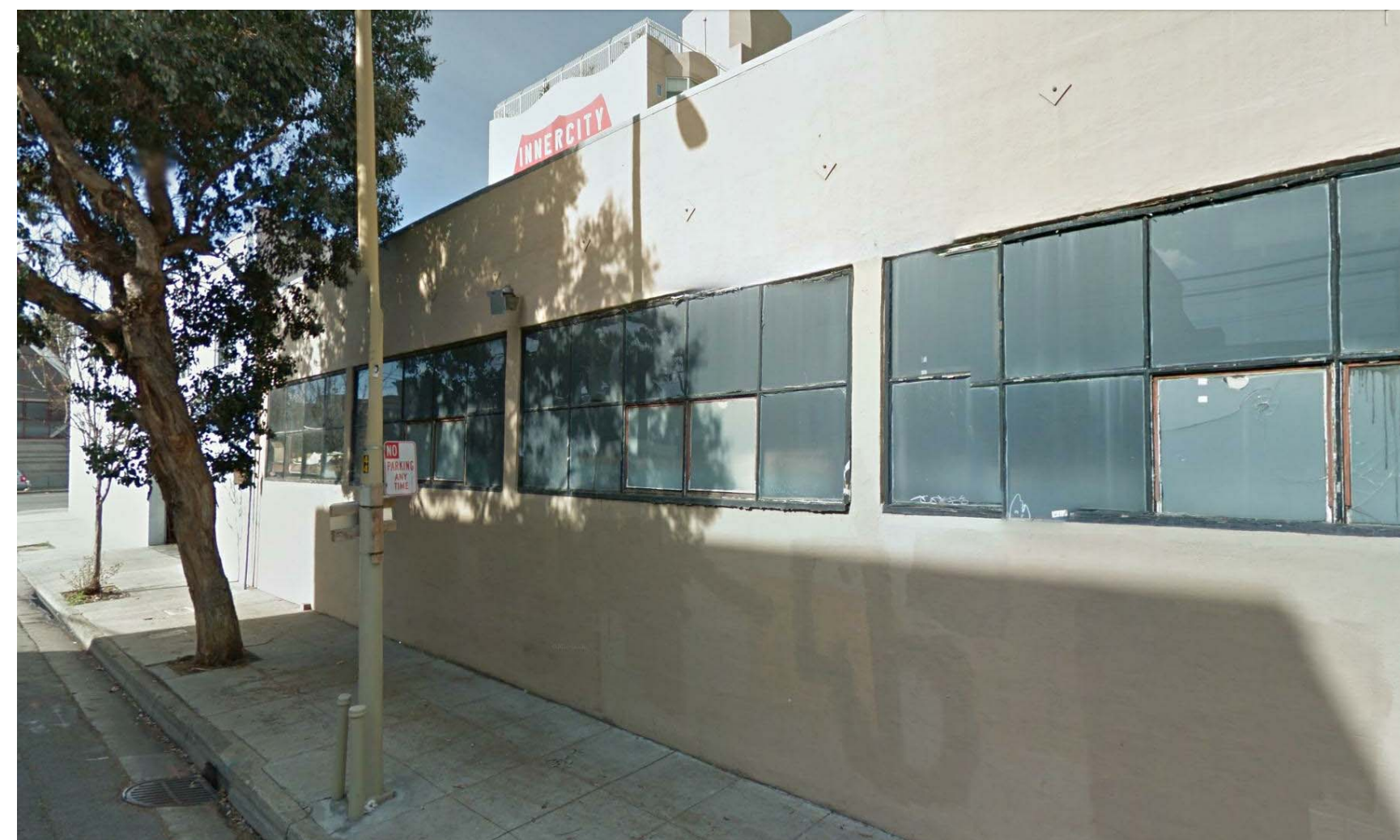
③ **OBLIQUE VIEWS OF REAR OF 980 FOLSOM - EXISTING**
(VIEW FROM CLEMENTINA STREET)



1 **VIEW OPPOSITE THE FRONT OF 980 FOLSOM**
(VIEW FROM FOLSOM STREET)



2 **OBLIQUE VIEW OF BUILDINGS OPPOSITE THE FRONT OF 980 FOLSOM**
(VIEW FROM FOLSOM STREET)



3 **VIEW OF BUILDINGS OPPOSITE THE REAR OF 980 FOLSOM**
(VIEW FROM CLEMENTINA STREET)

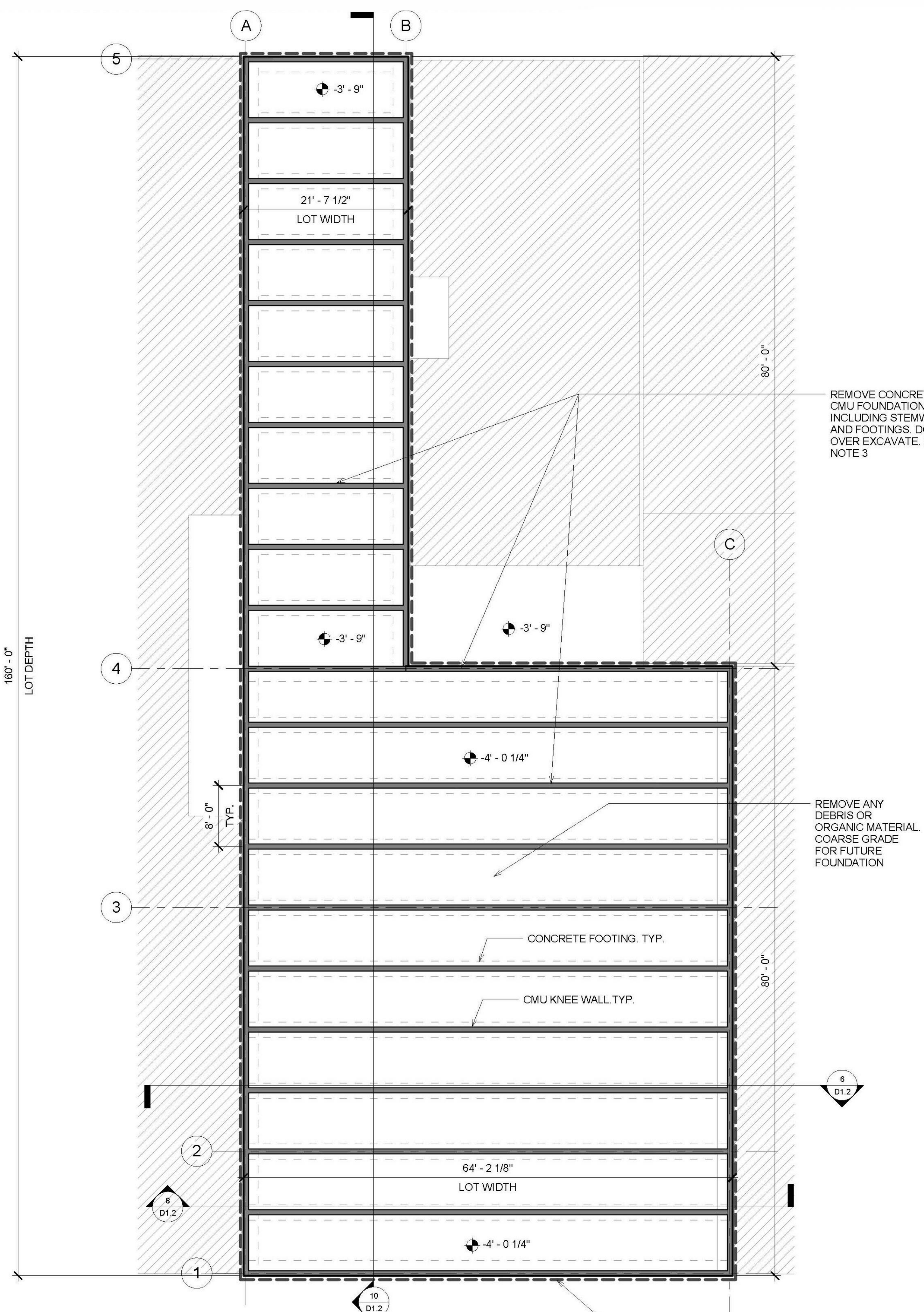
No.	ISSUES

980 FOLSOM STREET
San Francisco, CA 94107

DEMOLITION PLANS

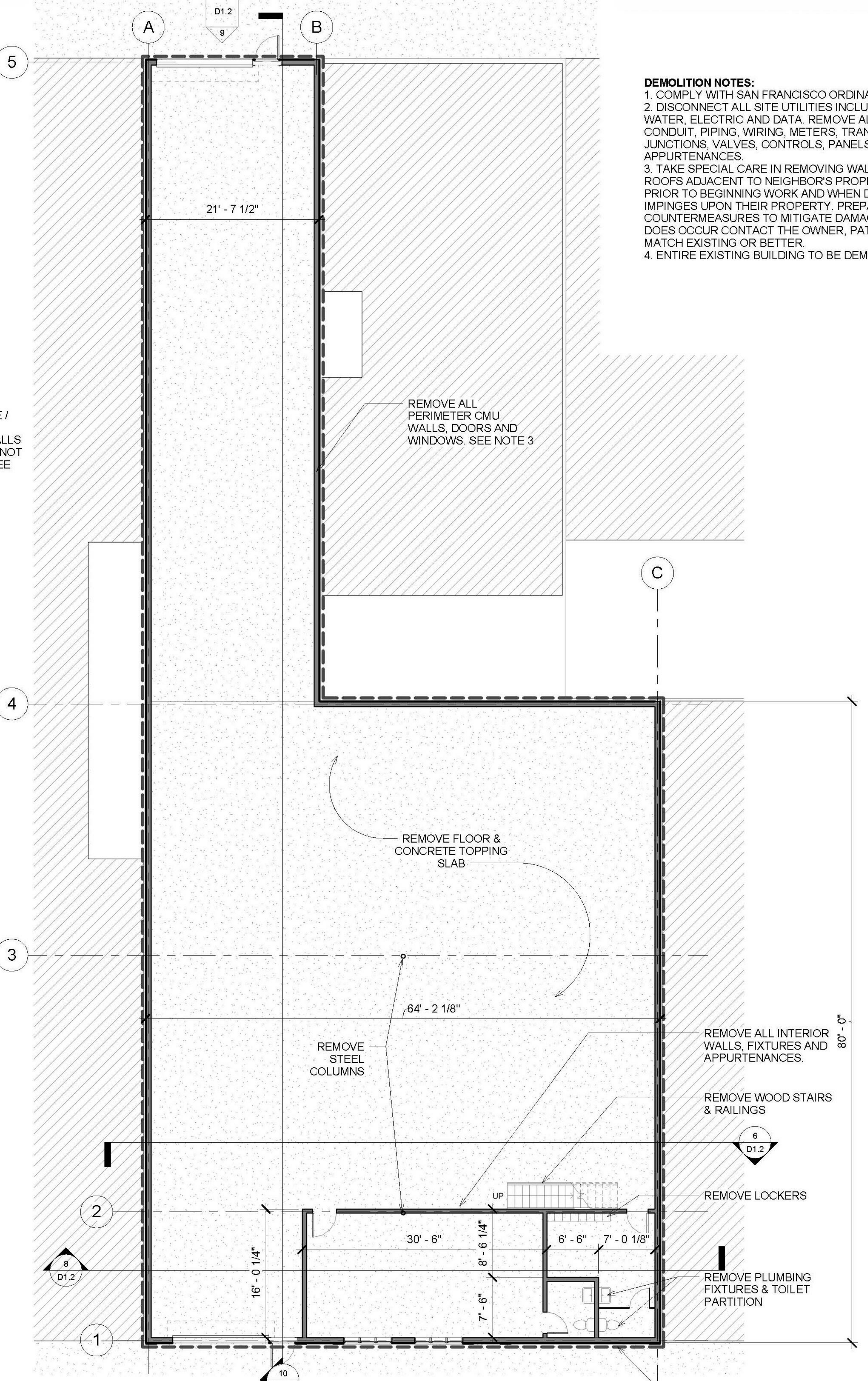
Date: 7/10/2017
Scale:
Checked by: Checker
Drawn by: Author
Job: 1202

D1.0
7/11/2017 12:05:34 PM



2 SUB-GRADE PLAN
D1.0 1/8" = 1'-0"

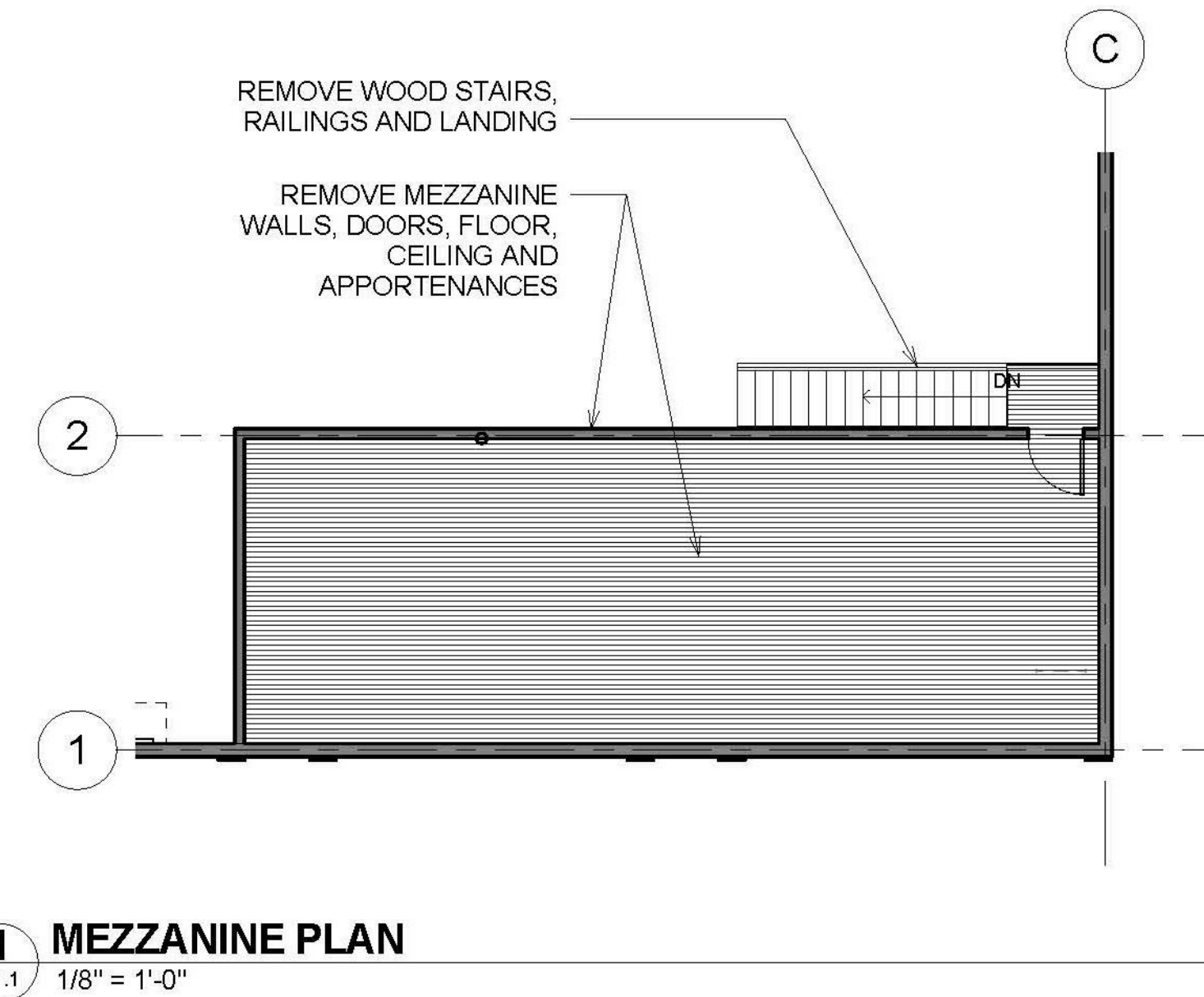
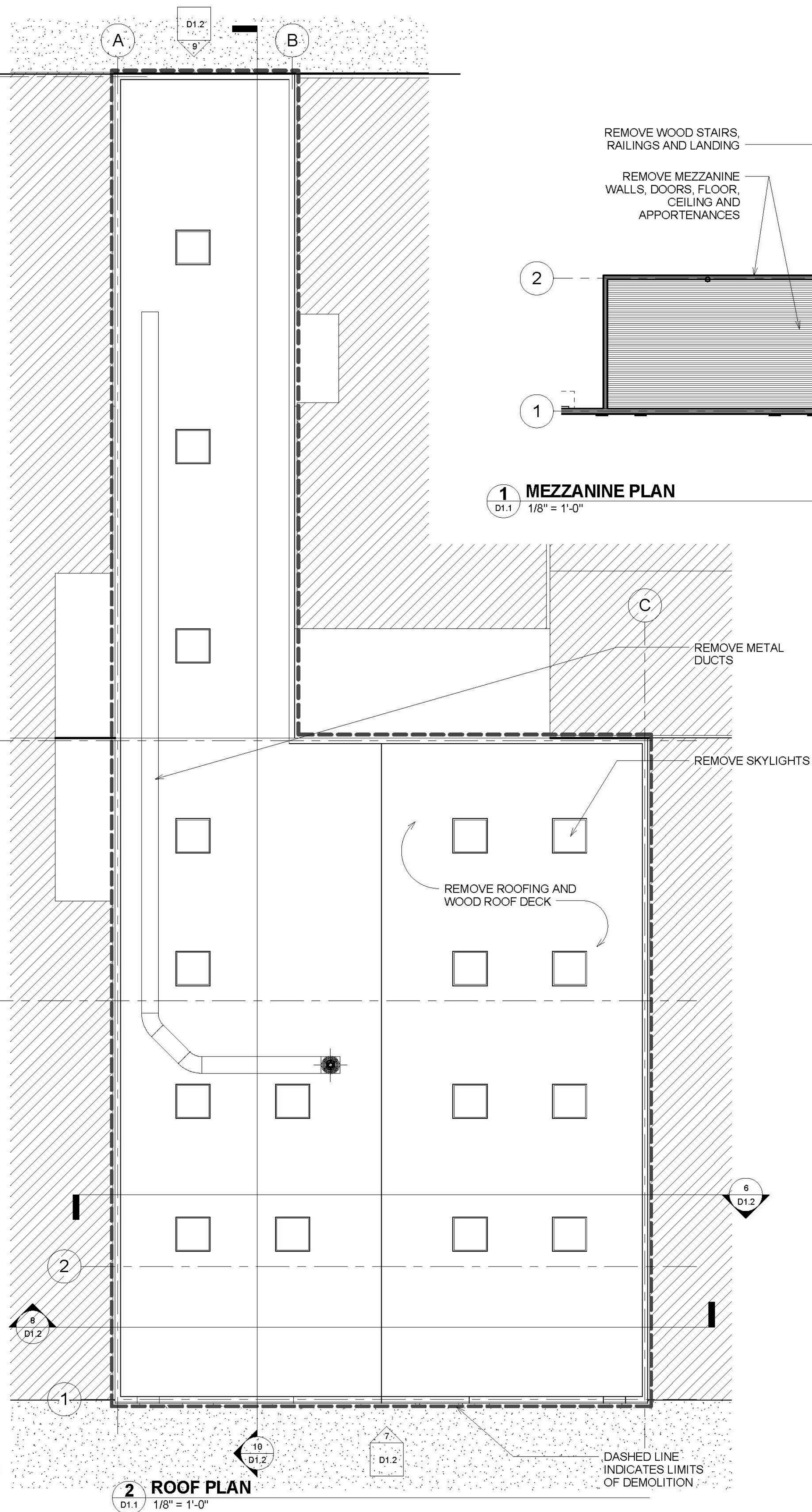
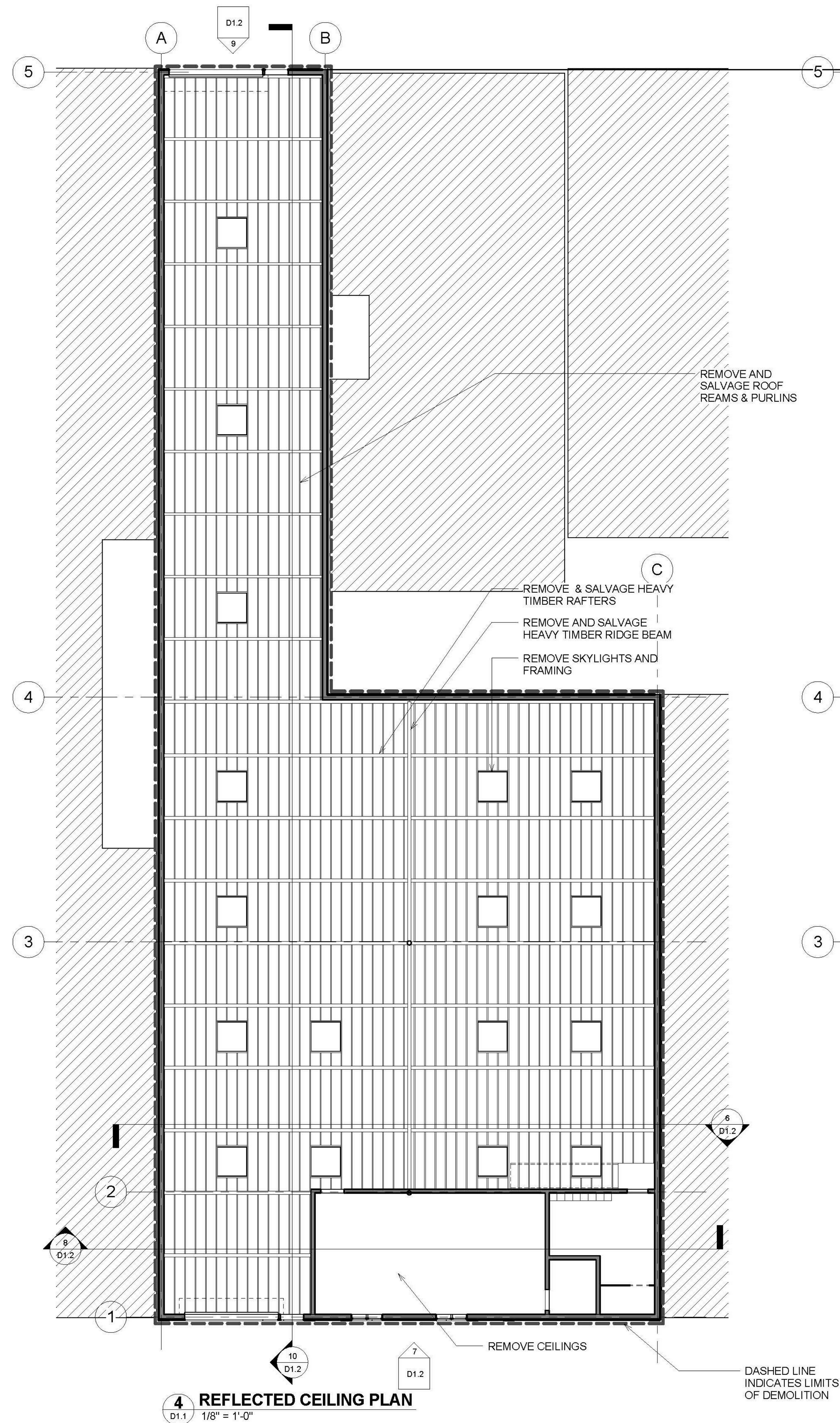
DASHED LINE INDICATES LIMITS OF DEMOLITION



1 GROUND FLOOR PLAN
D1.0 1/8" = 1'-0"

DASHED LINE INDICATES LIMITS OF DEMOLITION

DEMOLITION NOTES:
 1. COMPLY WITH SAN FRANCISCO ORDINANCE #27.06
 2. DISCONNECT ALL SITE UTILITIES INCLUDING GAS, SEWER, WATER, ELECTRIC AND DATA. REMOVE ALL ASSOCIATED CONDUIT, PIPING, WIRING, METERS, TRANSFORMERS, BOXES, JUNCTIONS, VALVES, CONTROLS, PANELS AND APPURTENANCES.
 3. TAKE SPECIAL CARE IN REMOVING WALLS, FLOORS AND ROOFS ADJACENT TO NEIGHBOR'S PROPERTY. ALERT OWNERS PRIOR TO BEGINNING WORK AND WHEN DEMOLITION WORK IMPINGS UPON THEIR PROPERTY. PREPARE AND INSTALL COUNTERMEASURES TO MITIGATE DAMAGE. WHERE DAMAGE DOES OCCUR CONTACT THE OWNER, PATCH AND REPAIR TO MATCH EXISTING OR BETTER.
 4. ENTIRE EXISTING BUILDING TO BE DEMOLISHED



No.	ISSUES

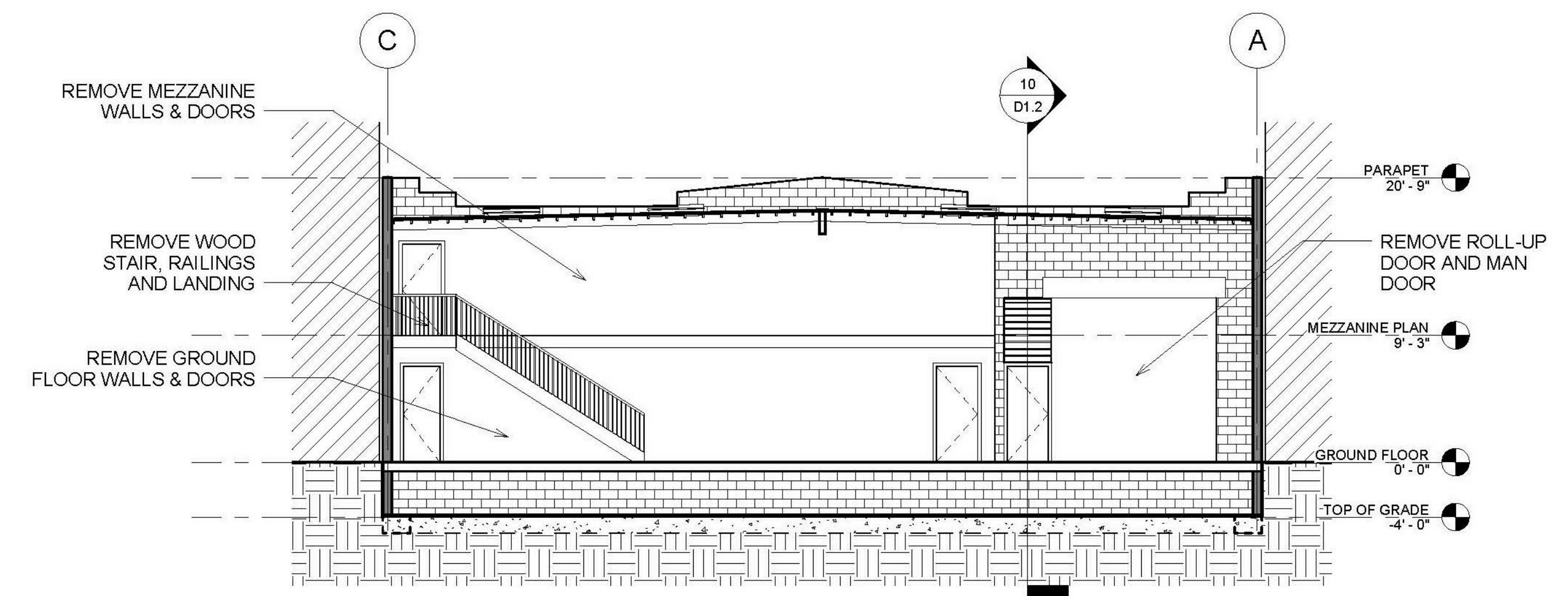
GOLD MAN ARCHITECTS
 172 RUSS STREET
 SAN FRANCISCO
 CALIFORNIA 94103
 415-391-1339
 415-621-3393 f

980 FOLSOM STREET
 San Francisco, CA 94107

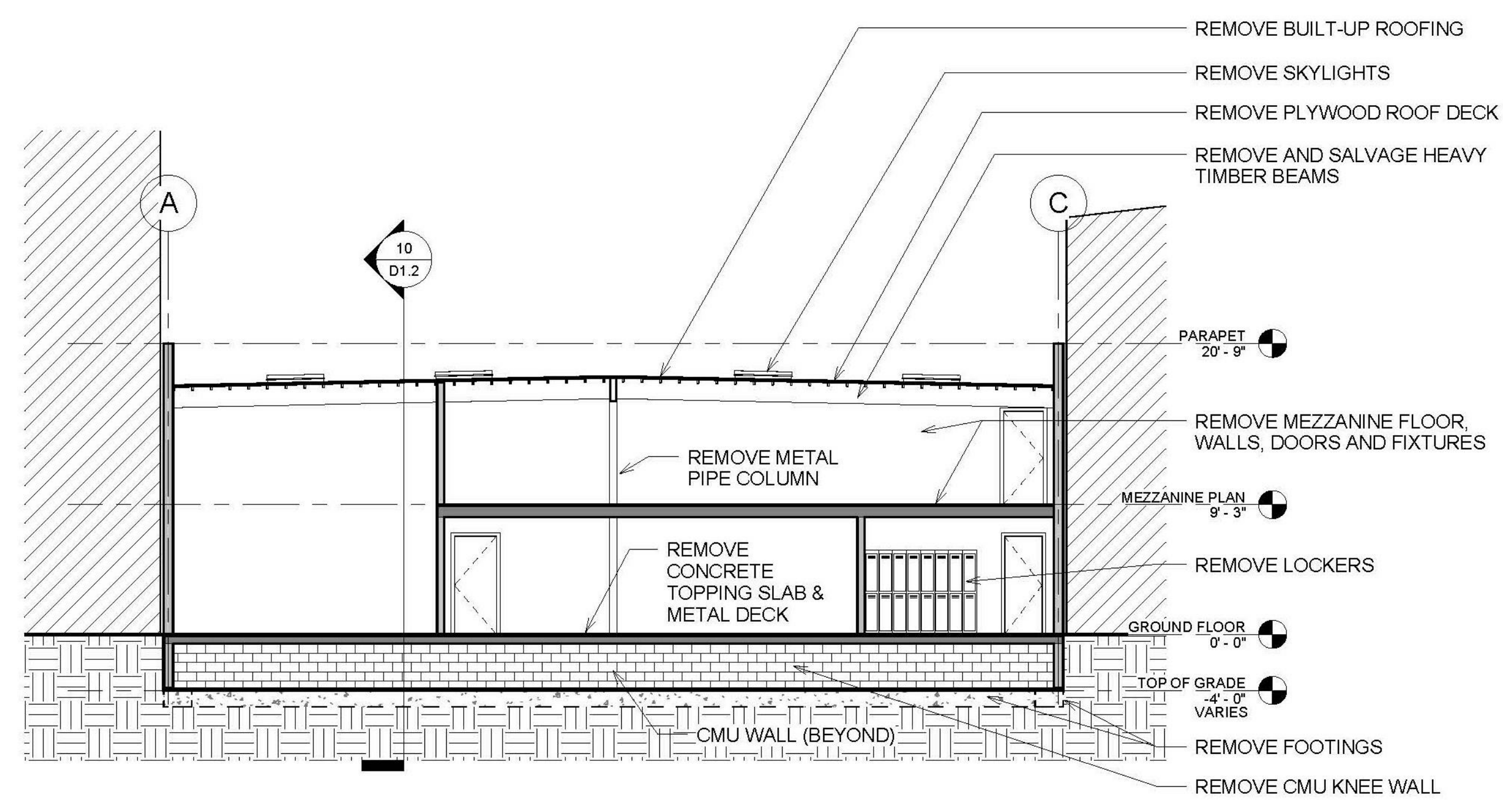
DEMOLITION PLANS

Date	7/10/2017
Scale	
Checked by:	Checker
Drawn by:	Author
Job	1202
D1.1	

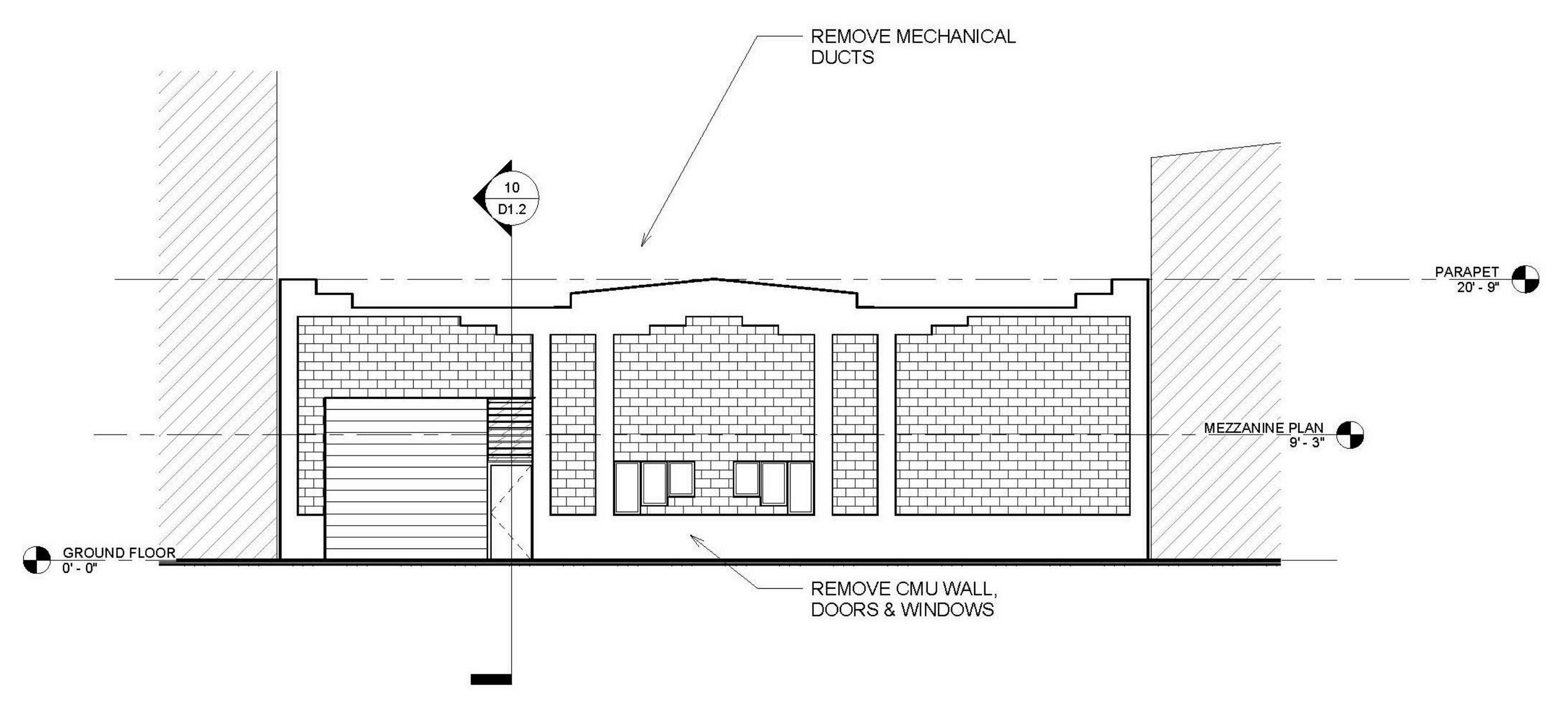
7/11/2017 12:05:39 PM



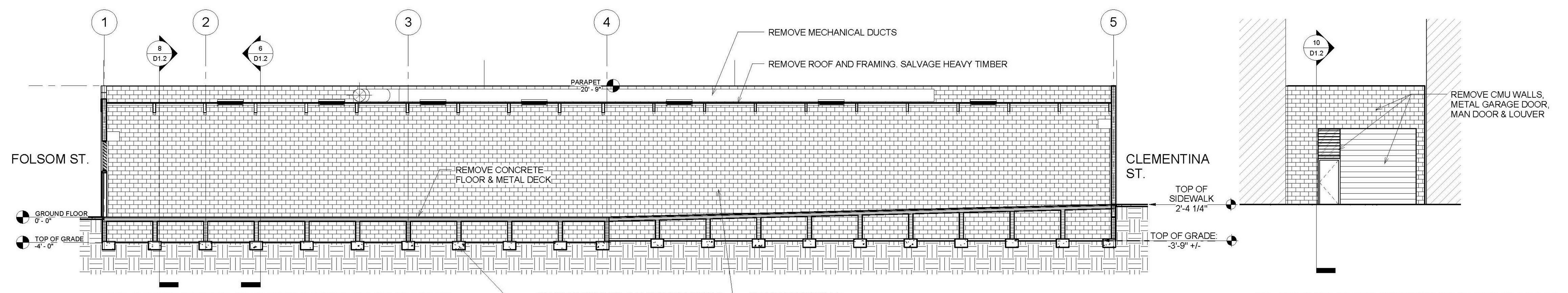
6 TRANSVERSE SECTION LOOKING SOUTH
D1.2 1/8" = 1'-0"



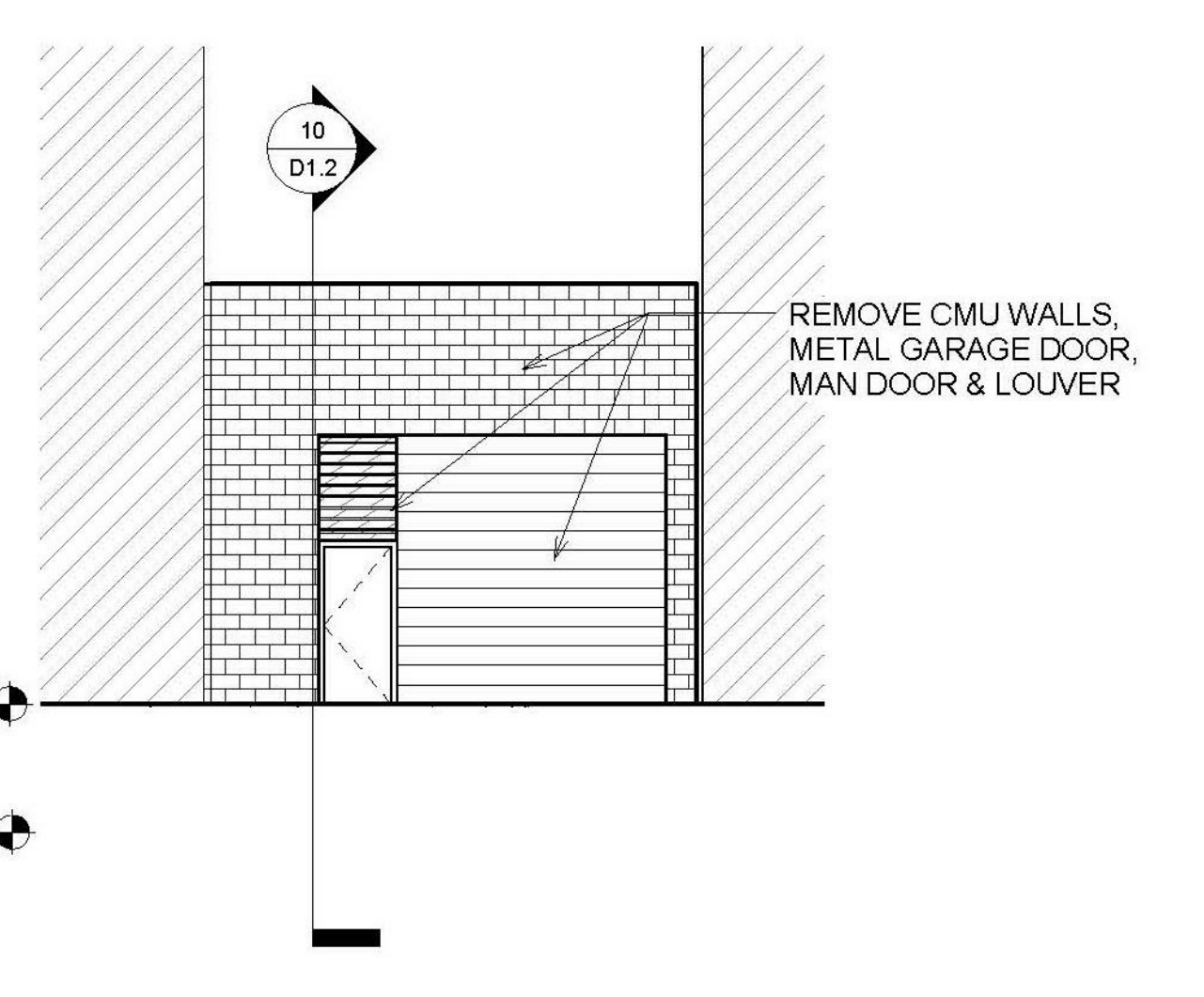
8 TRANSVERSE SECTION: LOOKING NORTH
D1.2 1/8" = 1'-0"



7 SOUTH ELEVATION / FOLSOM STREET
D1.2 1/8" = 1'-0"

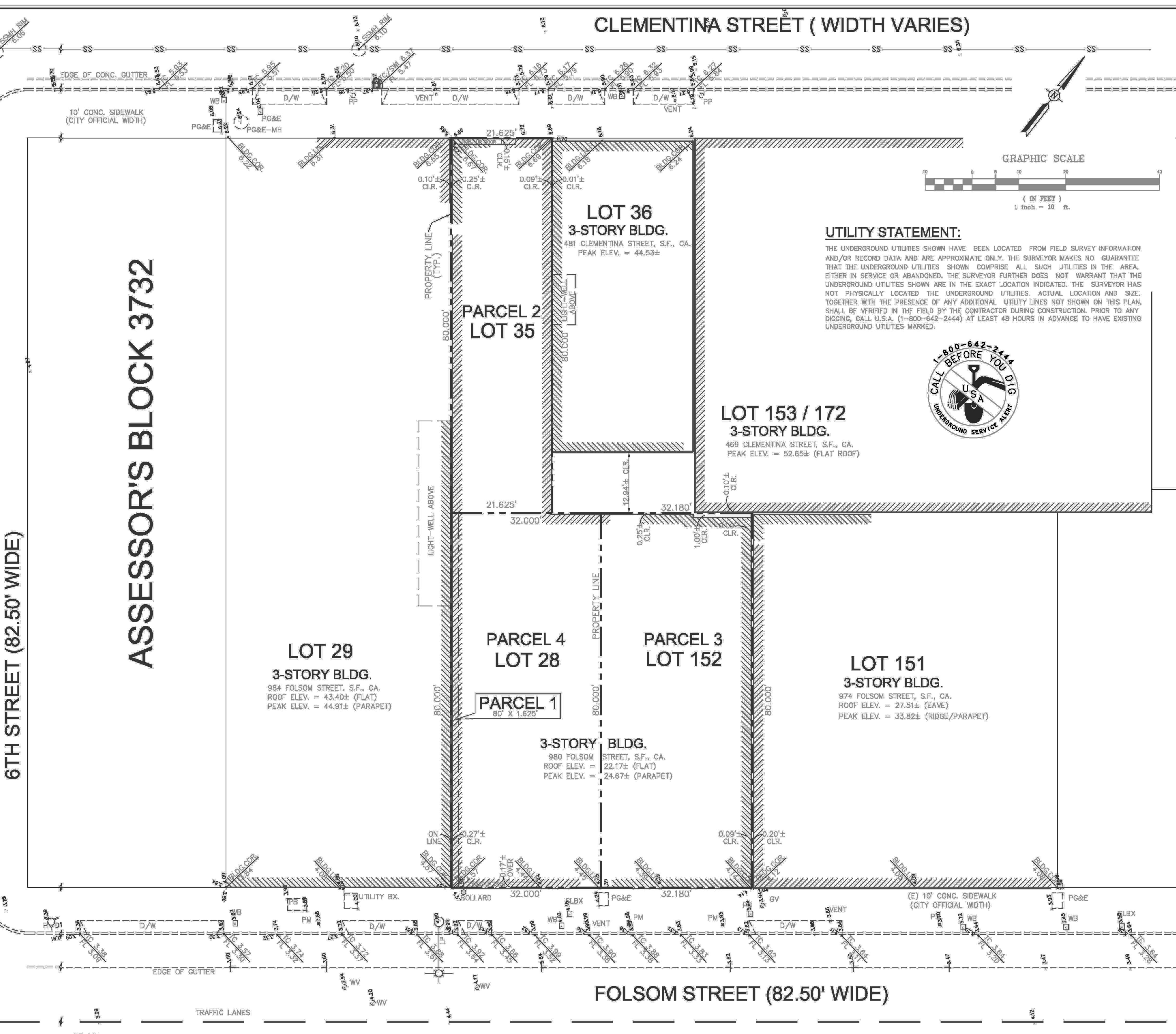


10 LONGITUDINAL SECTION: LOOKING TO THE WEST
D1.2 1/8" = 1'-0"



9 NORTH ELEVATION / CLEMENTINA STREET
D1.2 1/8" = 1'-0"

CLEMENTINA STREET (WIDTH VARIES)

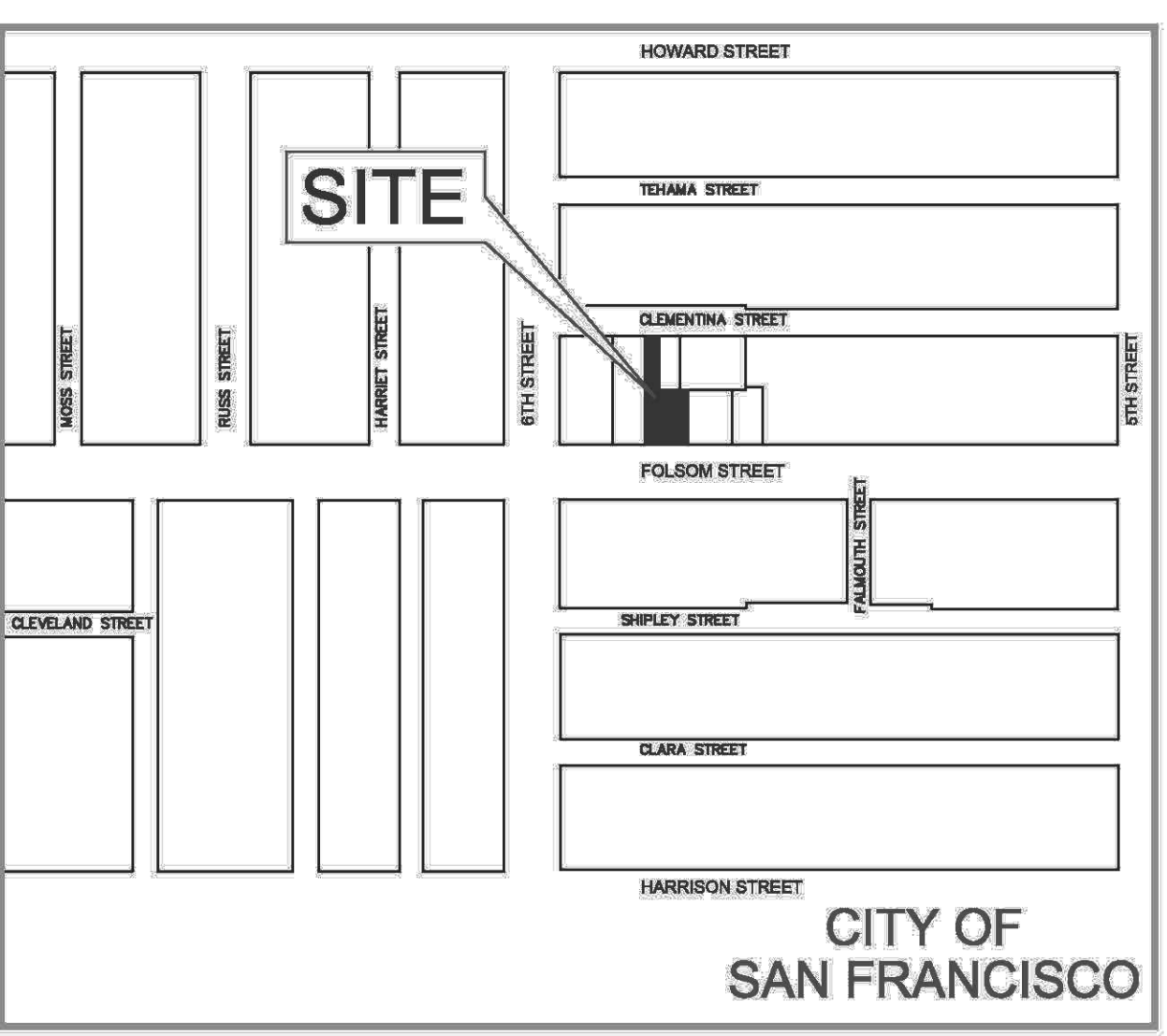
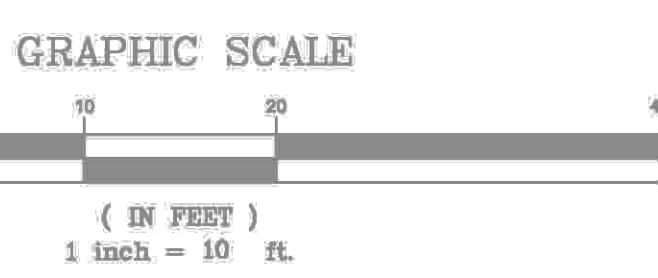


ASSESSOR'S BLOCK 3732

6TH STREET (82.50' WIDE)

FOLSOM STREET (82.50' WIDE)

UTILITY STATEMENT:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORD DATA AND ARE APPROXIMATE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.



VICINITY MAP

BENCHMARK @ INTERSECTION OF FOLSOM STREET & 6TH STREET
 SE CORNER; LETTER "O" IN OPEN TOP HPFS HYD., ELEVATION = 6.035.

BASIS OF BEARINGS
 FOUND SURVEY MARKERS PER CITY OF SAN FRANCISCO MONUMENT MAP NO. 314, FILED AT THE CITY ENGINEERS OFFICE, WAS USED AS BASIS OF BEARING FOR THIS SURVEY.

- NOTES:**
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
 - REFERENCE MAPS: MON. MAP NO. 314, 40CM88-91 AND 102CM31-32, CITY & COUNTY OF SAN FRANCISCO
 - ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
 - PROPERTY LINE TO MONUMENT LINE MEASURED DISTANCES WERE BASED UPON FOUND SURVEY MARKS, CURB SPLITS AND BUILDING OCCUPATIONS.
 - THE BASIS OF SURVEY IS FROM GRANT DEED RECORDED JULY 5, 2001, IN REEL H 923 O.R. 0078.

LEGEND

	PROPERTY LINE
	EXTERIOR BOUNDARY
	BUILDING LIMITS
	EXISTING ELEVATION
	BENCHMARK REFERENCE

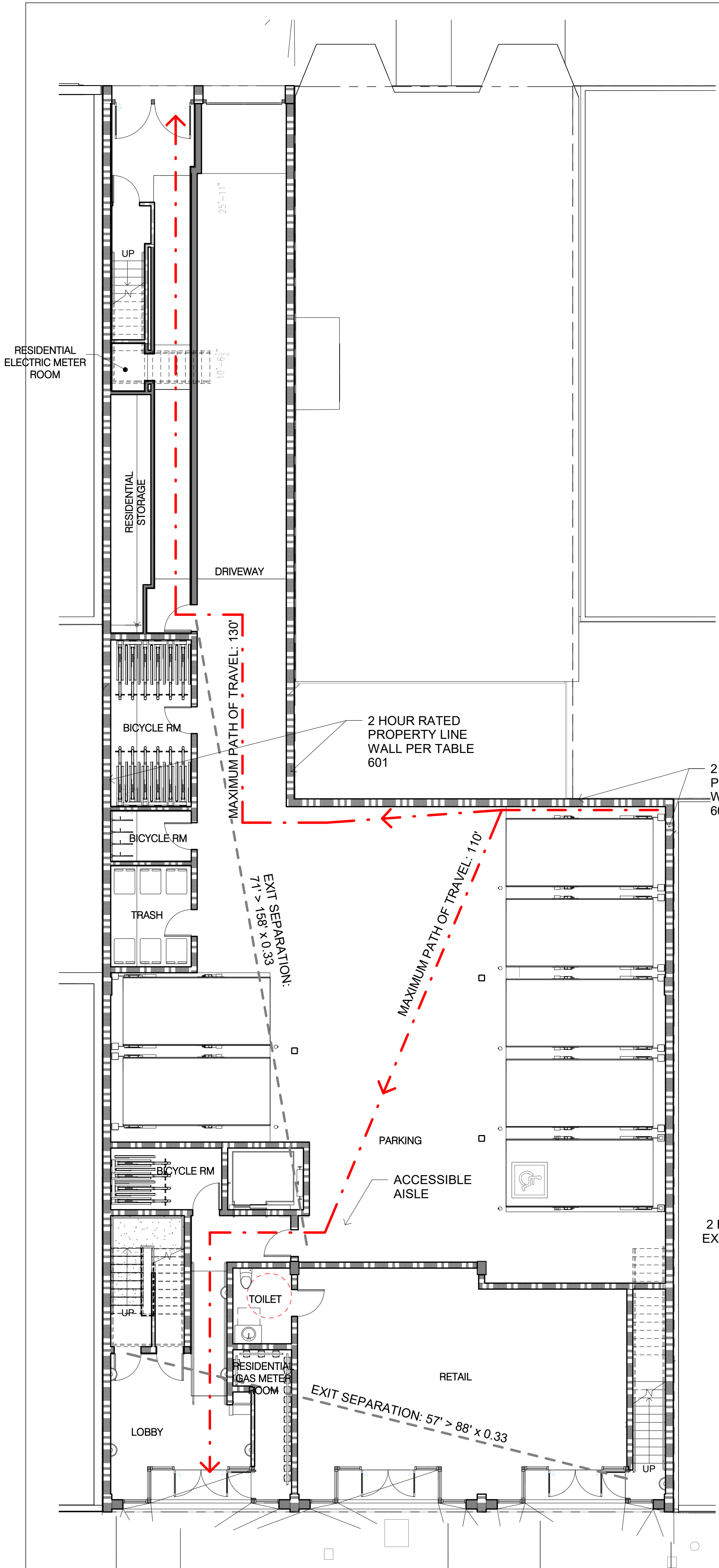
FOUND UTILITIES

	GAS VALVE
	WATER BOX
	CATCH BASIN
	EXISTING HYDRANT
	LIGHT POLE
	POWER POLE
	VENT
	PG&E BOX

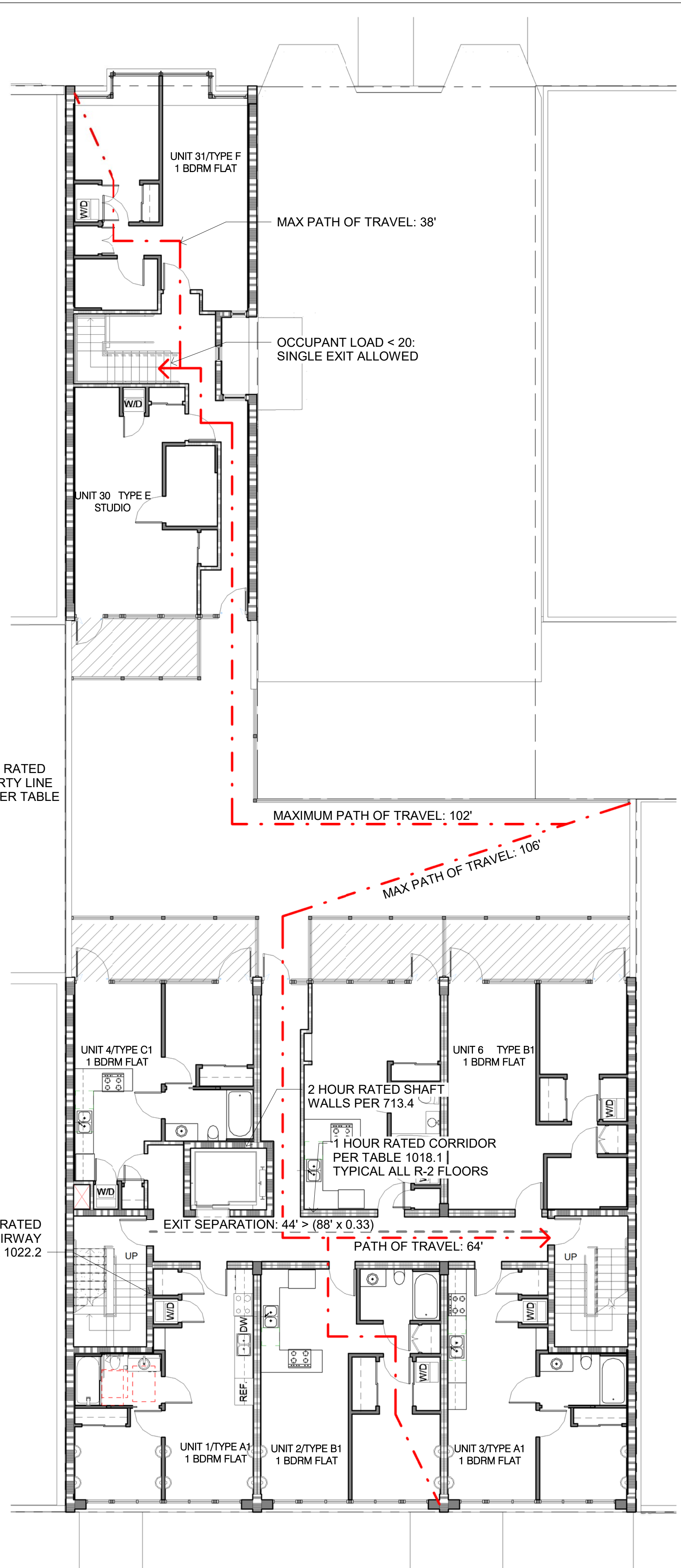
ABBREVIATIONS

AD	AREA DRAIN	GV	GAS VALVE
BC	BUILDING CORNER	H.V.	HEIGHT VARIES
BM	BENCHMARK	LP	LIGHT POLE
BL	BUILDING LINE	PB	PACIFIC BELL
BOW	BOTTOM OF WALL	PM	PARKING METER
BW	BACK OF WALK	PP	POWER POLE
CL	CENTER LINE	RTW	RETAINING WALL
CLR.	CLEAR	SLBX	STREET LIGHT BOX
COR.	CORNER	SSMH	SANITARY SEWER MANHOLE
CONC.	CONCRETE	TC	TOP OF CURB
CG	CABLE GUY	TW	TOP OF WALL
DI	DRAIN INLET	TR	TREE
D/W	DRIVEWAY	TYP.	TYPICAL
ELEV./EL.	ELEVATION	TSBX	TRAFFIC SIGNAL BOX
EP	EDGE OF PAVEMENT	TSL-PST	TRAFFIC SIGNAL POST
(E)/EX	EXISTING	WB	WATER BOX
FL	FLOW LINE	WD	WOODEN FENCE
FND.	FOUND	WV	WATER VALVE

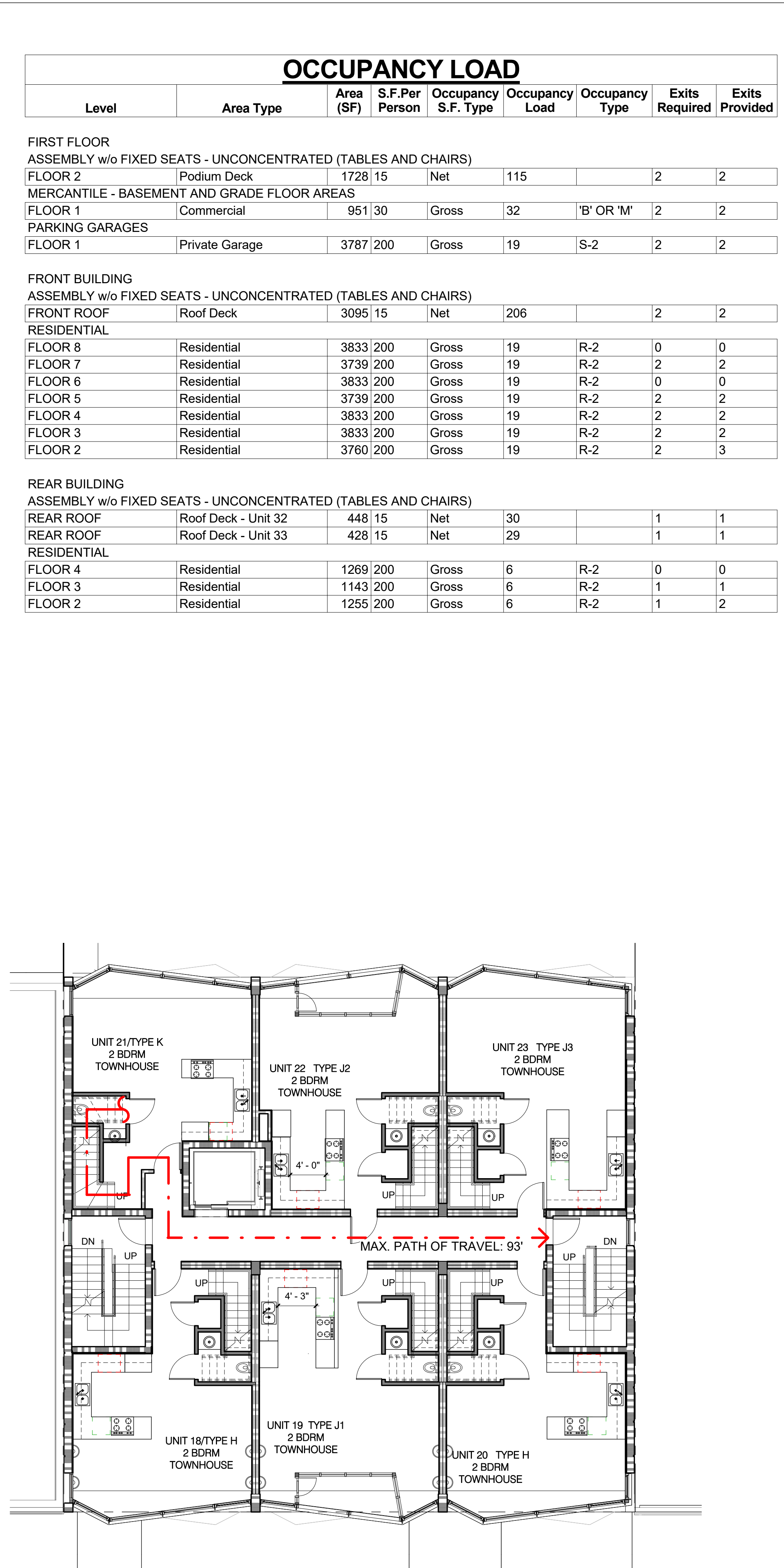
PROJECT TITLE:	980 FOLSOM STREET SAN FRANCISCO, CA.										
CLIENT:	KAREN LUM LOTS 28, 35 & 152, BLOCK 3732										
DRAWING TITLE:	EXISTING TOPOGRAPHIC SURVEY PLAN										
SHEET	C-1										
OF	1 SHEET										
BY	HERNANDO G. CAMPUED										
DATE											
DESCRIPTION											
SCALE	1"=10.0'										
CHECKED BY:	HC										
DRAWN BY:	LB										
DATE											
DESCRIPTION	Civil Engineer										
DATE											
DESCRIPTION	GLA ENGINEERS, INC. 944 Market Street Ste. 711 San Francisco, CA 94102 Tel. (415) 956-6707 Fax. (415) 956-6708										



1 LIFE SAFETY PLAN - GROUND FLOOR
1/8" = 1'-0"



2 LIFE SAFETY PLAN - SECOND FLOOR
1/8" = 1'-0"



3 LIFE SAFETY PLAN - TYPICAL UPPER
1/8" = 1'-0"

OCCUPANCY LOAD

Level	Area Type	Area (SF)	S.F.Per Person	Occupancy S.F. Type	Occupancy Load	Occupancy Type	Exits Required	Exits Provided
FIRST FLOOR								
ASSEMBLY w/o FIXED SEATS - UNCONCENTRATED (TABLES AND CHAIRS)								
FLOOR 2	Podium Deck	1728	15	Net	115		2	2
MERCANTILE - BASEMENT AND GRADE FLOOR AREAS								
FLOOR 1	Commercial	951	30	Gross	32	'B' OR 'M'	2	2
PARKING GARAGES								
FLOOR 1	Private Garage	3787	200	Gross	19	S-2	2	2
FRONT BUILDING								
ASSEMBLY w/o FIXED SEATS - UNCONCENTRATED (TABLES AND CHAIRS)								
FRONT ROOF	Roof Deck	3095	15	Net	206		2	2
RESIDENTIAL								
FLOOR 8	Residential	3833	200	Gross	19	R-2	0	0
FLOOR 7	Residential	3739	200	Gross	19	R-2	2	2
FLOOR 6	Residential	3833	200	Gross	19	R-2	0	0
FLOOR 5	Residential	3739	200	Gross	19	R-2	2	2
FLOOR 4	Residential	3833	200	Gross	19	R-2	2	2
FLOOR 3	Residential	3833	200	Gross	19	R-2	2	2
FLOOR 2	Residential	3760	200	Gross	19	R-2	2	3
REAR BUILDING								
ASSEMBLY w/o FIXED SEATS - UNCONCENTRATED (TABLES AND CHAIRS)								
REAR ROOF	Roof Deck - Unit 32	448	15	Net	30		1	1
REAR ROOF	Roof Deck - Unit 33	428	15	Net	29		1	1
RESIDENTIAL								
FLOOR 4	Residential	1269	200	Gross	6	R-2	0	0
FLOOR 3	Residential	1143	200	Gross	6	R-2	1	1
FLOOR 2	Residential	1255	200	Gross	6	R-2	1	2

Required Checklist for Tree Planting and Protection

TREE SCHEDULE B

Item	Requirement	Compliance
Location	either in the public right-of-way (e.g. sidewalk) adjacent to the property or within an uncut area at the front of the property	✓
Size	minimum 2" caliper measured at breast height	✓
Species	native or non-invasive species	✓
Planting	conducted in a professional manner at or near the existing tree	✓
Watering	provide a water source for the tree for the first year	✓

TREE SCHEDULE C

Item	Requirement	Compliance
Location	As set forth in Schedule B, above	✓
Size	As set forth in Schedule B, above	✓
Species	As set forth in Schedule B, above	✓
Planting	As set forth in Schedule B, above	✓
Watering	As set forth in Schedule B, above	✓

Applicant's Affidavit

I hereby affirm under penalty of perjury that the information I have entered on this document is true and correct to the best of my knowledge, and that I have read and understood this form, and that I am the property owner or authorized agent of the property owner, familiar with the property, and able to provide accurate and complete information herein.

The undersigned agrees to the conditions of this form. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement may lead to denial or revocation of my permit or other authorization and may constitute a violation of the San Francisco Municipal Code, which can lead to criminal and/or civil legal action and the suspension of administrative fines.

I understand that should my project be subject to a required Tree Protection Plan, that I will have a plan meeting or recording the minimum requirements proposed and submit it to the Department of Public Works prior to the commencement of any construction activities. Such activities may be in person, by mail or via email at urbanforestry@sfplanning.org.

Signature: John Goldman / Goldman Architects
Title: Principal
Phone Number: 415 391-1339 x 104
Email: john@goldmanarchitects.com

Date: 8/28/2014
Title: Project Manager
Phone Number: 415 391-1339 x 104
Email: john@goldmanarchitects.com

BETTER STREETS

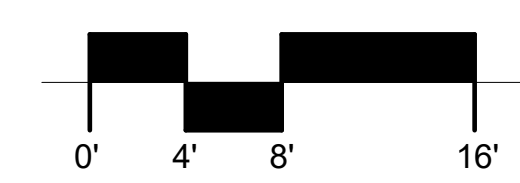
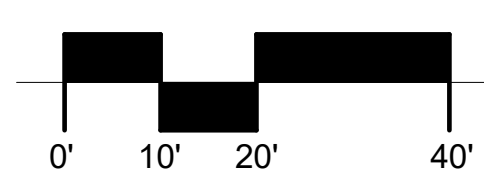
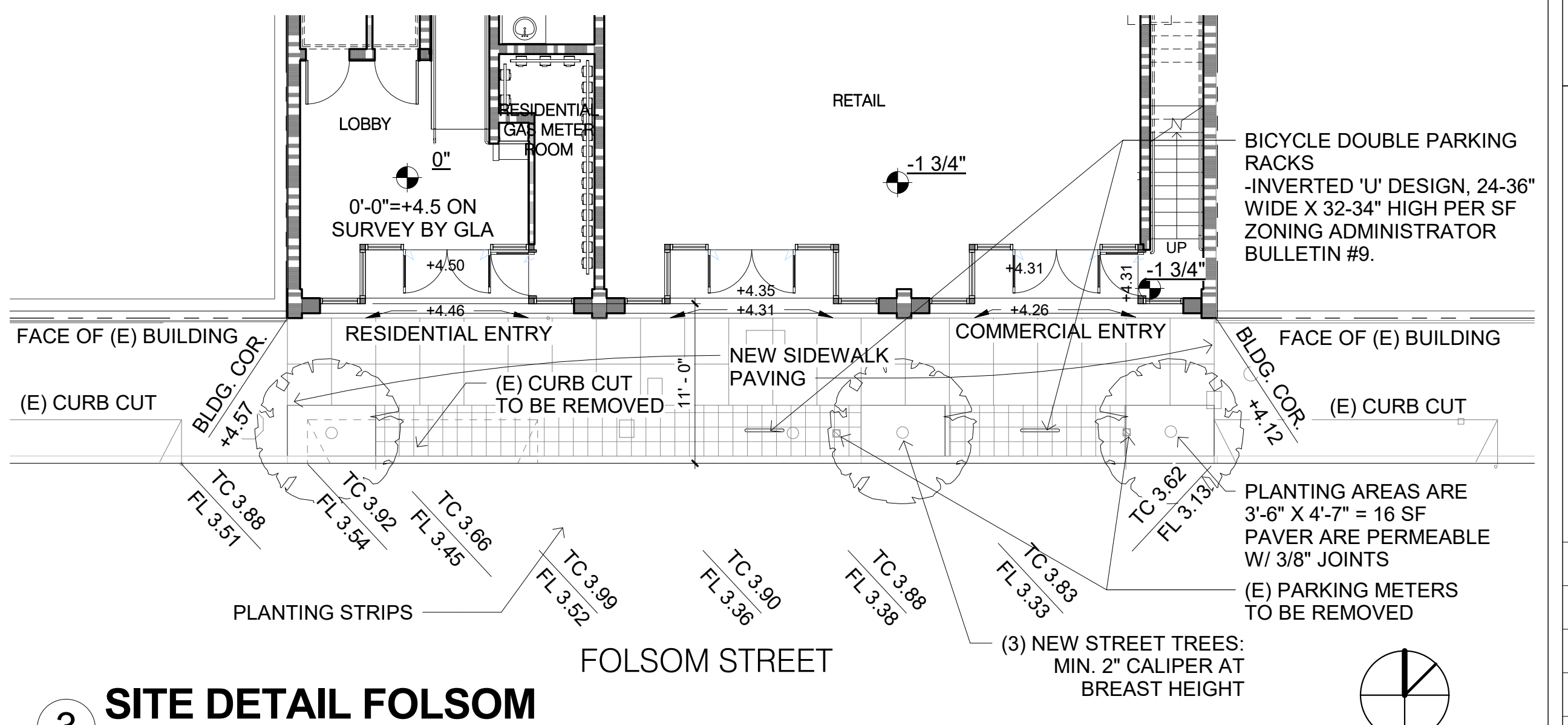
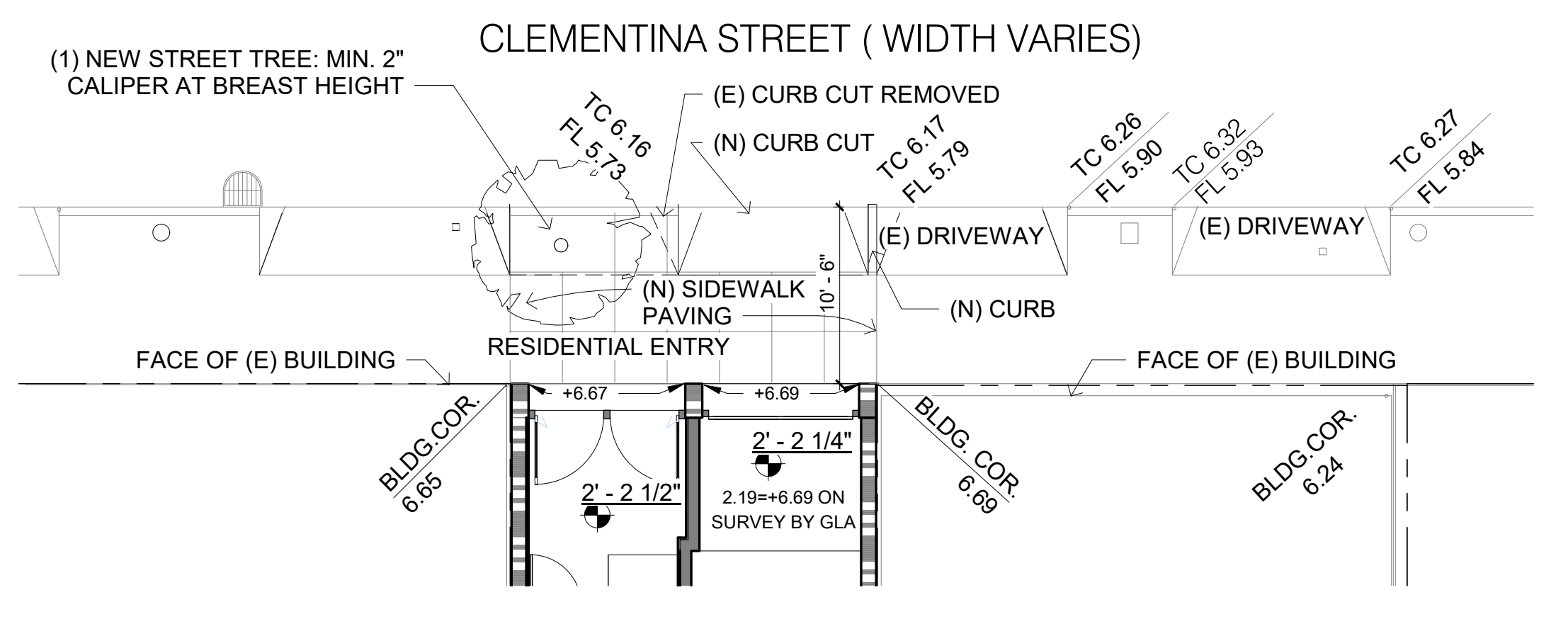
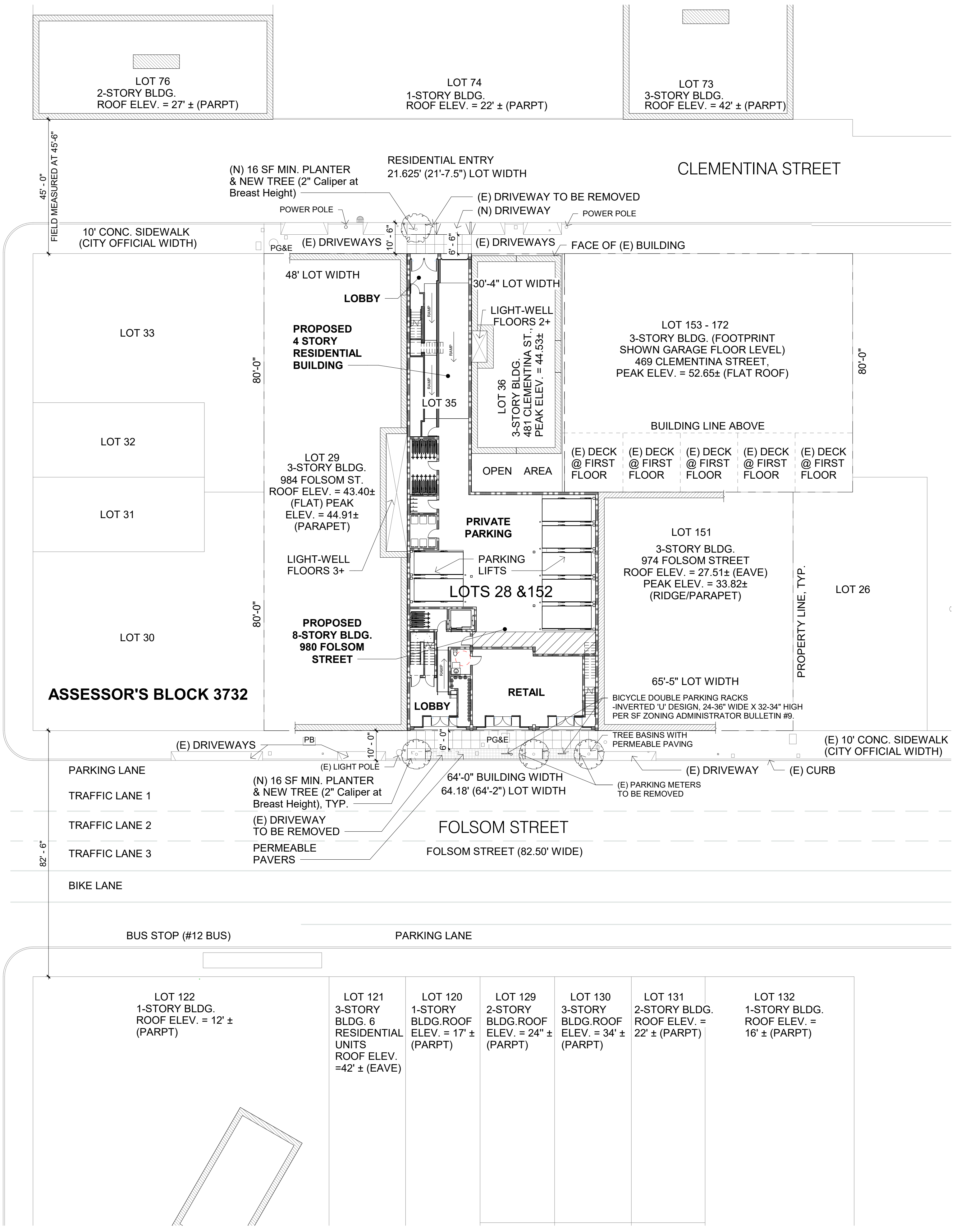
STREET TYPE	FOLSOM ST.	CLEMENTINA ST.
MIXED-USE		ALLEY
VISION ZERO	Y	N
SIDEWALK WIDTH:		
-RECOMMENDED	15'	9'
-MINIMUM	12'	6'
-EXISTING	10'	10.5'

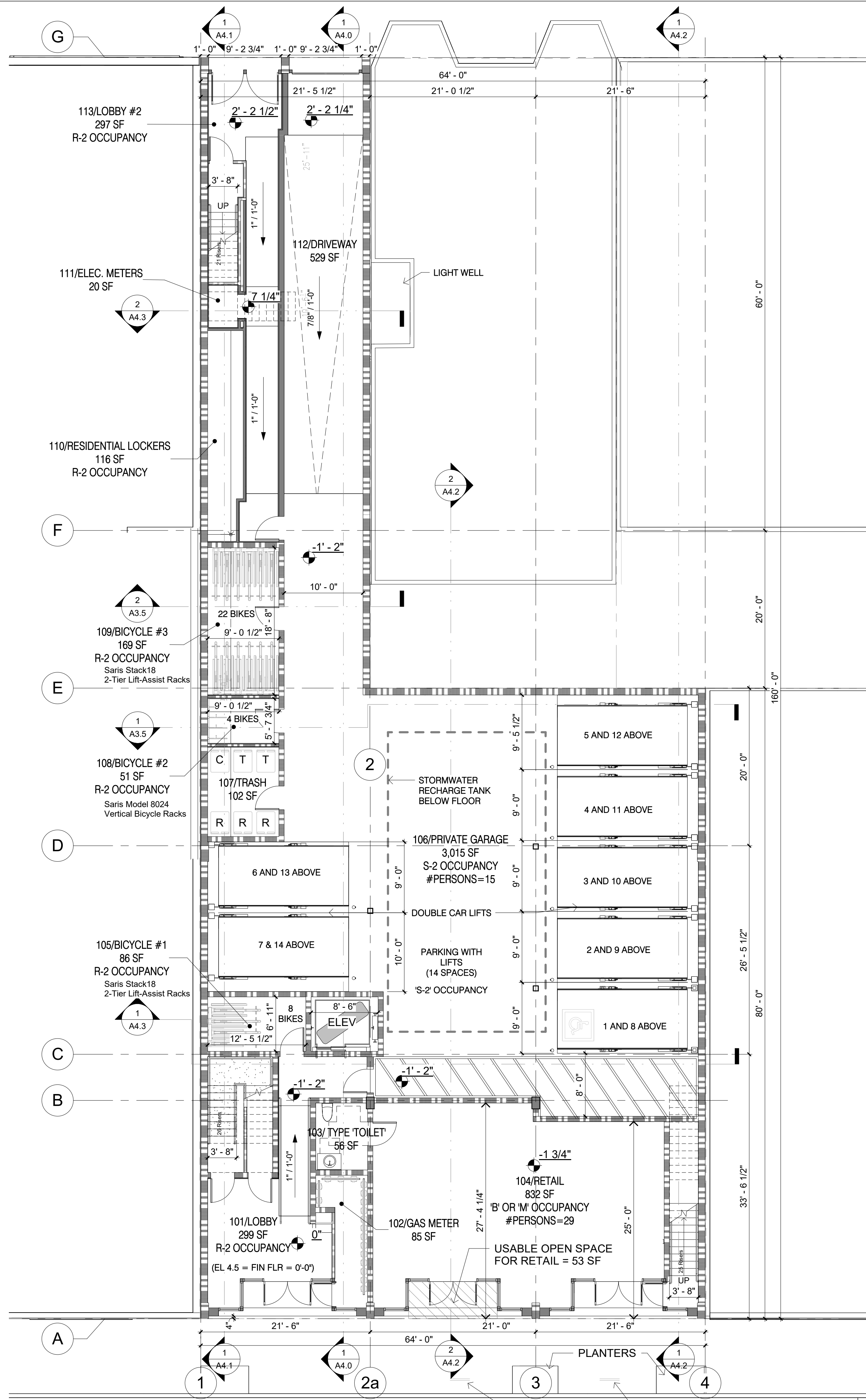
STANDARD IMPROVEMENTS:

STREET TREES, EXIST/NEW	0/3	0/1
SIDEWALK PLANTERS	Y	N
STORMWATER CONTROL:		
-PERMEABLE PAVING	Y	N
-INFILTRATION PLANTERS	Y	Y
-INFILTRATION TRENCH	N	N
PEDESTRIAN SCALE LIGHTING	N	N

CASE BY CASE ADDITIONS:

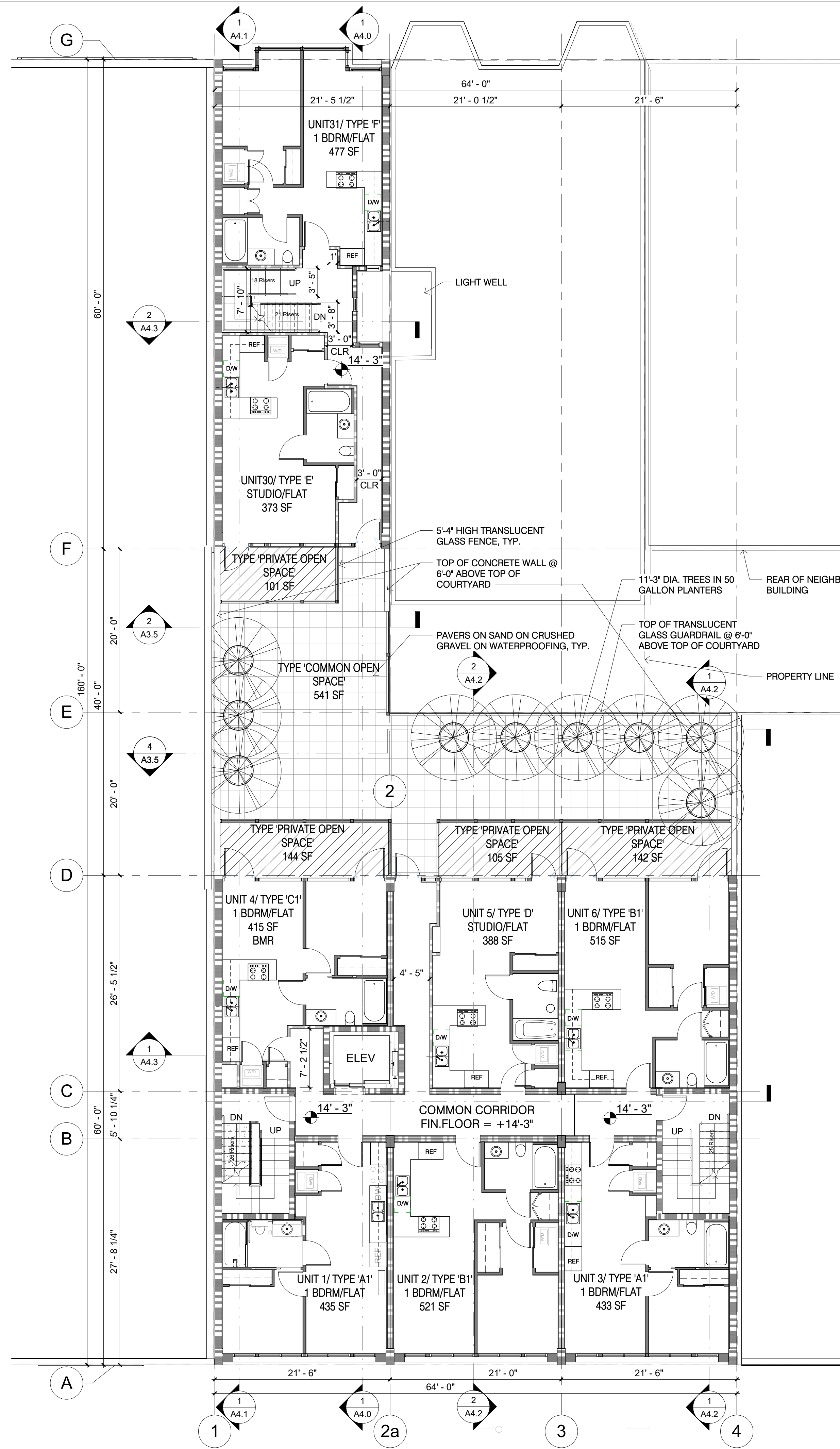
MID-BLOCK BULB OUT	Y	N
SIDEWALK POCKET PARK	Y	N





1 GROUND FLOOR PLAN

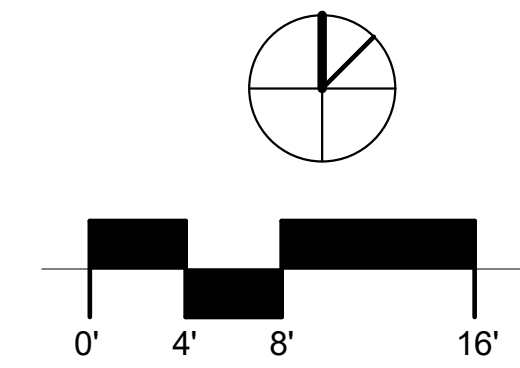
1/8" = 1'-0"

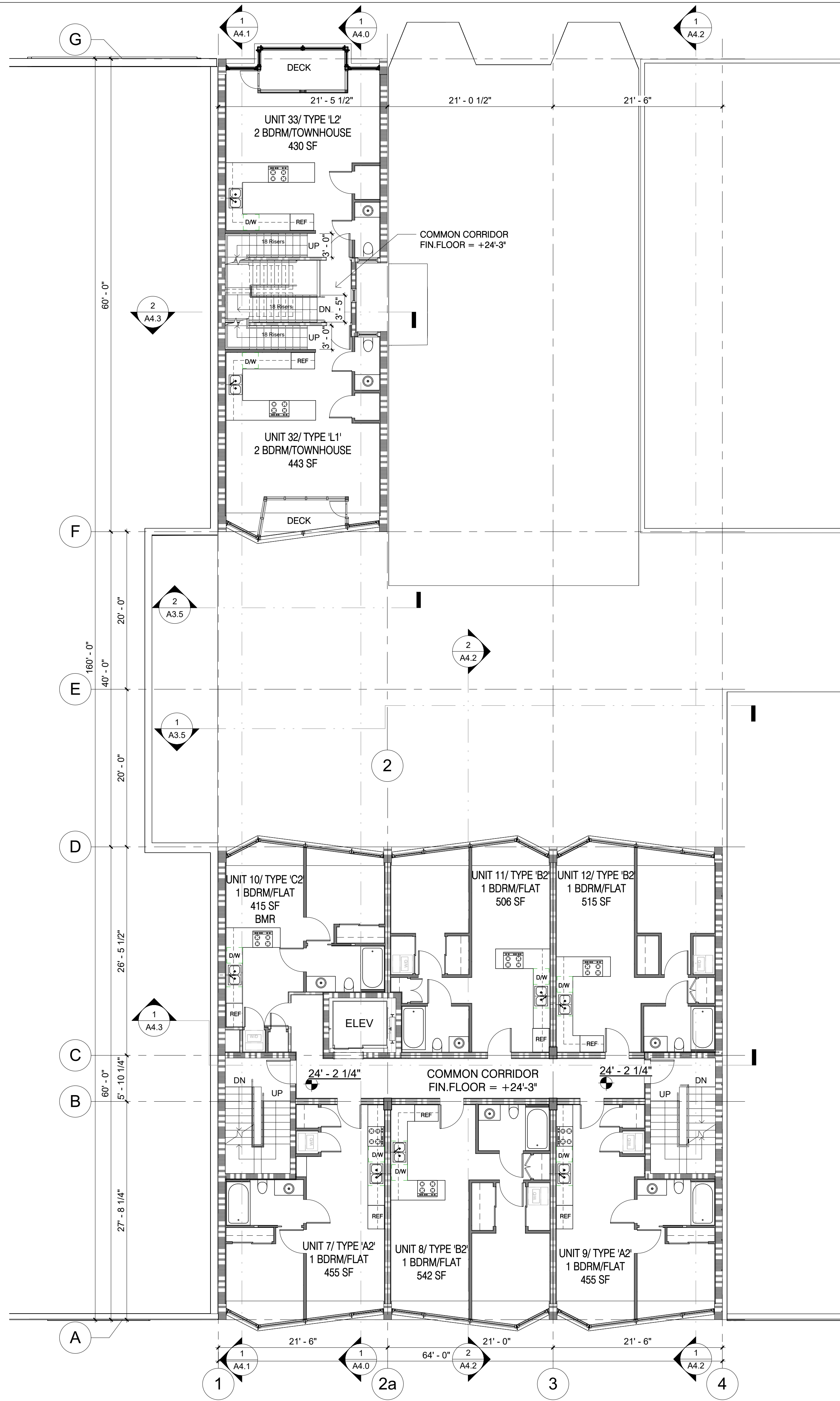


2 SECOND FLOOR PLAN

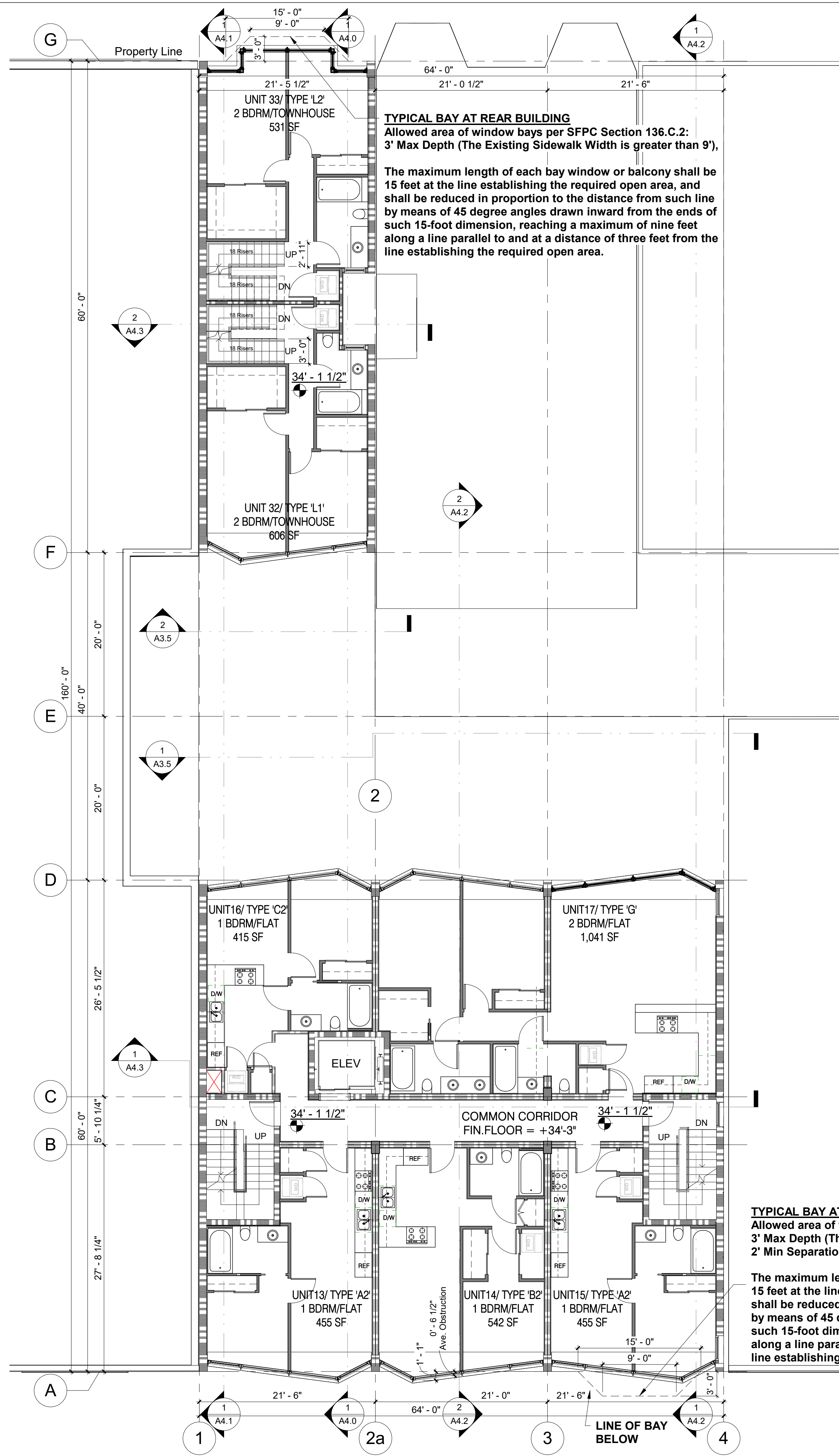
1/8" = 1'-0"

WALL FIRE RATINGS:
 [Pattern] 2 HR FIRE RATED WALL
 [Pattern] 1 HR FIRE RATED WALL





1 THIRD FLOOR PLAN
1/8" = 1'-0"



2 FOURTH FLOOR PLAN
1/8" = 1'-0"

WALL FIRE RATINGS:

2 HR FIRE RATED WALL

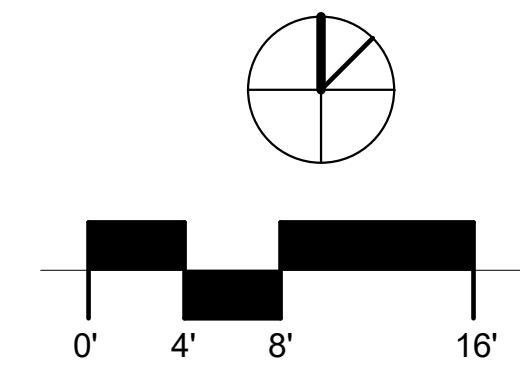
1 HR FIRE RATED WALL

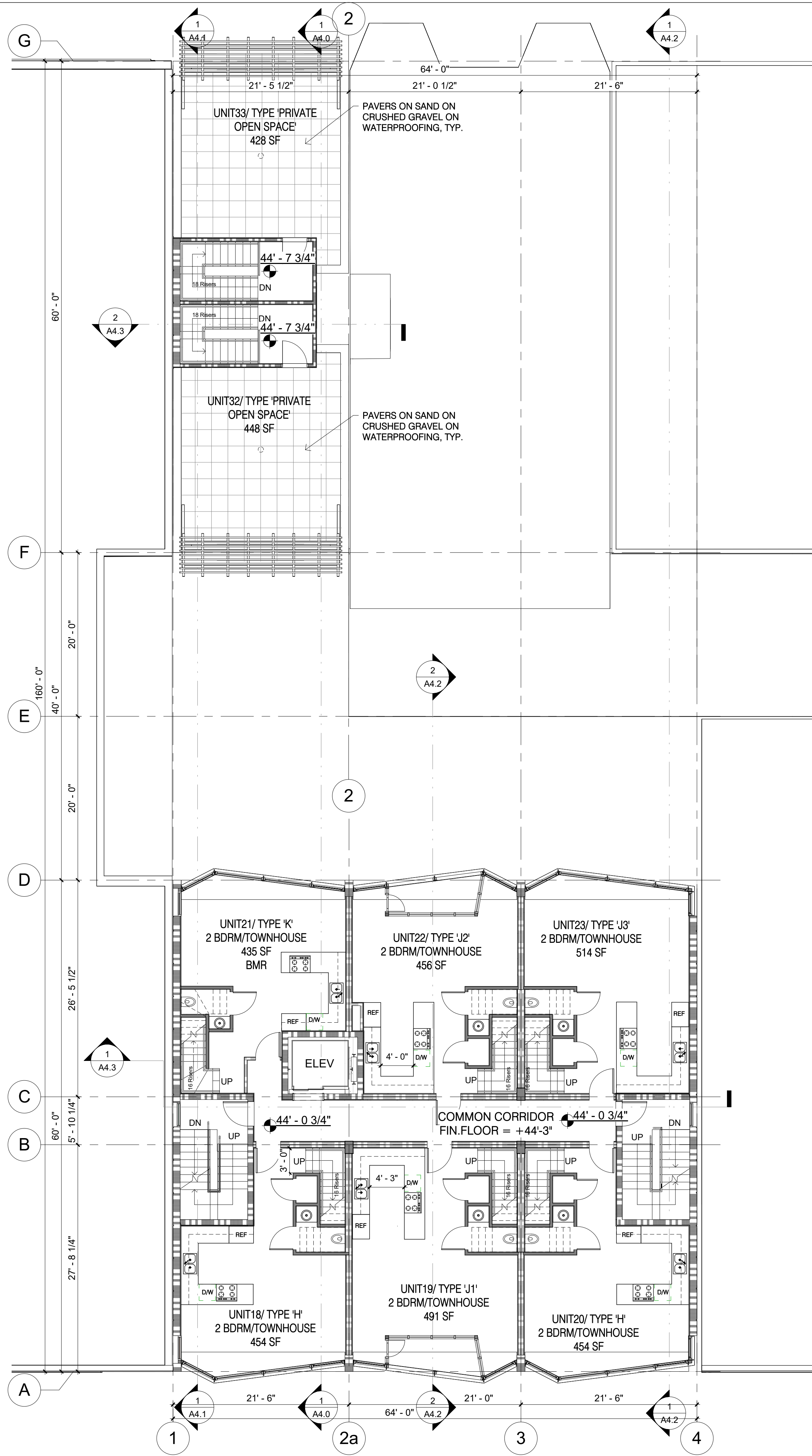
TYPICAL BAY AT REAR BUILDING
Allowed area of window bays per SFPC Section 136.C.2:
3' Max Depth (The Existing Sidewalk Width is greater than 9'),

The maximum length of each bay window or balcony shall be 15 feet at the line establishing the required open area, and shall be reduced in proportion to the distance from such line by means of 45 degree angles drawn inward from the ends of such 15-foot dimension, reaching a maximum of nine feet along a line parallel to and at a distance of three feet from the line establishing the required open area.

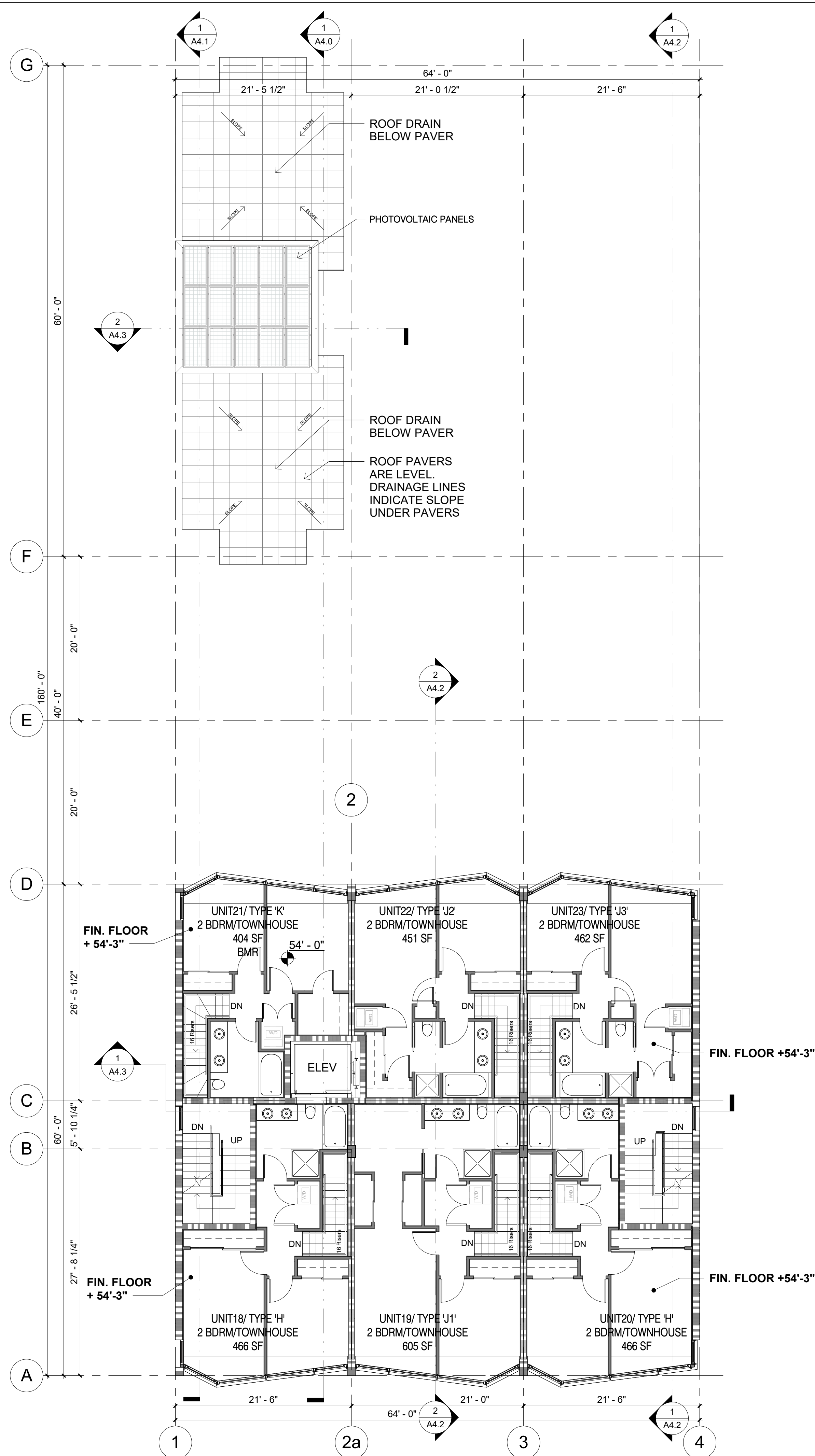
TYPICAL BAY AT FRONT BUILDING
Allowed area of window bays per SFPC Section 136.C.2:
3' Max Depth (The Existing Sidewalk Width is greater than 9'),
2' Min Separation Between Bays,

The maximum length of each bay window or balcony shall be 15 feet at the line establishing the required open area, and shall be reduced in proportion to the distance from such line by means of 45 degree angles drawn inward from the ends of such 15-foot dimension, reaching a maximum of nine feet along a line parallel to and at a distance of three feet from the line establishing the required open area.





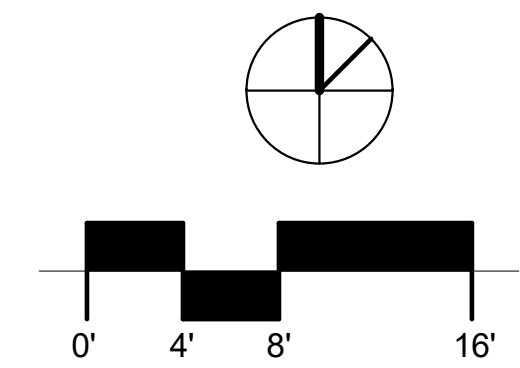
1 FIFTH FLOOR PLAN
1/8" = 1'-0"



2 SIXTH FLOOR PLAN
1/8" = 1'-0"

WALL FIRE RATINGS:

 2 HR FIRE RATED WALL
 1 HR FIRE RATED WALL



No. ISSUES

GOLD MAN ARCHITECTS

172 RUSS STREET
 SAN FRANCISCO
 CALIFORNIA 94103
 415-391-1339
 415-621-3393 f

980 FOLSOM STREET
 San Francisco, CA 94107

FIFTH & SIXTH FLOOR PLANS

Date 7/10/2017
 Scale As indicated
 Checked by: Checker
 Drawn by: Author
 Job 1202

A2.3

7/11/2017 12:00:07 PM

WALL FIRE RATINGS:

2 HR FIRE RATED WALL

1 HR FIRE RATED WALL

No.	ISSUES



172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

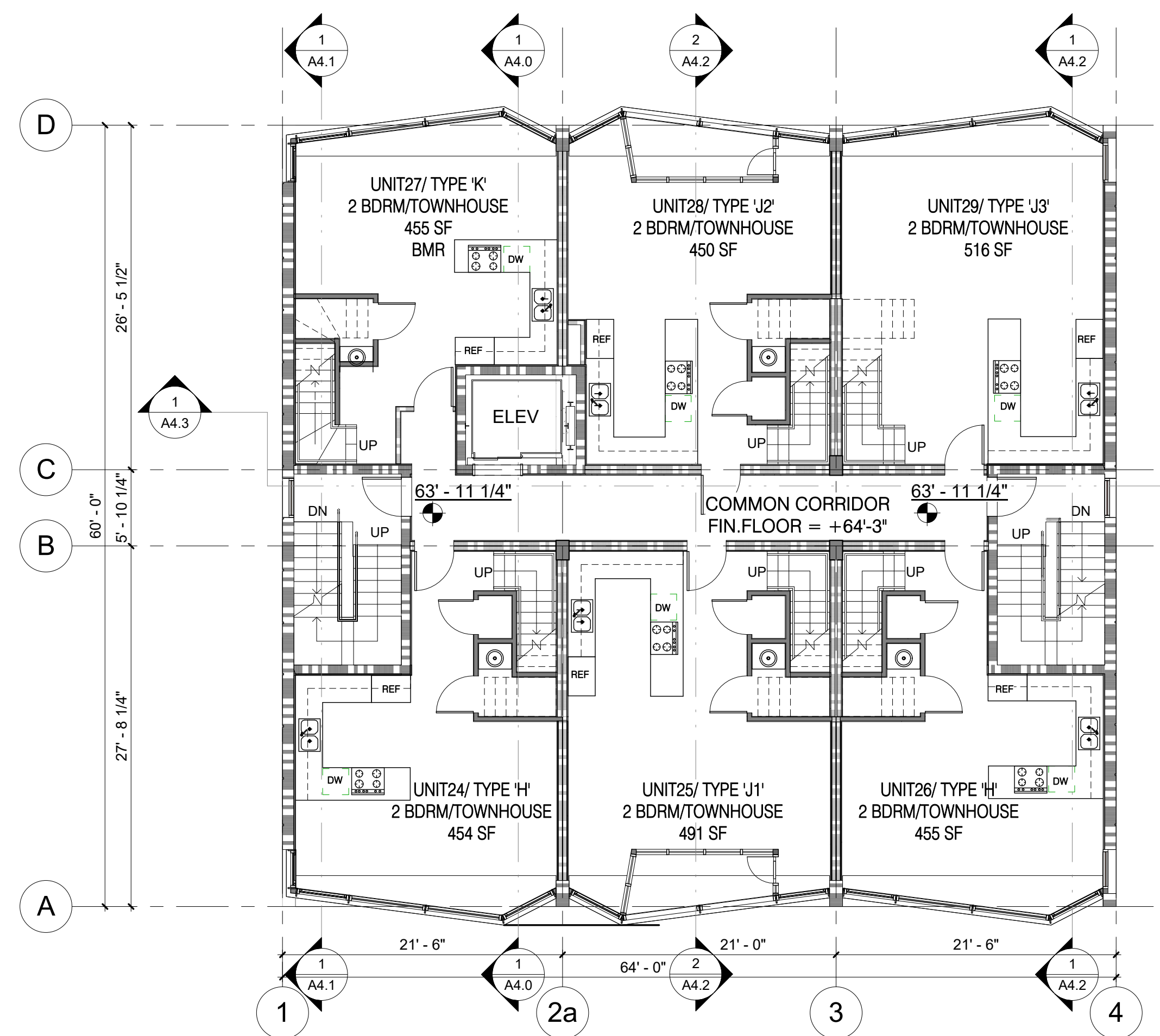
980 FOLSOM STREET
San Francisco, CA 94107

SEVENTH & EIGHTH FLOORS

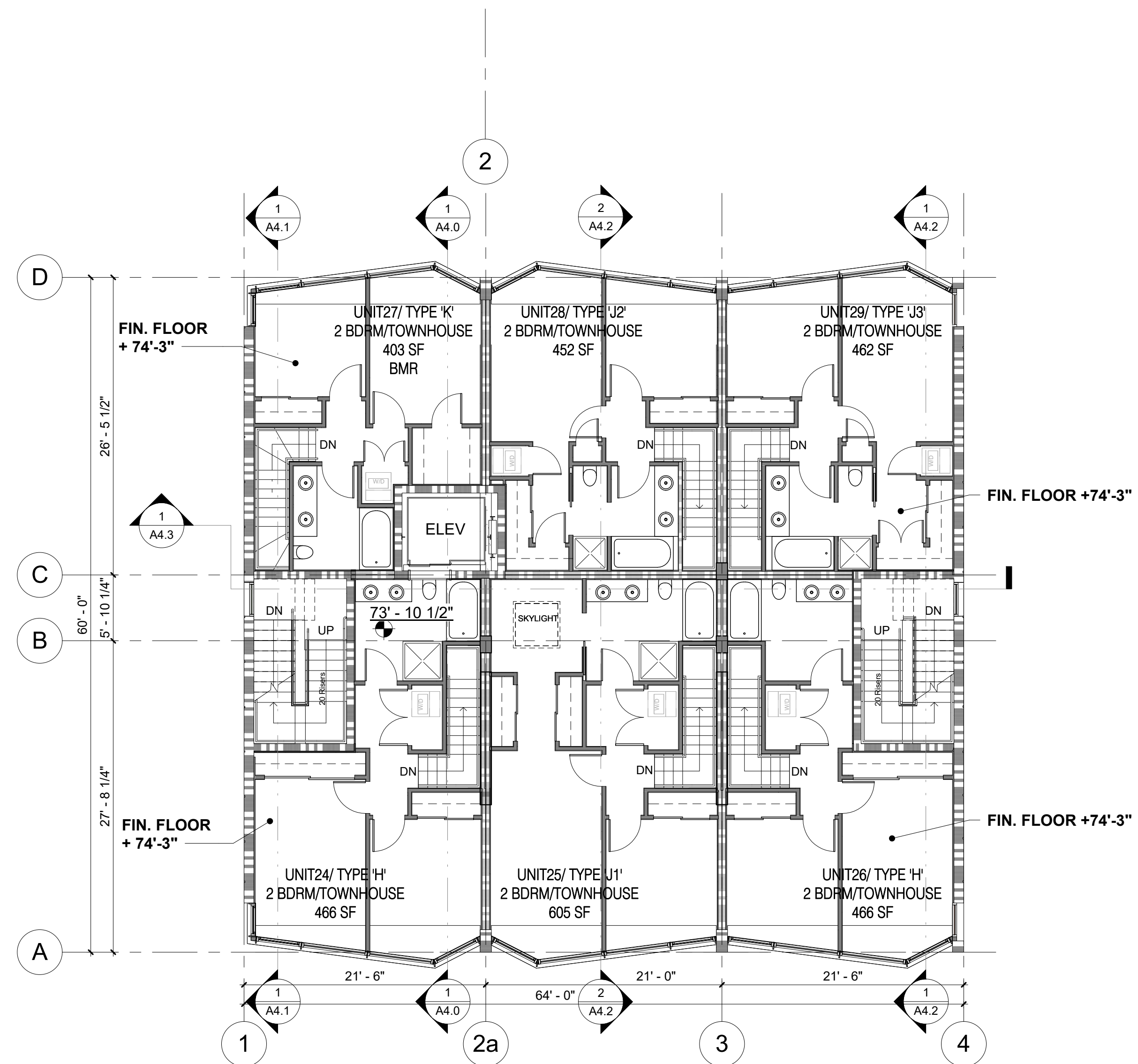
Date	7/10/2017
Scale	As indicated
Checked by:	Checker
Drawn by:	Author
Job	1202

A2.4

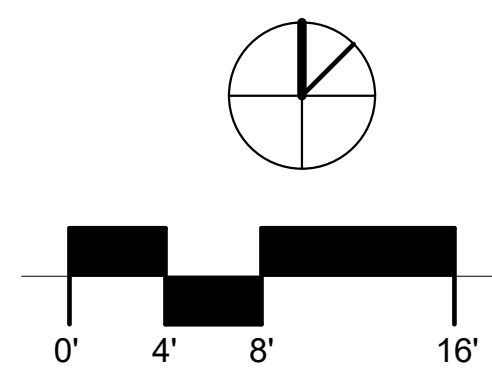
7/11/2017 12:00:10 PM

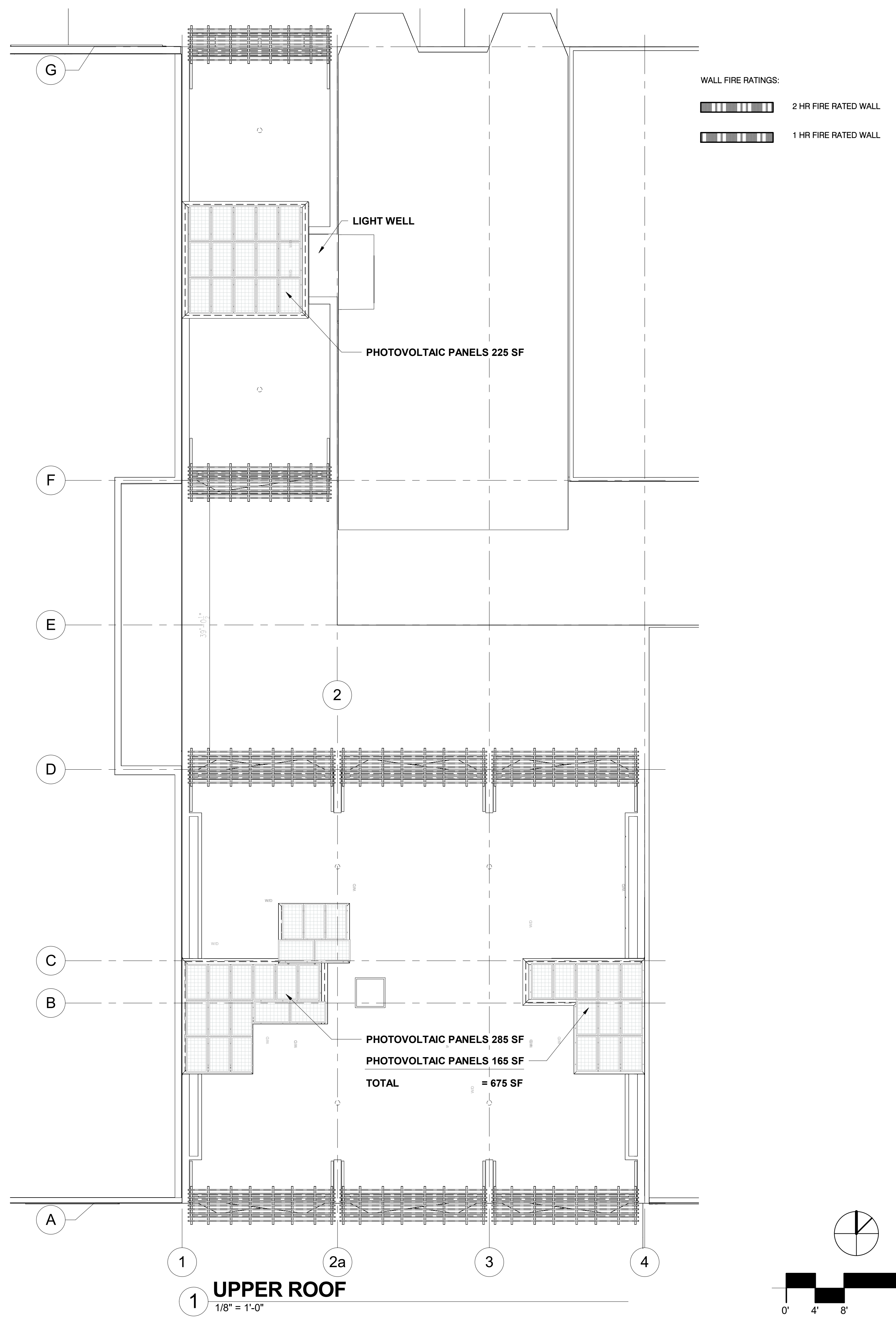
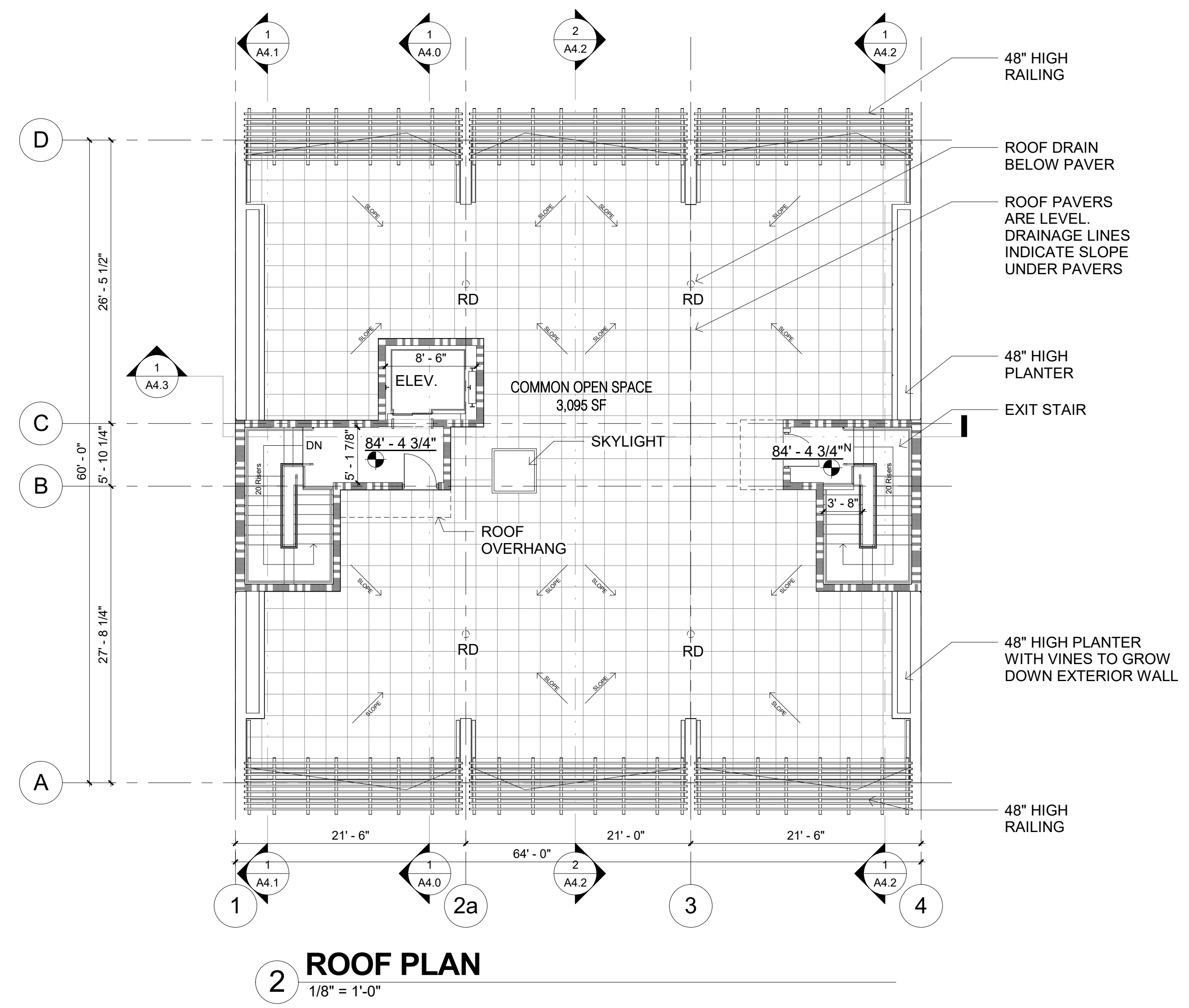


1 SEVENTH FLOOR PLAN
1/8" = 1'-0"



2 EIGHTH FLOOR PLAN
1/8" = 1'-0"







ELEVATION @ CURB @ CENTER OF BUILDING = 3.90' = 3'-11" PER SURVEY, THUS, CURB IS 7" BELOW LEVEL 1 (4.5' = 4'-6" ON SURVEY BY GLA ENGINEERS = 0'-0" DRAWING ELEVATION)

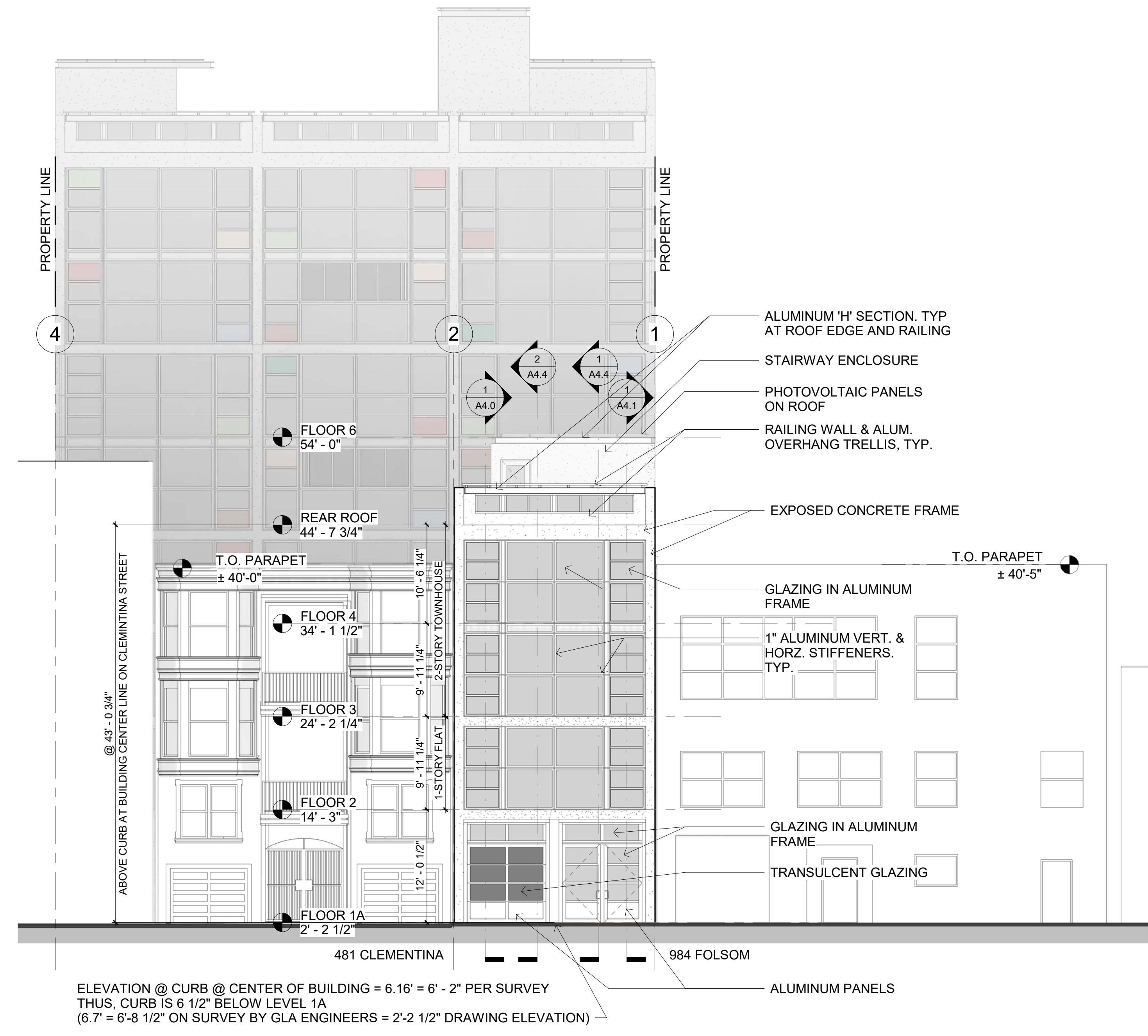
GLAZING IN ALUMINUM FRAME, TYP
 BICYCLE DOUBLE PARKING RACKS - INVERTED 'U' DESIGN, 24-36" WIDE X 32-34" HIGH PER SF ZONING ADMINISTRATOR BULLETIN #9.

1 SOUTH ELEVATION
 1/8" = 1'-0"

980 FOLSOM STREET
 San Francisco, CA 94107

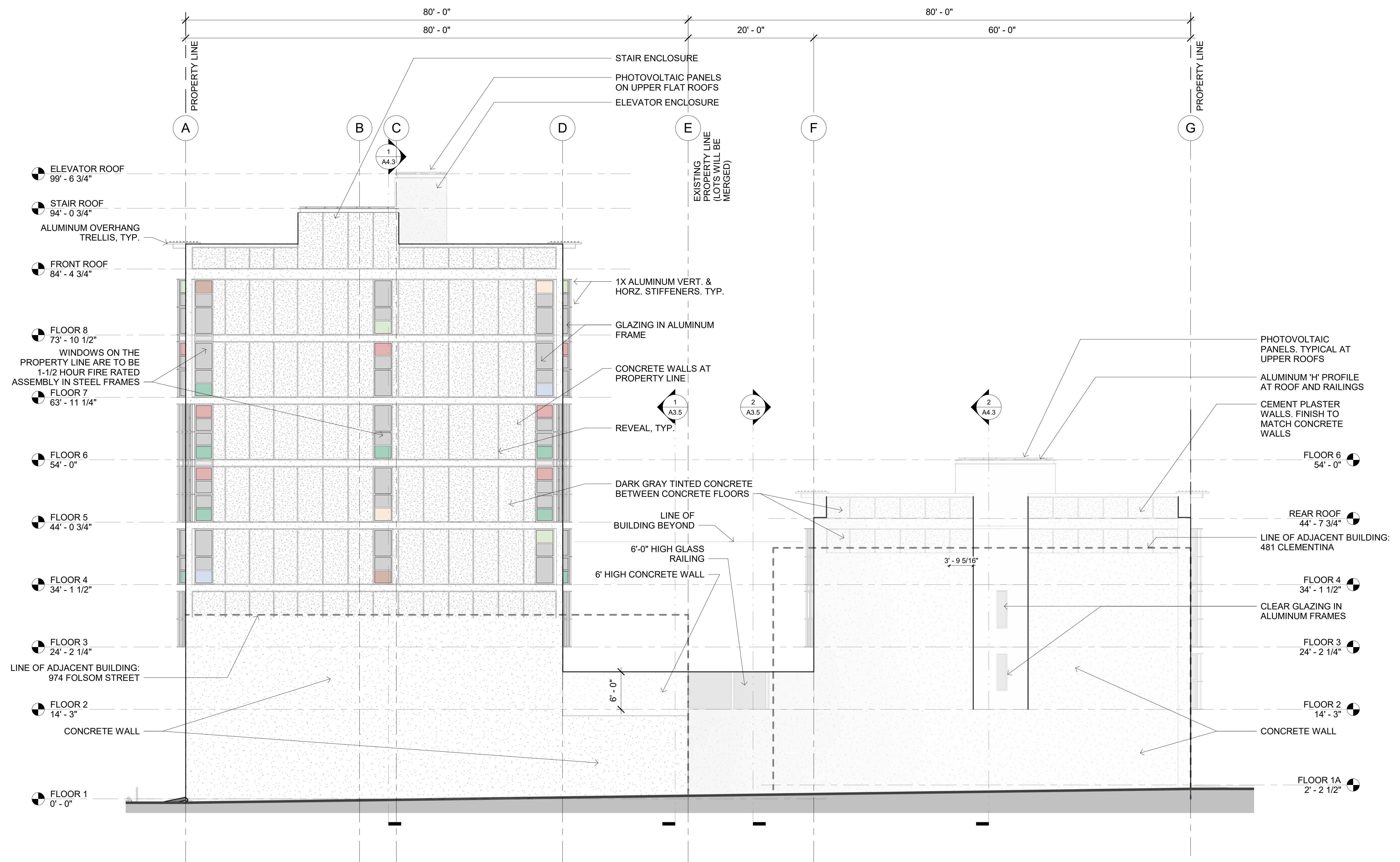
ELEVATIONS

Date	7/10/2017
Scale	1/8" = 1'-0"
Checked by:	JG
Drawn by	HB
Job	1202



1 NORTH ELEVATION
1/8" = 1'-0"

Date	7/10/2017
Scale	1/8" = 1'-0"
Checked by:	Checker
Drawn by:	Author
Job	1202



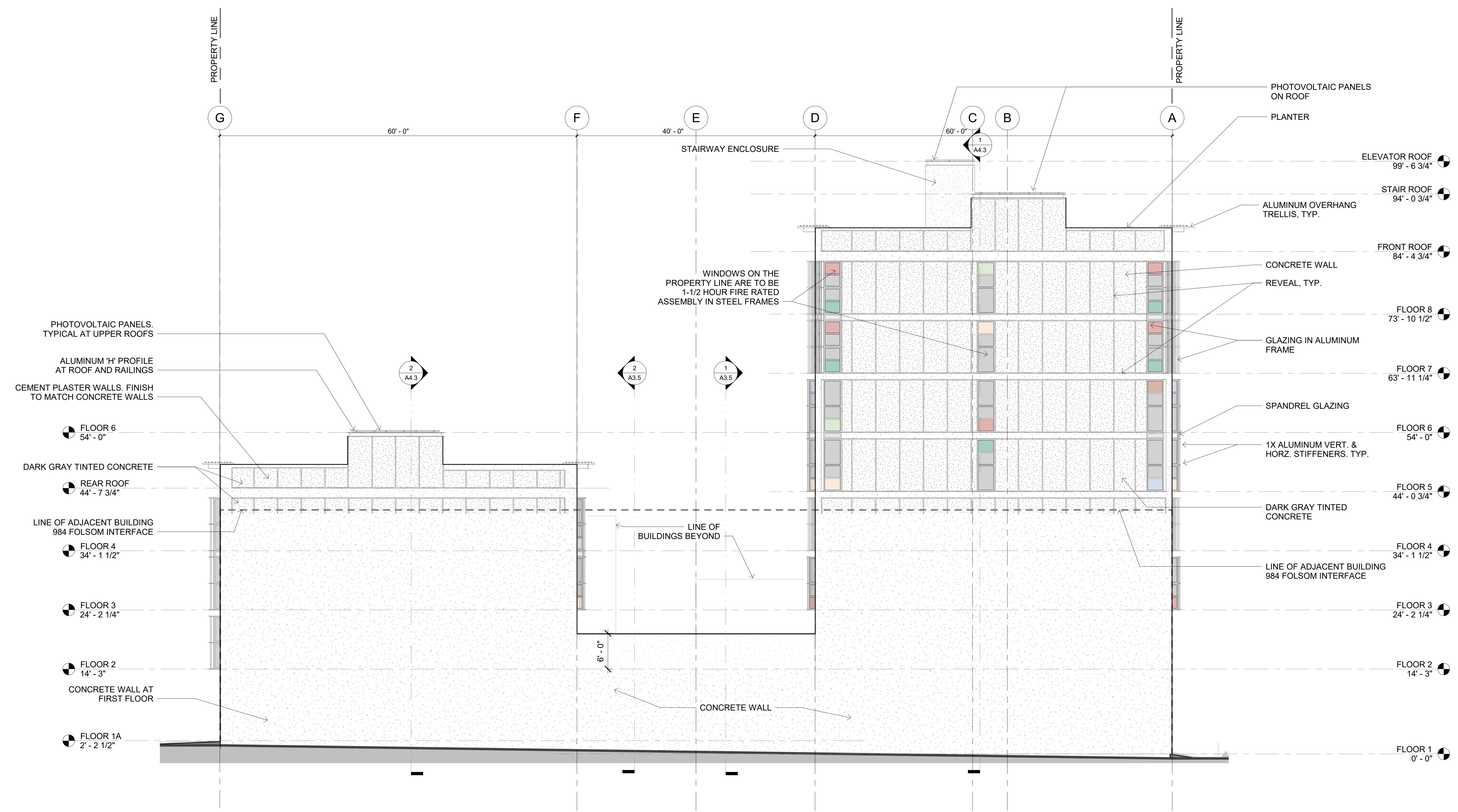
1 EAST ELEVATION
1/8" = 1'-0"

GOLD MAN
ARCHITECTS
172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

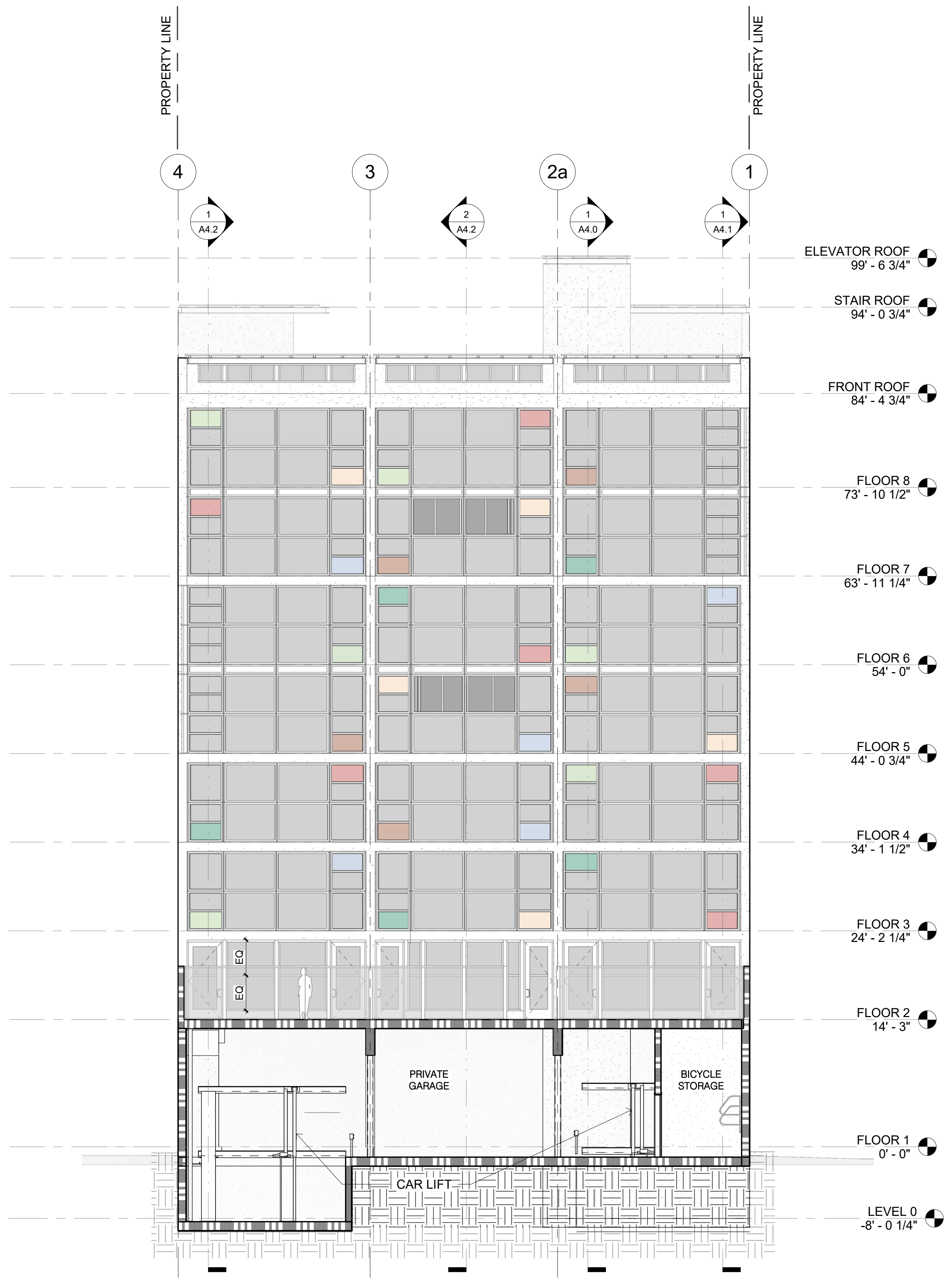
980 FOLSOM STREET
San Francisco, CA 94107

ELEVATIONS

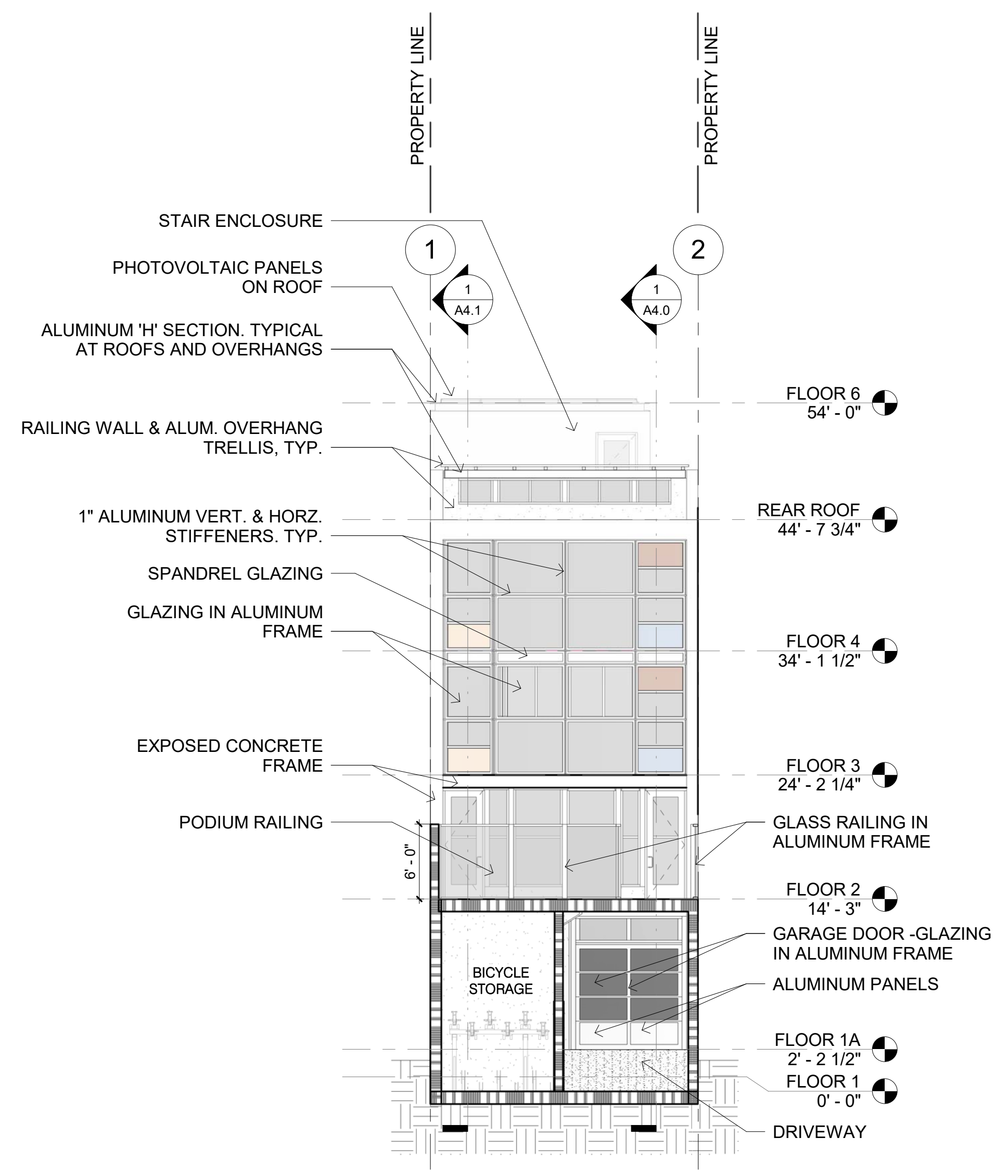
Date	7/10/2017
Scale	1/8" = 1'-0"
Checked by:	Checker
Drawn by:	Author
Job	1202



1 WEST ELEVATION
1/8" = 1'-0"



1 SECTION THRU COURTYARD LOOKING SOUTH
1/8" = 1'-0" NOTE: MATERIALS SAME AS FOLSOM STREET FACADE.



2 SECTION THRU COURTYARD LOOKING NORTH
1/8" = 1'-0"

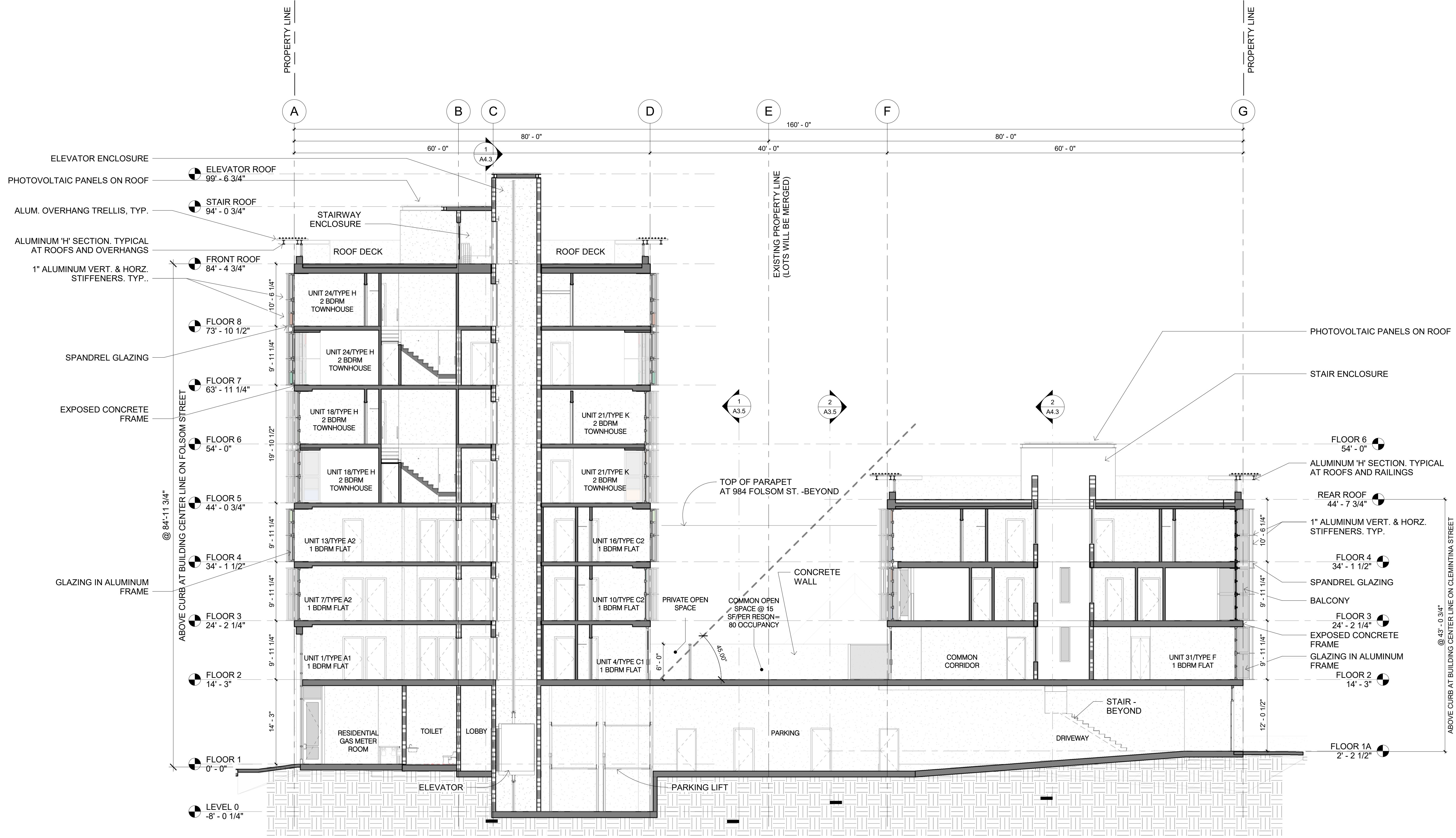


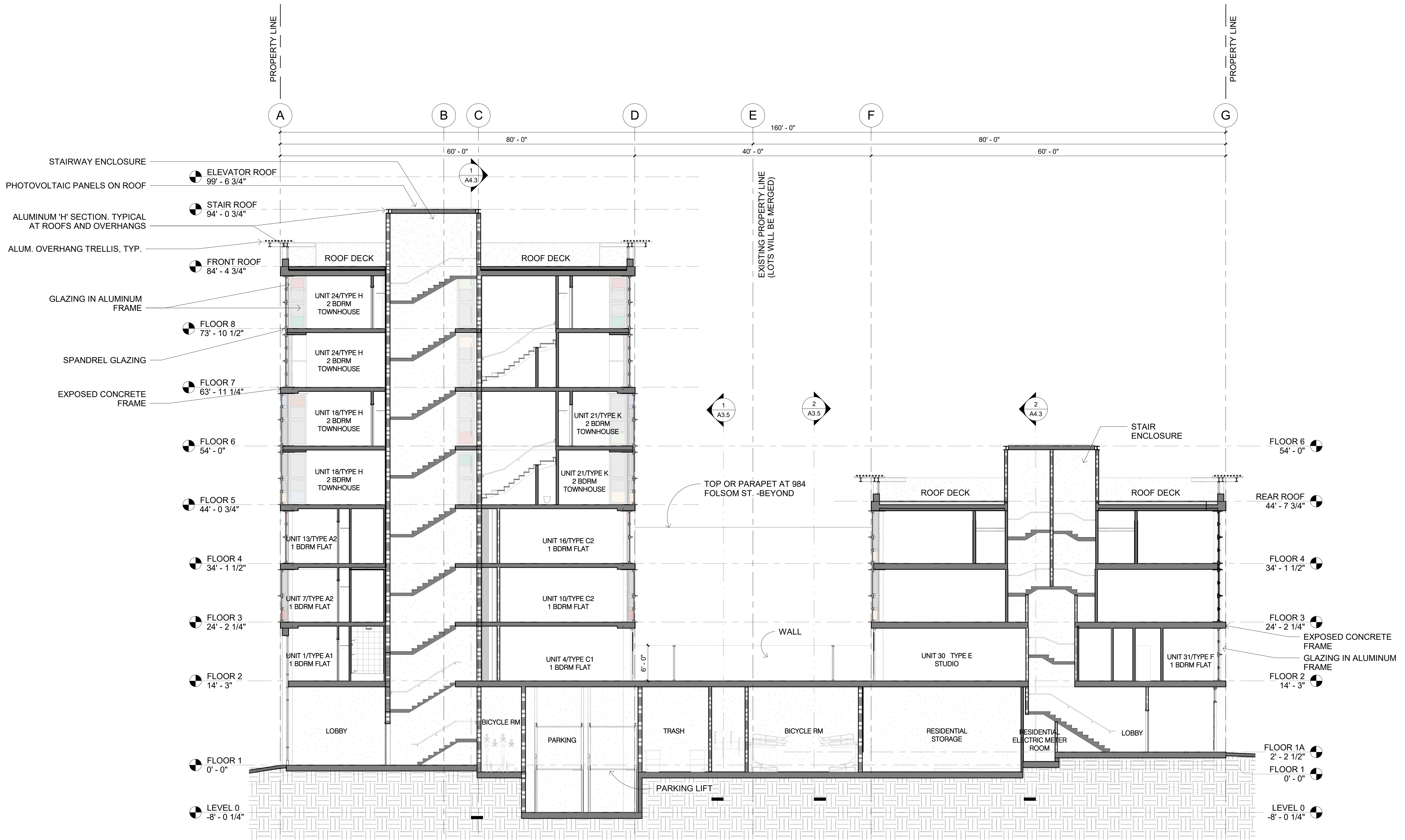
172 RUSS STREET
 SAN FRANCISCO
 CALIFORNIA 94103
 415-391-1339
 415-621-3393 f

980 FOLSOM STREET
 San Francisco, CA 94107

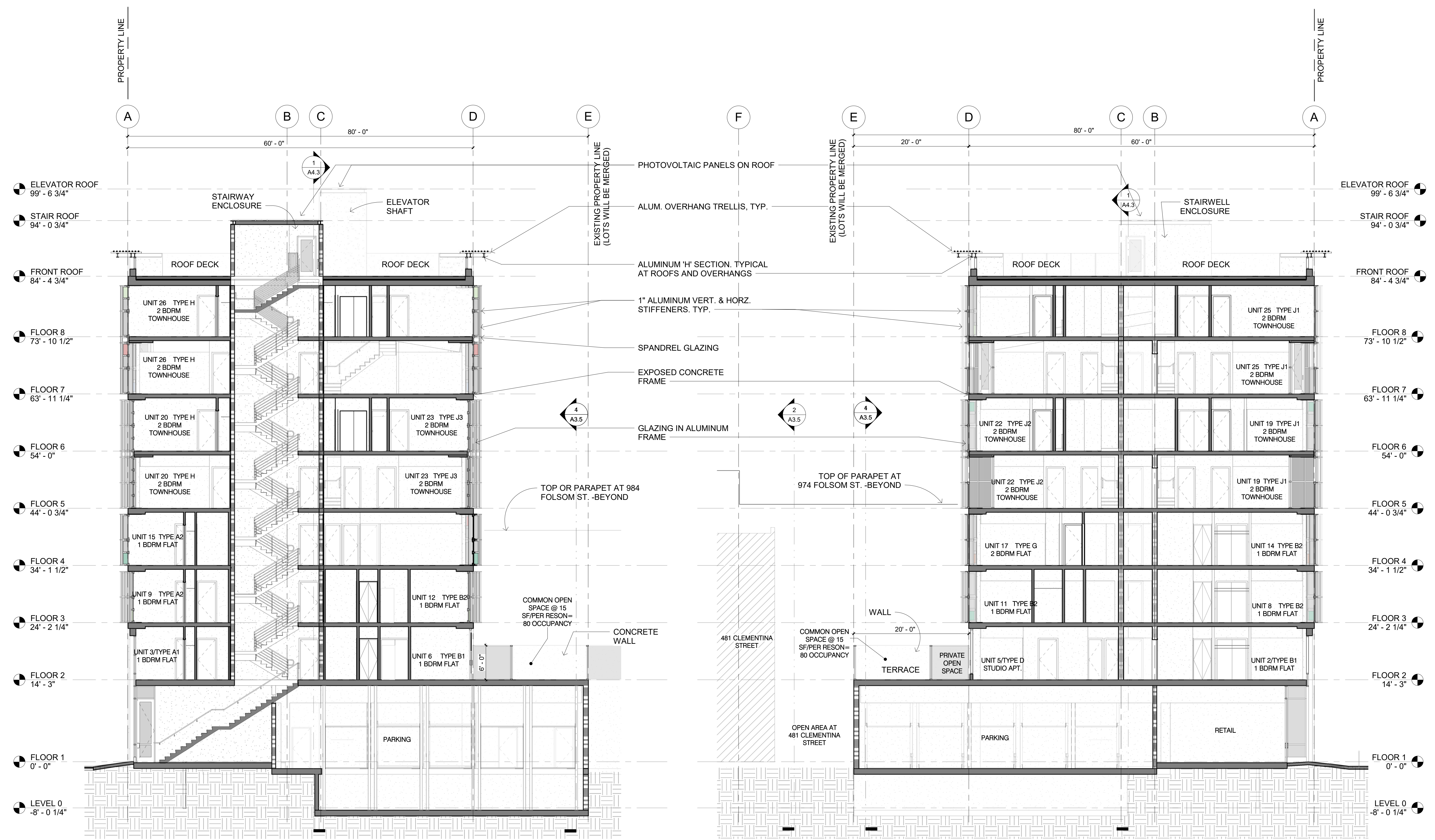
BUILDING SECTION

Date	7/10/2017
Scale	1/8" = 1'-0"
Checked by:	Checker
Drawn by:	Author
Job	1202





1 LONGITUDINAL SECTION THRU WEST STAIRS
1/8" = 1'-0"



1 LONGITUDINAL SECTION THRU EAST STAIRS
1/8" = 1'-0"

2 LONGITUDINAL SECTION THRU FOLSOM BUILDING
1/8" = 1'-0"

No.	ISSUES



172 RUSS STREET
 SAN FRANCISCO
 CALIFORNIA 94103
 415-391-1339
 415-621-3393 f

980 FOLSOM STREET
 San Francisco, CA 94107

PERSPECTIVES

Date	7/10/2017
Scale	3/8" = 1'-0"
Checked by:	Checker
Drawn by:	Author
Job	1202



1 VIEW FROM FOLSOM - LOOKING NORTHWEST
 3/8" = 1'-0"



2 VIEW FROM FOLSOM - LOOKING NORTH
 3/8" = 1'-0"

No.	ISSUES



172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

980 FOLSOM STREET
San Francisco, CA 94107

PERSPECTIVES

Date	7/10/2017
Scale	1 1/2" = 1'-0"
Checked by:	JG
Drawn by	HB
Job	1202



1 VIEW FROM FOLSOM - LOOKING WEST
1 1/2" = 1'-0"



2 VIEW FROM FOLSOM - LOOKING EAST
1 1/2" = 1'-0"



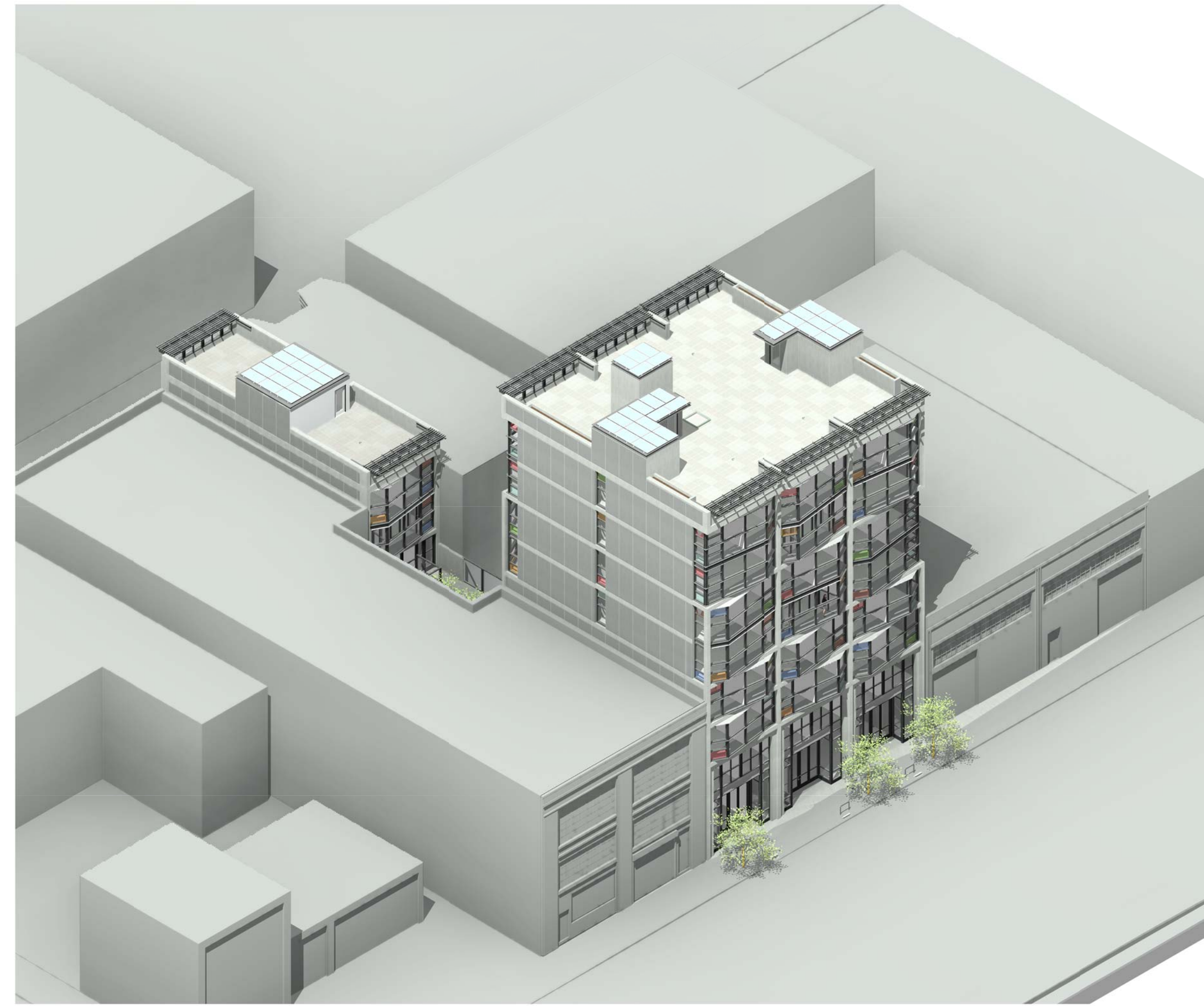
1 VIEW FROM CLEMENTINA - LOOKING SOUTHWEST
1 1/2" = 1'-0"



2 VIEW FROM COURTYARD - LOOKING SOUTHEAST
12" = 1'-0"



3 AERIAL PERSPECTIVE - WEST



4 AERIAL PERSPECTIVE - NORTH



1 AERIAL PERSPECTIVE - SOUTH



2 AERIAL PERSPECTIVE - EAST

No. ISSUES



172 RUSS STREET
 SAN FRANCISCO
 CALIFORNIA 94103
 415-391-1339
 415-621-3393 f

980 FOLSOM STREET
 San Francisco, CA 94107

AERIAL ISOMETRIC
 PERSPECTIVES

Date 7/10/2017
 Scale
 Checked by: Checker
 Drawn by: Author
 Job 1202

A5.4

7/11/2017 12:05:05 PM





172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

980 FOLSOM STREET
San Francisco, CA 94107

PERSPECTIVE - DETAILS

Date 7/10/2017
Scale
Checked by: Checker
Drawn by: Author
Job 1202

A5.6

7/11/2017 12:05:23 PM





No. ISSUES



172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

980 FOLSOM STREET
San Francisco, CA 94107

PERSPECTIVE - DETAILS

Date 7/10/2017

Scale

Checked by: Checker

Drawn by: Author

Job 1202

A5.7

7/11/2017 12:05:25 PM

Project Summary and Recent Neighborhood Outreach Activities
By John Goldman of Goldman Architects, a Member of 980 Folsom LLC
September 26, 2017

Introduction:

The building now located at 980 Folsom Street, built in 1986, is a mostly featureless concrete block building with only a few windows along Folsom St. and none along Clementina Street. The Carlos Arroyo Auto Body Repair and Paint shop has occupied the premises since shortly after the building was constructed. In 2008 Carlos was starting to consider retirement and closing his business, so he offered the building for sale. 980 Folsom LLC purchased the building in late 2008 and set up the Purchase Agreement so Carlos could continue his business at 980 Folsom Street until the building was demolished, at which time he would close his business and retire.

Many more years have passed since 2008 than anyone anticipated to reach this point in the project approvals process, the hearing for the Large Project Authorization, and Carlos is now extremely eager to close his business and retire.

Project Description:

The project consists of two separate structures on a shared podium with a courtyard between the two structures. The paved and landscaped courtyard includes both private and common open spaces. An 84'-6" high eight story building fronts Folsom St. and a 42'-6" high, four story building is along Clementina alley. In the Folsom St. building are 29 units of housing above the residential entry foyer, an 890 sq. ft. commercial space, and a 14 car private parking garage. The Clementina building contains four residential units. Six of the 33 units include private exterior balconies which are recessed into the façade. Roof decks on the Clementina building provide private open spaces for the units below and the roof of the stair enclosure includes photovoltaics. The roof deck on the Folsom building provides common open space. The roofs of the elevator and stair penthouses include photovoltaics. Built-in planter boxes along the side property lines at the roof deck will be planted with vines which are intended to grow down the sides of the building, making green walls while softening those facades.

The entire building is concrete framed with aluminum and glass infill within the structural system. The concrete structural grid is clearly expressed on the building facades. Its grid pattern indicates the locations of one-bedroom flats or two-bedroom, two-story townhouses. Along Folsom, the commercial and residential entries are recessed for weather protection. The Ground Floor commercial façade and the first story of housing above are articulated with glazing parallel to the street and bold concrete forms, creating a visual base for the building. The glazing for the seven stories of housing above is set entirely within the bays of the exposed concrete structural frame and is angled in various ways to create views in different directions. The angled glazing is a modern re-interpretation of bay windows which is a contextually appropriate expression for a tall building in the industrial and mixed-use South of Market neighborhood. An aluminum and glass trellis at the top of the façade serves as a guardrail for the roof deck and also creates a modern version of a traditional roof cornice. This cornice is parallel to Folsom Street, rather than angled, in order to relate to the building patterns of the overall neighborhood.

In contrast, the low building along Clementina Street, which is similar in height to its neighbors, has a central bay window set within the concrete frame but parallel to the street. The central bay window pattern is found throughout SoMa's small scale mid-block residential alleys, but here the bay window is formed with aluminum and glass with large sizes of glazing, a more modern version of traditional bay

windows. The entry to the parking garage is on this façade, balanced with the double door entry to the residential foyer.

It is the intent of the 980 Folsom design to use as few materials as possible on the building facades, in stark contrast to recent San Francisco trends of façade and building design, where buildings seemingly use as many different façade materials and colors as possible. At 980 Folsom there are only three major materials: concrete, aluminum and glass. This means that the building cannot depend on numerous colors and materials for visual interest, and must instead achieve visual interest and coherence through exposed structure and the various forms and proportions of the building elements. This philosophy is not so different from principles of Classicism: the 980 Folsom building has a clearly expressed base, middle and top, and employs much use of symmetry - both overall and local symmetry - as well as the classical principles of harmony and balance. In addition to the classical principles incorporated in this building, the angled windows along Folsom Street give a sense of motion and dynamism, appropriate for the fast moving, busy environment of Folsom Street. In contrast, the façade expression along Clementina Street, with its central bay window parallel to the street, a more traditional design solution, is appropriate for the quiet, small-scale residential environment found on Clementina Street.

Project Public Benefits:

The existing building at 980 Folsom Street contributes little visually to the Folsom streetscape and very little to the life of Folsom Street. Although its demolition will be a loss of a PDR use, it has always been the intent of Carlos Arroyo, since he purchased the newly constructed building in 1987, to eventually sell the building and close his business. When Carlos put his building up for sale in 2008, he knew and approved of the fact that it would be demolished and that there would be a development of new housing on the site.

The Eastern Neighborhoods plan has zoned and envisioned this site to include an 85' high residential development along Folsom Street with commercial at the Ground Floor. The Clementina side of the building, with its 45' height limit, is zoned to be a smaller scaled residential project. The 980 Folsom project is exactly what the Eastern Neighborhoods Plan, and now the Central SoMa plan, established as being appropriate for the site: multi-family housing with commercial on the Ground Floor along Folsom Street.

The project's 33 units of housing, consisting of 2 studios, 16 one-bedroom flats, 1 two-bedroom flat, and 14 two-bedroom two-story townhouses, provides a mix of housing types for different sizes of families, appropriate for its neighborhood and the SoMa Youth and Family Special Use District. Of these 33 units, four units are Below Market Rate: 2 one-bedroom flats and 2 two-bedroom townhouses. In San Francisco there is an extreme shortage of affordable housing; these four units will help meet that need. There is also an inadequate amount of market rate housing for sale in SoMa; therefore, the 29 market rate units will be a welcome addition to the neighborhood.

The new commercial space along Folsom Street, as well as the residential entry foyer, is designed to be very visually connected to Folsom Street with its large expanses of glass and low window sills. The central and east commercial façade bays have double doors, allowing much of the commercial façade to be opened to Folsom Street, if desired. A commercial use at this location will bring more life to this stretch of Folsom Street compared to the auto body repair shop, which has almost no walk-in foot traffic. New Folsom Street sidewalks and Clementina Street sidewalks will include street trees and bike racks and pedestrian amenities. The full extent of the sidewalk improvements along Folsom Street are yet to be designed, because the Central SoMa plan for the design of Folsom Street is still ongoing. Once

it is determined what the ultimate design will be for Folsom Street, we will incorporate additional sidewalk improvement features along Folsom Street, possibly including a sidewalk “bulb-out”, in a way which integrates into the new Folsom Street design.

In addition to providing greatly needed BMR units and market rate units, this project will provide Eastern Neighborhoods Infrastructure Impact Fees including over \$530,000 of residential impact fees and over \$27,000 of commercial impact fees. In addition to these impact fees, approximately \$52,000 of fees will be paid to the San Francisco Unified School District.

Neighborhood Outreach:

During 2017 we have had numerous meetings with surrounding neighbors and neighborhood groups. For example, on May 10th we had a neighbors meeting after having notified all property owners and tenants within a 300’ radius of our property. At the meeting we presented our revised and updated project design, including the project’s shadow impact on the Gene Friend Recreation Center, which is an additional .005% sq. ft. of shadow hours per year. The neighbors meeting went well, there was no opposition, and many neighbors stated that they looked forward to the construction of the project. Although Barbara Lopez of Jane Kim’s office attended, there were no representatives from nearby neighborhood groups in attendance, so we decided to schedule separate meetings with nearby community organizations.

On July 5th I met with community organization representatives at United Playaz. United Playaz is a community organization located on Howard Street near Russ Street. In attendance were Rudy Corpuz and Misha Olivas of United Playaz; Angelica Cabande of SOMCAN (South of Market Community Action Network); Carla Laurel of West Bay Pilipino Multi Service Center; and Bernadette Borja Sy of the Filipino American Development Foundation. We presented shadow diagrams which indicated the small amount of shading on the Gene Friend Recreation Center resulting from our project, and all in attendance agreed that the shadow was nearly insignificant and not an issue for them. We additionally discussed the four BMR units which we were providing, and there was some discussion about the possibility of providing one or two additional BMR units.

One of the issues we discussed is that Goldman Architects is a member of the SoMa community, having been located at 172 Russ Street since March of 2001. Our office is within one to three blocks of the four community organizations with whom we met. Goldman Architects, as a member of the SoMa community, is quite excited to be able to build housing in our own neighborhood which can benefit the Filipino community and the overall SoMA community.

Our next meeting with community groups was on July 13th and was held at the office of Goldman Architects. Rudy Corpuz and Carla Laurel attended this meeting. We discussed project costs and BMR housing and the possibility of adding two additional BMR studio units to the Project.

On July 24th we met again, this time at the West Bay Pilipino Multi Service Center. Representatives from West Bay Pilipino Multi Service Center, United Playaz, SOMCAN, and the Filipino American Development Foundation were in attendance. During this meeting and over the following few days, it was determined that rather than provide additional BMR units, helping the four community organizations in other ways would be more useful for their programs.

By the end of August, 980 Folsom LLC and the four community organizations had come to an agreement regarding 980 Folsom LLC’s contribution of a set of benefits which would be very helpful for the

organizations' work in SoMa and nearby neighborhoods. As one example, 980 Folsom LLC will incorporate art from local Filipino artists into the building's lobby and / or exterior which will relate to and contribute to the Filipino Cultural Heritage District.

Goldman Architects and 980 Folsom LLC now have very good relationships with the primary local community organizations, and I am informed that some representatives of those organizations may speak in favor of our project at the joint hearing on October 5th.