



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning Commission

HEARING DATE: JULY 2, 2015

Continued from the April 23, 2015 and May 7, 2015 Hearings

Date: August 2, 2007
Case No.: **2013.0883DV; 2014.0884DV**
Project Address: **1364-1370 Pacific Avenue**
Zoning: Pacific Avenue Neighborhood Commercial District (NCD)
40-X Height and Bulk District
Block/Lot: 0155/020, 021
Project Sponsor: Riyad Ghannem
r-g architecture
560 3rd Street
San Francisco, CA 94107
Staff Contact: Kevin Guy – (415) 558-6163
kevin.guy@sfgov.org
Recommendation: **Do not take DR and approve the projects as proposed**

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BACKGROUND

The project is to demolish two existing one-story commercial buildings and construct two new four-story buildings, each reaching a height of 40 feet, containing one dwelling unit and ground-floor retail space. The proposal includes two separate buildings on separate lots, filed under separate building permit applications. However, the projects are being proposed by the same sponsor and have been designed by the same architect. In addition, the requests for a Variance and a Rear Yard modification, and the requests for Discretionary Review, apply to both individual buildings. It should be noted that, although the project is the subject of a Discretionary Review request, the properties are located within a Neighborhood Commercial District. The Residential Design Guidelines apply only to properties within RH-, RM-, and RTO Residential Districts.

These items were originally scheduled for the April 23, 2015 Planning Commission hearing. Several days prior to that hearing, staff received allegations of violations occurring at the subject properties, including residential uses within both of the existing commercial buildings. The Commission continued the items to May 7, 2015, then again to July 2, 2015, to allow the Planning Department and the Department of Building Inspection (DBI) to investigate these allegations and catalog any violations on the properties. In addition, the Commission requested that the sponsor supplement the project plans with additional information regarding existing site conditions, as well as additional exhibits depicting the massing of the proposed buildings in the context of the subject block.

CURRENT STATUS

Enforcement staff from both DBI and the Planning Department have visited the properties and found several violations. For the property at 1364 Pacific Avenue, a change in use had occurred at the front of the building without permits, from a retail store to a sewing/alterations shop. At the rear of the building at 1364 Pacific Avenue, a dwelling unit had been created without permits, including two bedrooms, a kitchen, and a full bathroom. The dwelling unit has been occupied by the owners of the property (the parents of the applicant), who also operate the sewing/alterations shop at the site and the retail store on the adjacent property at 1370 Pacific Avenue. It should be noted that the construction of the proposed projects would abate the existing violations at 1364 Pacific Avenue, by demolishing the existing building (and, by extension, removing the existing uses and improvements that were established without permits). The applicant has stated that he intends for his parents to occupy one of the two proposed single-family dwelling units.

For the property at 1370 Pacific Avenue, staff found that an awning and sign for the retail store had been installed without permit. Enforcement staff found no evidence of residential use on the 1370 Pacific Avenue property. On June 16, 2015, the applicant obtained building permits to legalize the sign and replace the cover of the awning structure.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission would approve the projects as proposed without taking Discretionary Review. In addition, the Zoning Administrator would need to grant a Rear Yard Modifications for each project, as well as a Variance for driveway entry width for each project.

BASIS FOR RECOMMENDATION

- The project has incorporated the revisions requested by the RDT.
- The project reinforces the surrounding pattern of buildings with full lot coverage, with frontages on both Pacific Avenue and Lynch Street.
- The project, as expressed along the Lynch Street frontage, is compatible with the narrow, intimatescale of the alley and does not overwhelm the narrow street.
- The applicant has obtained permits to correct the previous violations at 1370 Pacific Avenue.

RECOMMENDATION: Approve with Conditions

Attachments:

- Summary of violations at 1364-1370 Pacific Avenue from Planning Dept. enforcement staff
- Department of Building Inspection: Complaint Data Sheets for violations at 1364-1370 Pacific Ave
- Updated Project Plans
- Correspondence in Support of Project

From: [Guy, Kevin \(CPC\)](#)
To: [Luellen, Mark \(CPC\)](#)
Subject: Fw: 1364 and 1370 Pacific Avenue Status of Enforcement
Date: Thursday, June 25, 2015 10:28:51 AM

From: Purvis, Jonathan (CPC)
Sent: Thursday, May 21, 2015 11:39 AM
To: mooreurban@aol.com
Cc: Haw, Christine (CPC); Guy, Kevin (CPC)
Subject: 1364 and 1370 Pacific Avenue Status of Enforcement

Hi Commissioner Moore,

We received the complaint about possible work without permit at these two buildings, the subject of DR hearings 2013.0883D and 2013.0884D continued to July 2, 2015.

Permit history and site inspections by Planning and Building reveal the following violations:

At 1364 Pacific Avenue:

- Conversion of a retail store to sewing/alterations shop at front of building without permit.
- Dwelling unit at rear (owner -occupied) without permit.

At 1370 Pacific Avenue:

- Awning and sign installed at front of retail store without permit.

Notices of the Violations were issued by DBI.

Please, let me know if you need any more information on this.

Thanks.

Jon L. Purvis

Code Enforcement Planner

San Francisco Planning Department

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REUBEN, JUNIUS & ROSE, LLP

June 24, 2015

Via Messenger

Mr. Rodney Fong, President
San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

**Re: 1364-1370 Pacific Avenue
Response to Discretionary Review
Building Permit Application Nos. 2014.0812.3674 & 2014.0812.3679
Hearing Date: July 2, 2015
Our File No.: 8852.01**

Dear President Fong and Commissioners:

We represent Harold Tang, the sponsor of a project to demolish two one-story commercial buildings at 1364 and 1370 Pacific Avenue and construct two adjacent residential buildings with ground-floor, neighborhood-serving retail. Mr. Tang's family has owned and operated small sewing and retail businesses at these properties since the 1980s. Once constructed, Mr. Tang's family intends to continue operating its retail business at the ground floor of 1364 Pacific Available, and to occupy the upper levels as multi-generational home. 1370 Pacific Avenue will be leased to new occupants.

The request for discretionary review ("DR Request") filed by the Pacific Avenue Neighborhood Association ("PANA" or "DR Requestors") should be denied because:

- It does not establish the exceptional or extraordinary circumstances necessary to justify the Commission's use of special discretionary review powers;
- The projects are well-designed, consistent with neighborhood use and character, and will already incorporate setbacks that are unmatched in the area and will preserve light, air and privacy to adjacent structures;
- The additional modifications sought by the DR Requestors are excessive and would unreasonably restrict development on these sites; and
- The projects enjoy strong support from neighborhood residents, as reflected in the letters and signatures attached in **Exhibits E and F**.

We look forward to presenting these projects to you on July 2, 2015.

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin
Jay F. Drake | Lindsay M. Petrone | Sheryl Reuben¹ | Tuija I. Catalano | Thomas Tunny | David Silverman
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A. The Standard for Discretionary Review Has Not Been Met

As stated in the Planning Department's DR Application handout, "discretionary review is a *special power* of the Commission, outside of the normal building permit approval process. It is *supposed to be used only when there are exceptional and extraordinary circumstances* associated with the proposed project. The Commission has been advised by the City Attorney that the Commission's discretion is sensitive and must be exercised with *utmost constraint*."¹

In this case, the Planning Commission should exercise such constraint by denying the DR request and approving the Project. The DR Requestors have provided no exceptional or extraordinary circumstances surrounding the projects that would merit the Commission's exercise of the DR power, and the specific issues raised by the DR Requestors are meritless, for the reasons that follow.

B. Site Description

The projects will construct of two separate buildings, designed by the same architect, on separate but adjacent lots.

The subject properties are located on the north side of Pacific Avenue between Hyde and Leavenworth Streets. They are through lots, with frontage on both Pacific Avenue and Lynch Street.

The properties are in the Pacific Avenue Neighborhood Commercial District and 40-X height and bulk district. The area contains mostly residential buildings with some ground-floor neighborhood-serving retail. *The projects are consistent with this character*. Nearby buildings also vary significantly in scale, but are generally between one to four stories in height. However, directly across Pacific Avenue are two five-story, multi-unit residential buildings spanning approximately 200 combined linear feet along that street.

As shown in the parcel map attached as **Exhibit A**, *nearly all other lots on the same block face have been built out over their full lot area*. This map also shows that the properties to be developed *are among the narrowest lots on their block*. The 1364 Pacific Avenue lot is only 20 feet in width, while the 1370 Pacific Avenue lot is just 17.5 feet. The majority of other lots on the same block face range from 20 feet to 40 feet in width, while lots on the north side of Lynch Street range from 20 to 137.5 feet in width.

Images of the properties and nearby buildings are provided on page **A0.03** of the plans, attached as **Exhibit B**.

¹ Emphasis added.

C. Project Description

The projects will construct two adjacent four-story homes, each reaching a maximum height of 40 feet and within the permitted height limit. The buildings' ground floors will contain a small (between 762 and 912 gsf) neighborhood-serving retail spaces, fronting on Pacific Avenue. Below-grade garages, accessible from Lynch Street, will each contain 1 parking space.

The buildings' upper three floors will provide moderately-sized homes (2,032 to 2,340 residential gsf), each containing three bedrooms and suitable for family occupancy. The second floor of each building will contain kitchen, dining, and living areas. The third floors will contain two bedrooms and bathrooms, while the fourth level would contain an additional bedroom and bathroom suite. Two small (101 to 120 sf.) decks would be provided at the third and fourth levels of each building, accessible through private bedrooms. Each building would include a small (277 to 334 sf.) landscaped roof deck for use by occupants.

This design is intended to provide a space suitable for multi-generational family living, which is in scarce supply. Once complete, Mr. Tang's family intends to live at 1364 Pacific Avenue. He and his wife would occupy the fourth floor bedroom; his daughter's family would occupy the bedrooms on the third floor.

D. Response to Discretionary Review Comments

The projects are moderately-scaled and will complement the surrounding neighborhood character and land uses. The concerns raised by the DR Requestors do not merit discretionary review, for the reasons discussed below.

i. The Rear Yard Modification Is Appropriate and Consistent with Adjacent Development Within the Pacific Avenue NCD.

The DR Requestors seek to impose a 45% rear yard setback on both lots, object to the granting of any rear yard modification for the projects, and seek to remove the upper floors of each building. This would unreasonably restrict development on the properties, without providing any practical benefit over current design.

Modification is Minor

Planning Code Section 134 sets forth the rear yard setback requirements for all neighborhood commercial districts. This Section requires that projects in the Pacific Avenue

NCD provide a 15-foot setback (25% of the lot depth), beginning at the lowest level containing a dwelling unit.²

The new buildings will each contain three residential floors over ground-floor retail space. Because no dwellings are provided at the buildings' ground floors, no setback is required at that level and the ground floors will extend the full lot depth. This is consistent with the pattern of development in the area. As shown in the images of Lynch Street attached as **Exhibit C**, *nearly every other property along Lynch Street contains buildings that have been built out to their full lot depths.*

The new buildings will provide 9'9" setbacks at their second floors, and progressive setbacks at each succeeding level. However, because Section 134 would require a 15-foot setback at the second floors, the projects require minor modifications at that level. This is allowed under Section 134(e), and justified by the significant and progressive setbacks that will already be provided at the remaining residential levels. *At their upper floors, the projects would both be set back more than 45% of the lot depth from Lynch Street.*

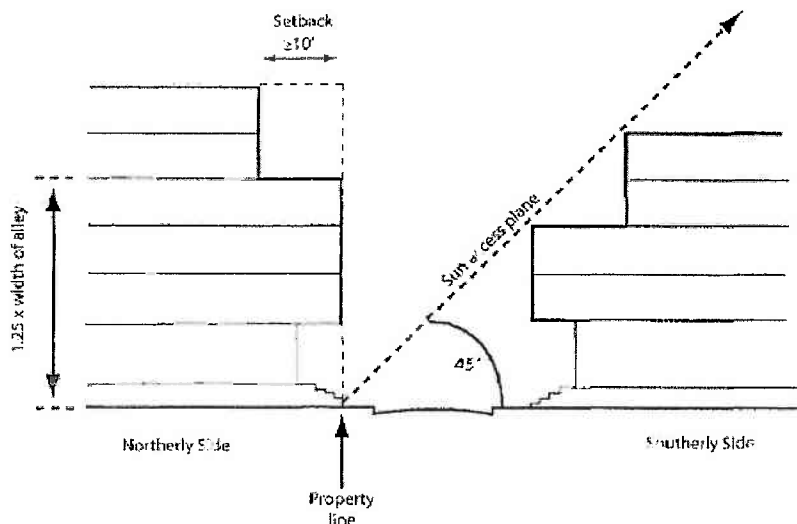
Unprecedented Level of Setback for Area is Already Provided

Planning Code Section 261.1 imposes *strict and non-variable height and setback requirements* for properties located on the south side of narrow, east-west streets (the "Sun Access Plane Setback"). The purpose of this requirement is to protect the intimate character of narrow streets, and to prevent over-crowding or over-shadowing.

The properties are located on the south side of Lynch Street, and must comply with the Sun Access Plane Setback by providing "upper stories which are set back at the property line such that they avoid penetration of a sun access plane defined by an angle of 45 degrees extending from the most directly opposite northerly property line." An image from Planning

² We note that there is a discrepancy in the Planning Code. DR Requestors argue that a 45% rear yard requirement should apply at the first story and above, pursuant to Planning Code Section 732.12. However, the language in Section 732.12 appears erroneous, as it cross-references a Code Section *applicable solely to SRO units in R Districts (§134(c))*. Rather, Planning Code Section 134(a)(1)(C) properly applies a 25% rear yard standard to properties in the Pacific Avenue NCD. This 25% standard has been applied by the Department in its DR response letter for the projects. Regardless of the standard applied, the requested modification is justified for the reasons discussed herein.

Code Section 261.1, showing the *substantial nature of this setback* is provided below:



No part or feature of the buildings may penetrate this required set-back plane, and no Variances or modifications can be granted from this requirement.

To achieve this standard, the projects' second floors are set back 9'9" from Lynch Street, and around an additional 9 ½ feet at each succeeding level. *At the fourth floors, the buildings will be set back more than 28 feet from Lynch Street, exceeding the 45% setback requested by the DR Requestors.* Images of the projects' setbacks are shown on **page A7.00** of the plans, attached as **Exhibit B**.

This extent of setback is unmatched on the block. Nearly all other properties along the same segment of Lynch Street are built out to their full lot areas, many extending three or four stories in height with no setback.

The mandatory Sun Access Plane Setback significantly restricts development on these narrow lots (just 17.5 and 20 feet wide, respectively). However, it does achieve the intended effect: maintaining ample sunlight access and open space along Lynch Street. The DR Requestors concerns regarding project impacts to sunlight and open are therefore unsupported.

Further Setback Would Not Serve Intended Purpose

The purpose of rear yard setbacks under Section 134 is "to assure the protection and continuation of established midblock, landscaped open spaces," and provide a sense of

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openness between structures. Imposing further setback requirements on the projects would not serve these goals.

First, *there is no established pattern of midblock open space in this area.* Instead, nearly all buildings along this segment of Lynch Street are built out to their full lot areas. Consistent separation between buildings in this area is provided by Lynch Street itself. In fact, the existing rear yard setback at 1370 Pacific Avenue (the only one of this kind along this segment of Lynch) has proven to be an attractive nuisance, accumulating trash and encouraging vagrancy and crime. For this reason, the owner of the adjacent property at 1374 Pacific Avenue has expressly requested that the projects eliminate the existing setback, as discussed in his letter attached as **Exhibit D**.

Second, *the Sun Access Plane Setback incorporated into the projects' will already provide unmatched height and bulk restrictions on these sites.* This will effectively preserve a sense of openness between structures and maintain light and air access to adjacent properties.

ii. Building Height Complies with Zoning and Is Compatible with the Scale of Development in the Area.

The DR Requestors' concerns regarding the projects' height are unreasonable. The new buildings will reach a *maximum height of 40 feet*, which is within the height limit and consistent with other development in the neighborhood.

The Pacific Avenue NCD contains a number of four-story buildings, and far-bulkier, 5-story buildings are located directly across the street at 1333 and 1335 Pacific Avenue. Moreover, due to the required Sun Access Plane Setback, *the portion of the projects reaching a maximum height of 40 feet will only extend for the first 30 feet of lot depth from Pacific Avenue.* This significant and non-variable setback requirement serves its intended purpose of preventing shadow impacts to Lynch Street.

Finally, Mr. Tang *has already revised the projects' design in order to respond to the DR Requestors' concerns* by: (1) eliminating an originally proposed parapet at the building's roof and replacing it with an open railing system; (2) setting back the open railings by five feet from Pacific Avenue; and (3) removing originally proposed stair penthouses and solar panels. An image showing these modifications, which have not been acknowledged by DR Requestors, is provided on **page A7.01 of Exhibit B**.

iii. The Project Will Not Cause Noise or Privacy Concerns for Neighbors.

The DR Requestors claim that the project balconies and roof deck will result in noise and privacy impacts along Lynch Street. This is untrue.

The projects will contain two moderately-sized homes suitable for multi-generational family occupancy. The small ground-floor retail spaces would front on Pacific Avenue, activating that street frontage with little perceivable impact on Lynch Street. *These uses are not anticipated to generate unreasonable noise levels.*

The new buildings would provide small (100 to 120 square-foot) balconies at the third and fourth floors, accessed via bedrooms. They are not anticipated for use by large groups. In addition, the buildings' roof decks would be limited to 277 and 344 square feet, respectively, and situated near the Pacific Avenue frontage.

In response to the DR Requestors' concerns, Mr. Tang has already removed the originally-proposed second-floor decks from each building. As a result, the remaining balconies have significant vertical and horizontal separation from other properties on Lynch Street, reducing the potential for perceived privacy or noise impacts to neighboring properties.

iv. Modifications Requested by PANA Would Unreasonably Restrict Development.

The properties are narrow through-lots, limited to a maximum height of 40 feet. Development on these sites is also significantly restricted by the required Sun Access Plane Setback, which no other buildings on this block provide.

Further requests by PANA to eliminate the buildings' 4th floors or require additional rear yard setback *would unreasonably restrict development on these sites.* For example:

- Elimination of the fourth floors would remove a bedroom and bathroom area designed to make the buildings suitable for multi-generational family living;
- Requiring additional setback at the buildings' ground floors would result in a significant reduction to the already-small retail spaces (762 and 912 gsf, respectively), making them less desirable for active, neighborhood-serving uses consistent with the district; and
- Requiring additional setback at the buildings' second floors would reduce the shared dining areas, which are already restricted to approximately 242 and 196 gsf, respectively.

The DR Requestors have also asked that the projects match lightwells on adjacent buildings. However, *neither adjacent owner is requesting this be done, and the owners of the property at 1374 Pacific Avenue have submitted a support letter, attached as **Exhibit D**, specifically stating that they do not wish the projects to match their lightwells.* Further, the

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Sun Access Plane Setbacks will already preserve ample light and air access to both properties.

E. Outreach History and Project Modifications

Over the past two and a half years, the Tang family has met and spoken numerous times with neighbors and community groups about the project. DR Requestors' assertion that Mr. Tang has been unresponsive to their requests and suggestions is untrue. In fact, Mr. Tang has incorporated a number of revisions to the projects' original designs, *specifically responding to neighbor comments as well as suggestions of the Planning Department's Residential Design Team*. These have included:

- Reducing deck sizes and adding planters at their outside edges to address privacy and noise concerns;
- Removing property line windows at request of adjacent neighbors;
- Eliminating originally-proposed second floor decks in order to provide additional vertical and horizontal separation of the projects' open spaces from Lynch Street;
- Eliminating originally-proposed 3'7" parapet from the projects' roof areas, and replacing them with open railings;
- Eliminating stair penthouses and solar panels from the buildings' roofs; and
- Further recessing the open railings at the buildings' roof tops by a minimum of 5 feet from the Pacific Avenue frontage to further minimize the appearance of building height.

An image depicting many of these project modifications is provided on page **A7.01** in **Exhibit B**. Although not required in the NCD, this project has been reviewed by the Planning Department's Residential Design Team, who discussed the additional concerns raised by DR Requestors and determined that the *projects' modified designs are appropriate to the scale and character of development in the area*.

Further, the *projects are strongly supported by the neighborhood*. Even before implementing the project modifications described above, Mr. Tang had received more than *400 signatures of support*, attached as **Exhibit E**. Since making the revisions, the project has garnered both new and renewed support including the many signatures, and letters attached as **Exhibit F**.

F. Previous Site Investigation

This DR Request was originally scheduled for Commission hearing in April 2015. However, the matter was continued due to investigation of a dwelling unit at 1364 Pacific Avenue that had been constructed without a permit. *This issue has since been fully investigated the Department has confirmed the complete history of all uses on the properties.*

During the investigation, the Tang family worked proactively with DBI to verify the history by volunteering family records and coordinating site inspections. The subject unit was constructed in 2010 by Mr. Tang as a temporary stop-gap accommodation following the sale of his family's previous home in the Richmond District, while they prepared for construction of a new home at this site.

On April 30, 2015, DBI issued a Notice of Violation ("NOV") to the owners requiring that a permit be obtained for construction or demolition of the unit. Because *construction of the projects will remedy this violation*, the NOV has been held in abeyance pending resolution of the DR Request. The Tang family therefore asks that the Commission deny the DR Request and allow the projects to proceed as soon as possible.

G. Conclusion

The DR request should be denied. The DR Requestors have not established exceptional or extraordinary circumstances to justify the Commission's exercise of its special discretionary review powers. Rather, the projects are well-designed, moderately-scaled, and incorporate setbacks that are unmatched in the area. The projects will provide desirable new housing suitable for multi-generational family occupancy, as well as small-scale neighborhood-serving retail appropriate for the district. The additional modifications suggested by the DR Requestors would unreasonably restrict development at the sites, and would provide no practical benefit.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Melinda A. Sarjapur

Enclosures

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President Rodney Fong and Commissioners
San Francisco Planning Commission
June 24, 2015
Page 10

cc: Cindy Wu, Commission Vice-President
Michael J. Antonini, Commissioner
Rich Hillis, Commissioner
Christine D. Johnson, Commissioner
Kathrin Moore, Commissioner
Dennis Richards, Commissioner
Kevin Guy
Harold Tang

Exhibit List

- A – Parcel Map
- B – Plans and Renderings
- C – Lynch Street images
- D – Letter of Support from adjacent 1374 Pacific Owner
- E – Initial Signatures of Project Support
- F – Support letters and Signatures Received Following Project Modifications

EXHIBIT A

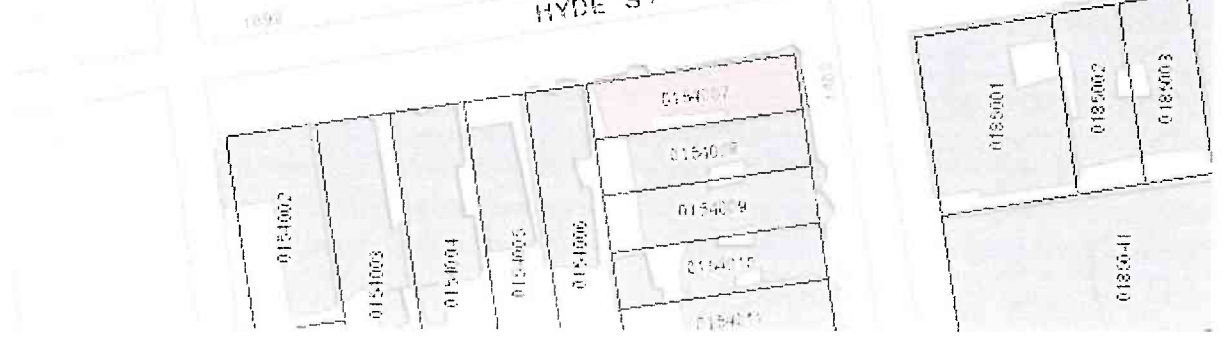
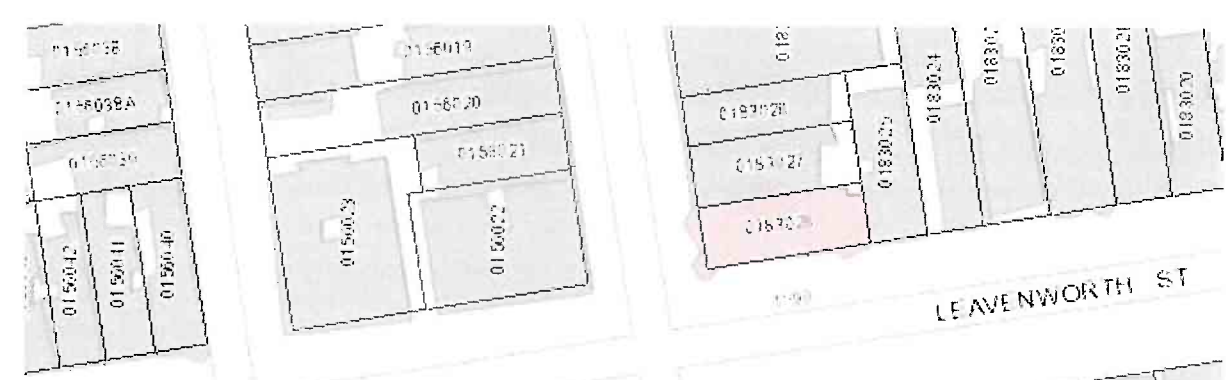


EXHIBIT B

1364 PACIFIC AVENUE

DIRECTORY

CLIENT

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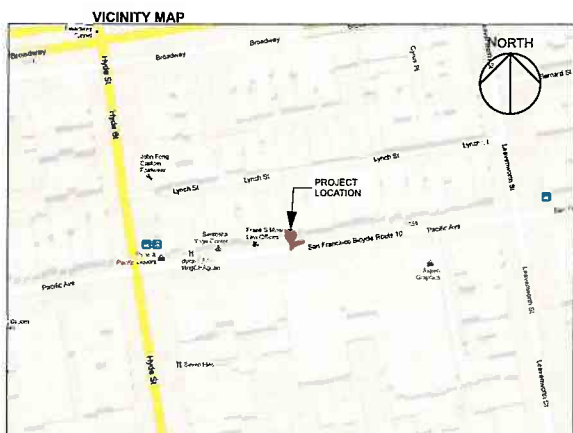
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STRUCTURAL

GENERAL CONTRACTOR



SYMBOLS

REFERENCE SYMBOLS

Table of reference symbols including DEMO WALL, EXISTING WALL, NEW WALL, HIDDEN EDGE, DOOR SYMBOL, WINDOW SYMBOL, SKYLIGHT SYMBOL, WALL TYPE, GRID OR REFERENCE LINE, BUILDING OR WALL SECTION NO., DETAIL NO., OVER SHEET NO., ELEVATION NO., OVER SHEET NO., ROOM NO., OVER SHEET NO., LEVEL LINE OR DATUM, SPOT ELEVATION (N), PROPERTY LINE, NEW OR FINISHED CONTOURS, EXISTING CONTOURS.

ELECTRICAL/MECHANICAL SYMBOLS

Table of electrical/mechanical symbols including SURFACE CEILING LIGHT FIXTURE, RECESSED DIRECTIONAL LIGHT FIXTURE, RECESSED CEILING LIGHT FIXTURE, WALL MOUNTED LIGHT FIXTURE, MOTION DETECTOR & PHOTOCONTROL LIGHT FIXTURE, RECESSED WALL LIGHT FIXTURE, EXPOSED STRIP LIGHT FIXTURE, CONCEALED STRIP LIGHT FIXTURE, TRACK AND STRIP LIGHT FIXTURES, ELECTRICAL SWITCH, 3-WAY SWITCH, 4-WAY SWITCH, DIMMER SWITCH, PULL SWITCH, MANUAL-ON OCCUPANCY SENSOR SWITCH.

ABBREVIATIONS

Table of abbreviations for various construction elements such as CENTERLINE DIAMETER, ABOVE AREA DRAIN, BUILDING BLOCKING, CONTROL JOINT, DRYER, EAST SHEATHING, FEET FOOTING, GAUGE GALVANIZED GYPSUM BOARD, HIGH HOSE BIB, INSIDE DIAMETER, JOINT, LAVATORY LIGHT, MASTER MECHANICAL MANUFACTURER, MINIMUM MISCELLANEOUS, NEW CONTRACT NUMBER, NOT TO SCALE ON CENTER, OVERHANG OPENING OPPOSITE OVER, PROPERTY LINE, PLATE, PLASTIC LAMINATE, PLYWOOD, PRESSURE TREATED, PHOTOVOLTAIC, RELOCATED RISE, RISER, RETURN AIR REFRIGERATOR, REGISTER, REINFORCED REQUIRED, ROOM, ROUGH OPENING, REDWOOD, SOUTH SOLID CORE SMOKE DETECTOR SECTION SHEET SHEATHING SHEATHING, SPECIFICATION SQUARE, SEE STRUCT. DWGS. STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMBOL, TREAD TOWEL BAR TONGUE AND GROOVE TOP OF TOP OF CURB TOP OF PLATE TOP OF WALL TOILET PAPER HOLDER TRANSOM TELEVISION TYPICAL, UNLESS OTHERWISE NOTED, VENT VERTICAL VERIFY IN FIELD VERTICAL GRAIN, WEST WASHING MACHINE WITH WATER CLOSET (TOILET), WOOD, WATER HEATER WITHOUT WATERPROOF WORK POINT, WATER RESISTANT WESTERN RED CEDAR, YARD.

APPLICABLE CODES
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 SAN FRANCISCO BUILDING, ELECTRICAL, MECHANICAL AND PLUMBING CODE AMENDMENTS

SCOPE OF WORK

NEW MIXED-USE OCCUPANCY 4 STORY BUILDING, THREE LEVELS OF SINGLE FAMILY RESIDENTIAL R3 OCCUPANCY OVER COMMERCIAL B OCCUPANCY OVER BASEMENT/PRIVATE GARAGE.

PLANNING CODE SUMMARY

BLOCK & LOT: 0155/020

LOT SIZE: 20'-0" x 60'-0" = 1200sqft

ZONING: PACIFIC AVENUE NEIGHBORHOOD COMMERCIAL DISTRICT (NCD)

REAR YARD: SEC 134; BASIC REQUIREMENT: 25% REQUIRED.
SECTION 134 SUBSECTION (E); MODIFICATION OF REQUIREMENTS IN NC AND SOUTH OF MARKET MIXED USE DISTRICTS. THE REAR YARD REQUIREMENTS IN NC AND SOUTH OF MARKET MIXED USE DISTRICTS MAY BE MODIFIED OR WAIVED IN SPECIFIC SITUATIONS AS DESCRIBED IN THIS SUBSECTION (E).
(1) GENERAL, THE REAR YARD REQUIREMENT IN NC DISTRICTS MAY BE MODIFIED OR WAIVED BY THE ZONING ADMINISTRATOR PURSUANT TO THE PROCEDURES WHICH ARE APPLICABLE TO VARIANCES, AS SET FORTH IN SECTIONS 206.1 THROUGH 206.5 AND 208.2, IN THE CASE OF NC DISTRICTS, AND IN ACCORDANCE WITH SECTION 207(b), IN THE CASE OF SOUTH OF MARKET MIXED USE DISTRICTS. IF ALL OF THE FOLLOWING CRITERIA ARE MET FOR BOTH NC AND SOUTH OF MARKET MIXED USE DISTRICTS:
(A) RESIDENTIAL USES ARE INCLUDED IN THE NEW OR EXPANDING DEVELOPMENT AND A COMPARABLE AMOUNT OF USABLE OPEN SPACE IS PROVIDED ELSEWHERE ON THE LOT OR WITHIN THE DEVELOPMENT WHERE IT IS MORE ACCESSIBLE TO THE RESIDENTS OF THE DEVELOPMENT, AND
(B) THE PROPOSED NEW OR EXPANDING STRUCTURE WILL NOT SIGNIFICANTLY IMPEDE THE ACCESS OF LIGHT AND AIR TO AND VIEWS FROM ADJACENT PROPERTIES; AND
(C) THE PROPOSED NEW OR EXPANDING STRUCTURE WILL NOT ADVERSELY AFFECT THE INTERIOR BLOCK OPEN SPACE FORMED BY THE REAR YARDS OF ADJACENT PROPERTIES.

HEIGHT LIMIT: 40-X

OFF STREET PARKING: COMMERCIAL: NONE REQUIRED IF OCCUPIED FLOOR AREA IS LESS THAN 2005SQFT. THEREFORE NONE. RESIDENTIAL: 1 SPACE FOR EACH DWELLING UNIT.

USABLE OPEN SPACE (RESIDENTIAL): PER SFPC SEC. 135, 136; 100 SQ.FT. PER UNIT IF PRIVATE. 857 sqft PROVIDED

DWELLING UNIT DENSITY: PER SFPC SECTIONS, 207.4, 1 UNIT PER 1000 SQFT OF LOT AREA.

AFFORDABILITY REQUIREMENTS: PER SFPC SEC. 419.3, AFFORDABILITY REQUIREMENTS NOT APPLICABLE TO BUILDINGS WITH LESS THAN 5 DWELLING UNITS. BUILDING HAS 1 RESIDENTIAL DWELLING UNITS, THEREFORE NO AFFORDABILITY REQUIREMENT.

VARIANCE REQ: REAR YARD AND GARAGE DOOR FILED 7.3.2013. CASE NUMBER: 2013.0894V

EXTERIOR AREA CALCS:

Table for Exterior Gross Area with columns: Floor (Story), Zone Category, Zone Name, Calculated Area. Rows include Basement, Story 1, Story 2, Story 3, Story 4, and TOTAL.

BUILDING CODE SUMMARY

OCCUPANCY: R3/B

AREA CALCS:

Table for Commercial Interior Gross Area - B Occupancy with columns: Floor (Story), Zone Category, Zone Name, Calculated Area. Rows include Story 1 and TOTAL.

Table for Residential Interior Gross Area - R3 Occupancy with columns: Floor (Story), Zone Category, Zone Name, Calculated Area. Rows include Basement, Story 1, Story 2, Story 3, Story 4, and TOTAL.

Table for Residential Open Space - R3 Occupancy with columns: Floor (Story), Zone Category, Zone Name, Calculated Area. Rows include Story 3, Story 4, T.O. Roof, and TOTAL.

OCCUPANT LOAD:

R3 = 3421 SQFT/200GROSS SQFT/OCCUPANT = 17 OCCUPANTS
B = 912 SQFT/100 = 9 OCCUPANTS

NOTE: EACH OCCUPANCY HAS ITS OWN SEPARATE EXIT

CONSTRUCTION TYPE: VA

HEIGHT:

- ALLOWABLE: 50'-0" PER CBC 2010 TABLE 503 + 20'-0" PER CBC 504.2 (AUTOMATIC SPRINKLER SYSTEM INCREASE)
- PROPOSED: 40'-0"

STORIES:

- ALLOWABLE: 3 PER TABLE 503 + 1 PER SEC. 504.2 = 4 STORIES
- PROPOSED: 4 STORIES

NOTE: BUILDING IS EQUIPPED WITH THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.5.1.1

MAXIMUM TRAVEL DISTANCE:

- ALLOWABLE: 250'-0" PER CBC 2010 SEC. 1016.1
- PROPOSED: 157'-0" FROM FURTHEST POINT ON ROOF DECK TO EXIT AT PACIFIC AVE.

EXITS: ONE EXIT REQUIRED PER CBC SEC. 1021.1, EXCEPTION 4

ACCESSIBILITY: ACCESSIBLE ROUTE AND ONE ACCESSIBLE RESTROOM PROVIDED PER CBC CHAPTER 11B WITHIN B OCCUPANCY. NO ACCESSIBILITY REQUIRED FOR LESS THAN 4 RESIDENTIAL UNITS PER CBC CHAPTER 11A.

DRAWING INDEX

ARCHITECTURAL

Table of drawing index with columns: DRAWING ID, DRAWING NAME. Rows include A0.00 COVER SHEET, A0.01 CONCEPTUAL IMAGES, A0.02 SITE SURVEY, A0.03 SITE CONTEXT, A0.04 PACIFIC AVENUE BLOCK ELEVATION, A0.05 GREEN BLOG REQUIREMENTS, A1.00 SITE PLAN, A2.00 EXISTING ACCESS-1ST PLANS, A2.01 BASEMENT-2ND PLANS, A2.02 3RD-ROOF PLANS, A6.00 ELEVATIONS, A6.01 ELEVATIONS, A7.00 BUILDING SECTIONS, A7.01 BULK & HEIGHT REDUCTIONS SINC., A7.02 SITE SECTION.

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GENERAL NOTES

- 1. CODES: ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF CURRENT APPLICABLE SAN FRANCISCO AND CALIFORNIA CODES, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS. SEE CODE EDITIONS ON THIS SHEET.
2. EXISTING CONDITIONS AND DIMENSIONS: CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON SITE. CALLED-OFF DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED-OFF DIMENSIONS. DIMENSIONS ARE TO FACE OF STUD OR CONCRETE WALLS, UNLESS OTHERWISE NOTED. DIMENSIONS IN SECTIONS AND ELEVATIONS ARE TO TOP OF PLATE OR TOP OF SUBPLATE UNLESS OTHERWISE NOTED.
3. PLANS & SPECIFICATIONS: THE PLANS AND SPECIFICATIONS SUPPLEMENT EACH OTHER. CONTRACTOR TO IMMEDIATELY REPORT ANY ERRORS, OMISSIONS, AMBIGUITIES OR CONFLICTS IN THE PLANS AND SPECIFICATIONS TO THE ARCHITECT, AND UNTIL THEY ARE RESOLVED, SHALL NOT PROCEED WITH THE AFFECTED WORK.
4. DETAILS: DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR CONDITIONS.
5. CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION, AND SHALL MAINTAIN THE SHORING AND BRACING UNTIL THE NEW PERMANENT STRUCTURE CAN PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT.
6. INSTALLATION: ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS OR RECOMMENDATIONS, UNLESS AGREED TO OTHERWISE BY THE ARCHITECTS.

REVISIONS

Table with columns: NO., DATE, ISSUE. Contains one revision entry for 08.12.2014.

ISSUE

SITE PERMIT 08.12.2014

OWNER

Mr. Harold Tang & Family

1364 Pacific Ave

San Francisco, CA 94109
0155/020

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PROJECT NO.

201209

DATE

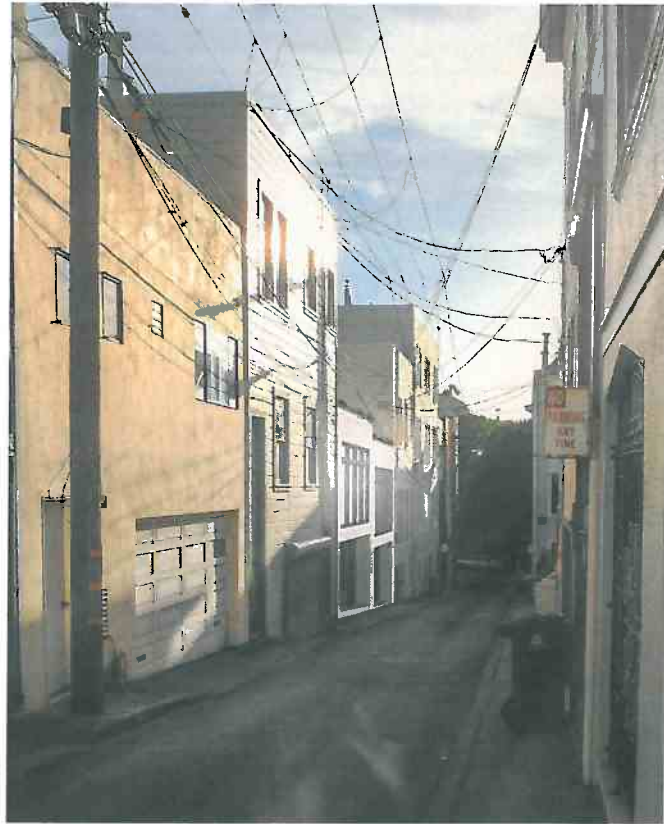
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DRAWING NO. 1 of 14

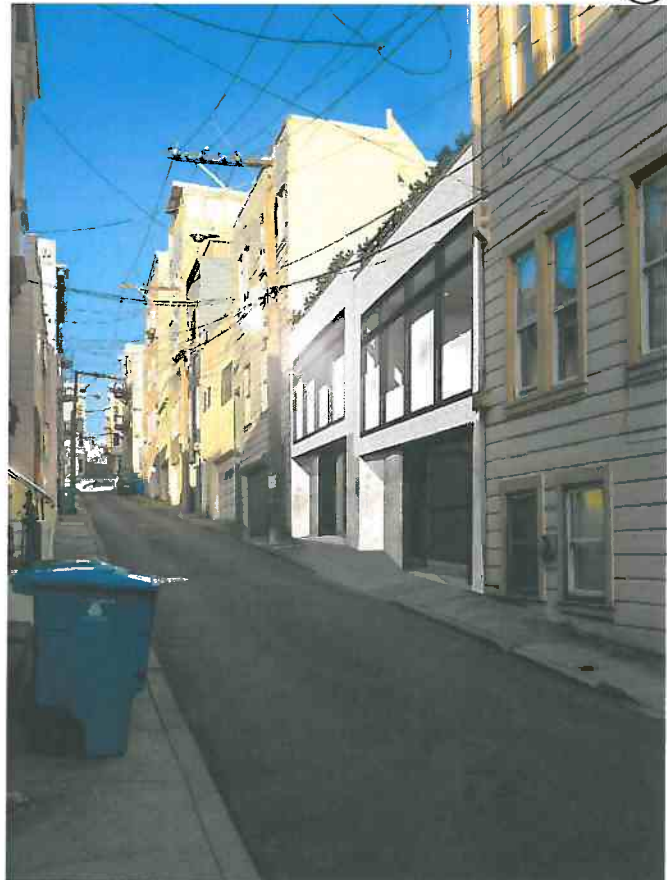
COVER SHEET

DRAWING NO.

A0.00



LYNCH STREET RENDERING 02



LYNCH STREET RENDERING 03



PACIFIC AVENUE RENDERING 01

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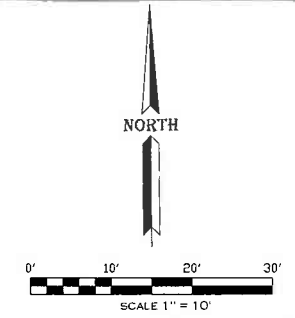
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CONCEPTUAL IMAGES

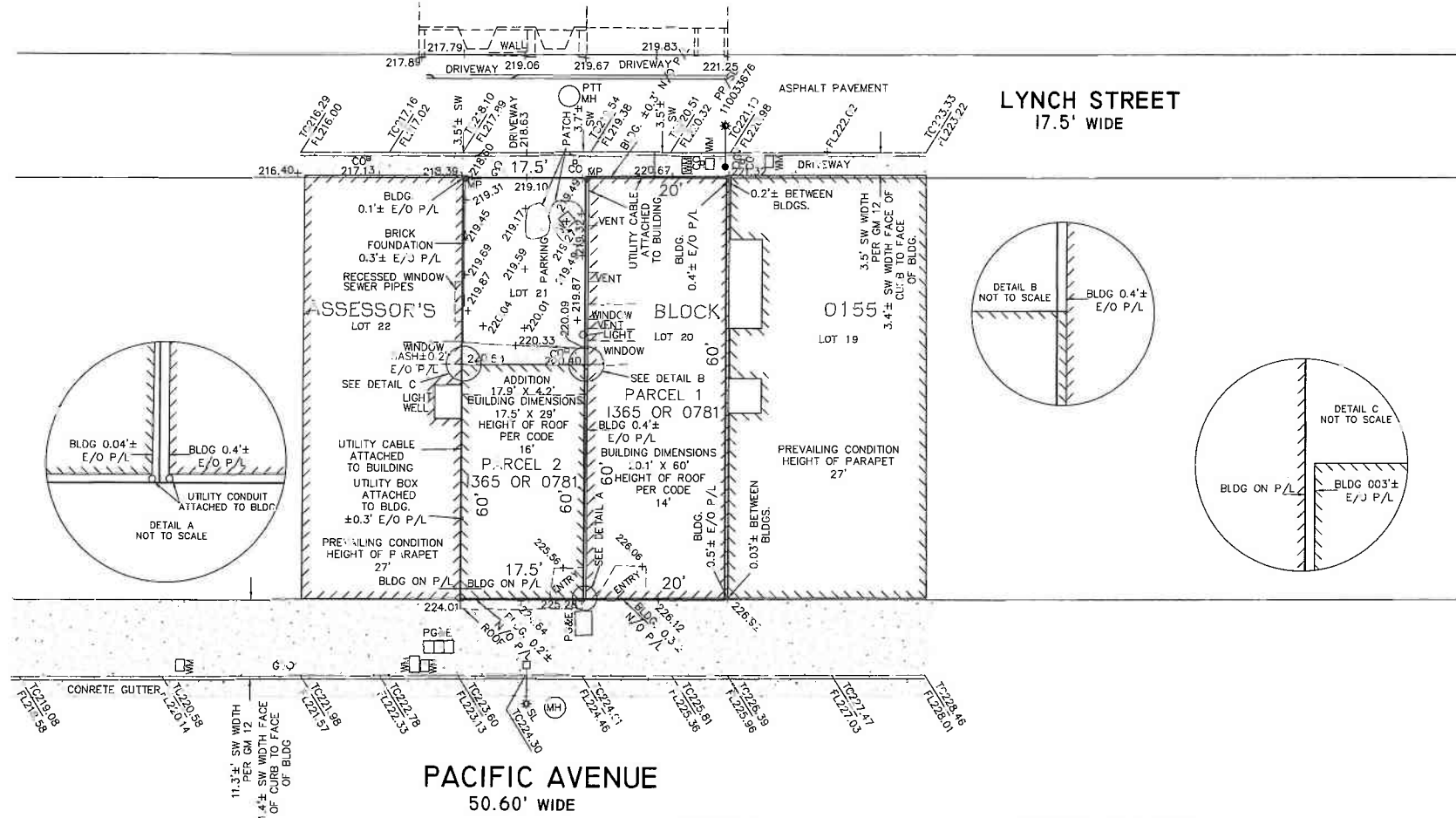
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USE OF THE PROVIDED ELECTRONIC FILES CONSTITUTES YOUR ACKNOWLEDGEMENT AND ACCEPTANCE OF THE FOLLOWING TERMS AND CONDITIONS:

1. WE MAKE NO REPRESENTATIONS AS TO THE COMPATIBILITY OF THESE FILES WITH YOUR HARDWARE OR SOFTWARE. YOU ACKNOWLEDGE THAT ANOMALIES AND ERRORS CAN BE INTRODUCED INTO THE FILES WHEN THEY ARE TRANSFERRED OR USED IN CONJUNCTION WITH INCOMPATIBLE COMPUTER EQUIPMENT OR SOFTWARE. YOU ACKNOWLEDGE AND SOLELY ACCEPT THE RISKS ASSOCIATED WITH AND/OR THE RESPONSIBILITY FOR ANY DAMAGES TO HARDWARE, SOFTWARE OR COMPUTER SYSTEMS OR NETWORKS RELATED TO ANY USE OF THE FILES. THE FILES ARE BEING FURNISHED "AS IS" AND WE ARE NOT RESPONSIBLE FOR ANY DAMAGES DONE BY ANY VIRUS OR SIMILAR TYPE PROGRAMS THAT MAY BE RESIDENT WITH THESE FILES WITHOUT OUR KNOWLEDGE.
2. DATA CONTAINED ON THESE ELECTRONIC FILES ARE INSTRUMENTS OF OUR PROFESSIONAL SERVICE AND SHALL NOT BE USED BY YOU OR ANYONE ELSE RELYING THEM THROUGH OR FROM YOU FOR ANY PURPOSE OTHER THAN AS A CONVENIENCE FOR THE 1364-1370 PACIFIC AVENUE, SAN FRANCISCO, CALIFORNIA PROJECT. ANY OTHER USE OR REUSE BY YOU OR BY OTHERS WILL BE AT YOUR SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO US. YOU AGREE TO MAKE NO CLAIM AND HEREBY WAIVE, TO THE FULLEST EXTENT PERMITTED BY LAW, ANY CLAIM OR CAUSE OF ACTION OF ANY NATURE AGAINST OUR OFFICERS, DIRECTORS, EMPLOYEES, AGENTS OR SUBCONSULTANTS THAT MAY ARISE OUT OF OR IN CONNECTION WITH YOUR USE OF THE ELECTRONIC FILES.
3. YOU SHALL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD US HARMLESS AGAINST ALL DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS ARISING OUT OF OR RESULTING FROM YOUR USE OF THESE ELECTRONIC FILES.
4. THIS ELECTRONIC DRAWING FILE IS NOT A CONSTRUCTION DOCUMENT. DIFFERENCES MAY EXIST BETWEEN THIS ELECTRONIC FILE AND CORRESPONDING HARD-COPY CONSTRUCTION DOCUMENTS. WE MAKE NO REPRESENTATION REGARDING THE ACCURACY OR COMPLETENESS OF THE ELECTRONIC FILE YOU RECEIVE. IN THE EVENT THAT A CONFLICT ARISES BETWEEN THE SIGNED OR SEALED HARD-COPY CONSTRUCTION DOCUMENTS PREPARED BY US AND THE ELECTRONIC FILES, THE SIGNED OR SEALED HARD-COPY CONSTRUCTION DOCUMENTS SHALL GOVERN. YOU ARE RESPONSIBLE FOR DETERMINING IF ANY CONFLICT EXISTS.
5. YOUR USE OF THESE ELECTRONIC FILES DOES NOT RELIEVE YOU OF YOUR DUTY TO FULLY COMPLY WITH THE CONTRACT DOCUMENTS INCLUDING, AND WITHOUT LIMITATION, THE NEED TO CHECK, CONFIRM AND COORDINATE ALL DIMENSIONS AND DETAILS, TAKE FIELD MEASUREMENTS, VERIFY FIELD CONDITIONS AND COORDINATE YOUR WORK.
6. BECAUSE INFORMATION PRESENTED ON THE ELECTRONIC FILES CAN BE MODIFIED, UNINTENTIONALLY OR OTHERWISE, WE RESERVE THE RIGHT TO REMOVE ALL REFERENCES OF OWNERSHIP AND/OR INVOLVEMENT BY SAN FRANCISCO SURVEYING COMPANY FROM THEM. UNDER NO CIRCUMSTANCES SHALL DELIVERY OF ELECTRONIC FILES FOR USE BY YOU BE DEEMED A SALE BY US, AND WE MAKE NO WARRANTIES, EITHER EXPRESS OR IMPLIED, OF MERCHANTABILITY AND FITNESS FOR ANY PARTICULAR PURPOSE. IN NO EVENT SHALL WE BE LIABLE FOR ANY LOSS OF PROFIT OR ANY CONSEQUENTIAL DAMAGES AS A RESULT OF YOUR USE OR REUSE OF THESE ELECTRONIC FILES.



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 SAN FRANCISCO, CALIFORNIA, 94105
 415-321-9300
 WWW.SANFRANCISCO.SURVEYINGCOMPANY.COM



NOTES:
 ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
 ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.
 ROOF HEIGHTS ALONG PACIFIC AVENUE FOR THE SUBJECT SITE ARE CALCULATED PER MUNICIPAL CODE AND ARE THE DIFFERENCE IN THE ELEVATION BETWEEN THE MIDPOINT ELEVATION OF THE TOP OF CURB AND THE MID POINT OF THE ROOF. NO ACCESS TO THE ROOFS OF THE ADJOINING PROPERTIES WAS PROVIDED. THE HEIGHTS SHOWN FOR ADJOINERS IS THE DIFFERENCE IN ELEVATION OF THE MID POINT OF THE TOP OF CURB AND THE PARAPET. THESE HEIGHTS ARE PROVIDED AS AN INDICATION OF PRE-EXISTING CONDITIONS.

DATE OF SURVEY:
 TOPOGRAPHIC SURVEY DATA SHOWN HEREON IS BASED UPON A FIELD SURVEY ACTUALLY PERFORMED UPON THE GROUND IN THE MONTHS OF 11/2012 AND 1/2013

UTILITY NOTE:
 UNDERGROUND UTILITIES SHOWN HEREON BASED UPON A FIELD SURVEY ACTUALLY PERFORMED ON THE GROUND. THE UNDERGROUND UTILITY LOCATIONS ARE SHOWN BASED UPON OBSERVABLE SURFACE EVIDENCE (CONDITIONS PERMITTING). THE OWNER AND/OR CONTRACTOR BEARS THE RESPONSIBILITY FOR ADDITIONAL UTILITY RESEARCH AND FIELD SURVEYING REQUIRED TO PROVIDE NECESSARY DESIGN DATA PRIOR TO DESIGN AND CONSTRUCTION.

PROJECT BENCHMARK:
 ELEVATIONS SHOWN HEREON ARE BASED UPON CITY AND COUNTY OF SAN FRANCISCO DATUM (SEPTEMBER 1970) INTERSECTION HYDE BROADWAY NW CURB CROSS E RIM MH IN WALK ELEVATION = 190.237'

SURVEYOR'S STATEMENT:
 THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

DATE _____

DANE MINGCE
 LICENSE NO. 8142
 LICENSE EXPIRES 12/31/2014

- LEGEND:**
- BLDG BUILDING
 - CO CLEAN OUT
 - DI DRAIN INLET
 - E/O EAST OF
 - FL FLOWLINE
 - GV GAS VALVE
 - MH MAN HOLE
 - MP METAL POST
 - N/O NORTH OF
 - P/L PROPERTY LINE
 - P/P POWER POLE
 - PG&E PACIFIC GAS AND ELECTRIC
 - PTT PACIFIC TELEPHONE AND TELEGRAPH
 - S/O SOUTH OF
 - S/L STREET LIGHT
 - TC TOP OF CURB
 - W/O WEST OF
 - WM WATER METER
 - + 241.14 SPOT ELEVATION
 - SW SIDEWALK
 - GM GRADE MAP
- SURVEY REFERENCE:**
- THE BOUNDARY SURVEY IS BASED UPON THE GRANT DEED SHOWN HEREON. ADDITIONAL DOCUMENTATION REVIEWED AND CONSIDERED:
 BLOCK DIAGRAMS 0151, 0152, 0153, 0154, 0155, 156
 0153, 0154, 0155
 PARCEL MAP NO. 4494
 PARCEL MAP NO. 5197
 PARCEL MAP NO. 5525
 PARCEL MAP NO. 6151
 PARCEL MAP OF 7274 LYNCH STREET
 PARCEL MAP OF 1365-1387 PACIFIC AVENUE
 CASS MONUMENT MAP 12
 CASS GRADE MAP 12
 MONUMENT OF THE FIFTY VARA DISTRICT APPROVED AND MADE OFFICIAL 11/29/1909
 SUPERCEDED MONUMENT MAP 1933 W-16
 CASS FIELD NOTES INDEX NO. 154 ORDER NO. 13423M

MAP OF SURVEY

THE LANDS OF HAROLD YU CHUN TANG AND CONNIE YEE K. TANG AS DESCRIBED BY DEED RECORDED IN DOCUMENT NO. 2003-H409706-00 APRIL 14, 2003 REEL 1365 IMAGE 0781 OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA ASSESSOR'S BLOCK 0155, LOTS 20, 21 A PORTION OF THE 50 VARA BLOCK 271 1364-1370 PACIFIC AVENUE



VIEW LOOKING WEST ON PACIFIC AVE

A



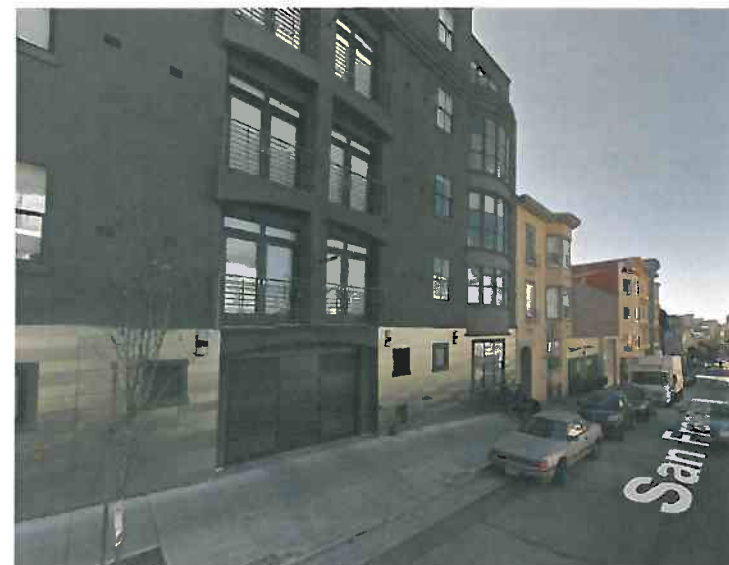
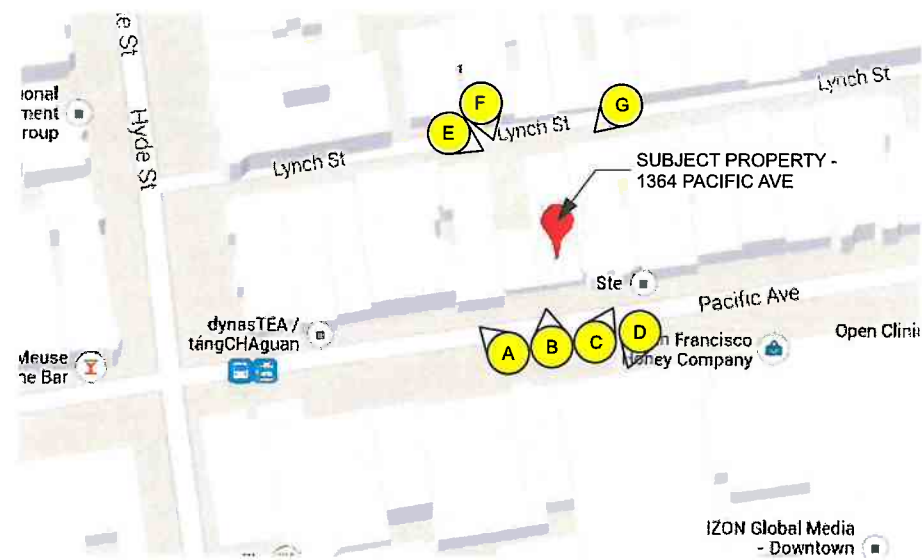
VIEW LOOKING AT FACADE OF SUBJECT PROPERTY

B



VIEW LOOKING EAST ON PACIFIC AVE

C



BUILDINGS ON THE FACING SIDE OF THE STREET

D



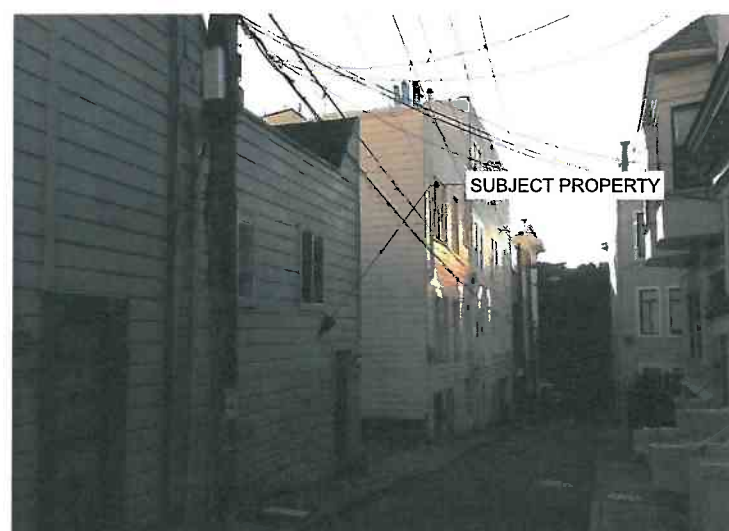
VIEW LOOKING EAST ON LYNCH ALLEY

E



VIEW OF SUBJECT PROPERTY ON LYNCH ALLEY

F



VIEW LOOKING WEST ON LYNCH ALLEY

G



REVISIONS	NO.	DATE	ISSUE

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SITE PERMIT 08.12.2014

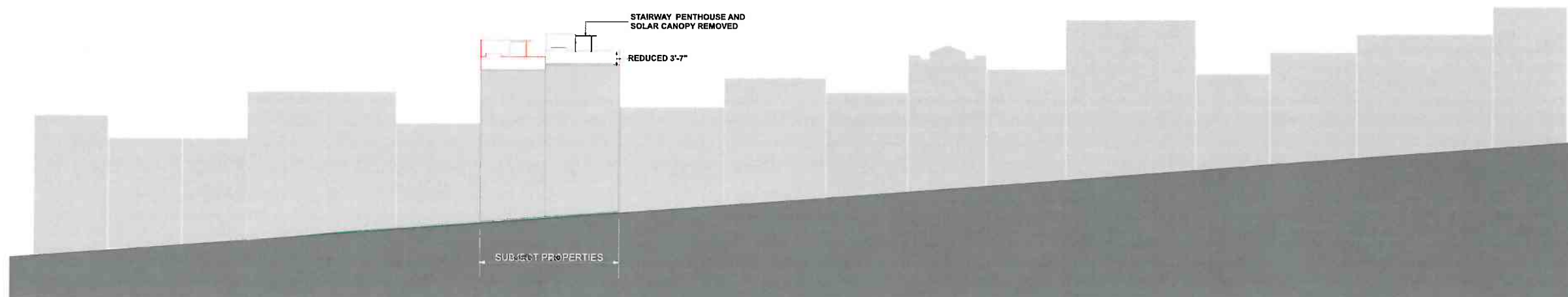
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0155/020

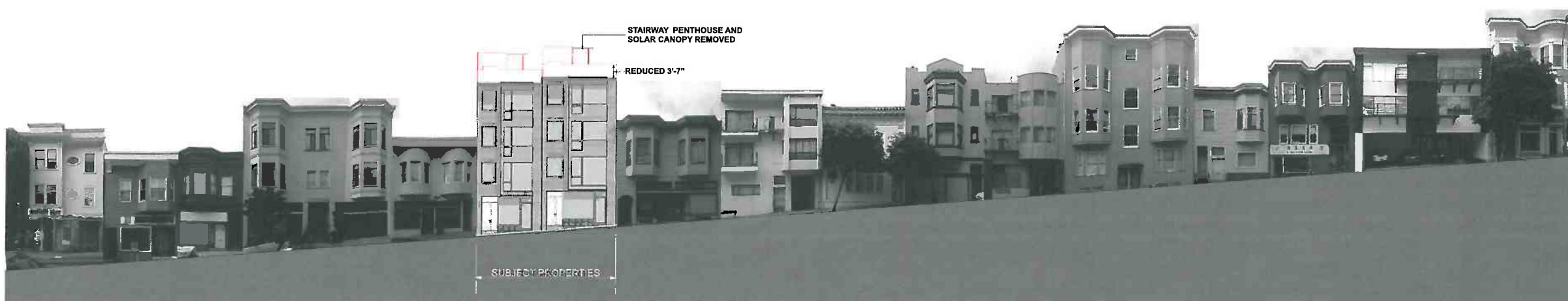
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201209
DATE
8/23/15
DRAWING NO. 4 of 14

SITE CONTEXT

DRAWING NO.
A0.03



PACIFIC AVE BLOCK ELEVATION DIAGRAM



PACIFIC AVE BLOCK ELEVATION RENDERING

REVISIONS
NO. DATE ISSUE

NO.	DATE	ISSUE

ISSUE
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OWNER
Mr. Harold Tang & Family

1370 Pacific Ave
San Francisco, CA 94109
0155/021

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6/23/15

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PACIFIC AVENUE
BLOCK ELEVATION

DRAWING NO.

A0.04

Green Building: Site Permit Submittal

C INFORMATION:

facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 34 Pacific Avenue	Block/Lot 0155/020	Address 1364 Pacific Avenue, San Francisco, CA 94109
Project Area 18 Sq Ft	Primary Occupancy R3	Number of occupied floors 4
Professional/Applicant: Sign & Date		

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment C3, C4, C5, C6, C7, or C8 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details.

ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 sq feet must implement a Stormwater Control Plan using SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management - Comply with San Francisco Construction & Demolition Debris Ordinance	●
Access by Occupants: Provide adequate space and equal access for storage, collection and loading of combustible, recyclable and landfill materials. Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS

Choosing a GreenPoint Rated Project (Indicate at right by checking the box.)	
Number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 10% energy use reduction compared to Title 24, Part 6 (2013).	●
Comply with all California Green Building Standards requirements (Green measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

New residential projects of 4 or more occupied floors must use the Residential High-Rise column. New residential with 3 or fewer occupied floors must use the "New Residential Low Rise" column. LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve a rating depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

LEED PROJECTS						
Type of Project Proposed (Indicate at right)	New Large Commercial	New Low Rise Residential	New High Rise Residential	Large First Time Commercial Interior	Commercial Major Alteration	Residential Major Alteration
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	50	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management - 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance - LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
Energy Use Comply with California Title-24 Part 6 (2013) and meet LEED minimum energy performance (LEED EA p2)	●	LEED prerequisite	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA c2), OR Demonstrate at least 10% energy use reduction (compared to Title 24 Part 6 2013), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA c6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	Meet LEED prerequisite	●	Meet LEED prerequisite		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	●	●	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	CalGreen 4.504.1	CalGreen 4.504.1	CalGreen 5.504.3	CalGreen 5.504.3	CalGreen 4.504.1
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	●	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SS c4.2.	●	See San Francisco Planning Code 155		●	See San Francisco Planning Code 155	
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft.	●	n/r	n/r	●	(addition only)	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5).	●	n/r	n/r	●	●	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	●
Acoustical Control: wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	●	See CBC 1207		●	(envelope alteration & addition only)	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS

Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. ³	Other New Non-Residential	Addition ≥1,000 sq ft OR Alteration ≥200,000 ³
Type of Project Proposed (Check box if applicable)		
Energy Efficiency: Comply with California Energy Code, Title 24, Part 6 (2013).	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SS c4.2).	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces.	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	Addition only
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals.	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	(Testing & Balancing)
Protect duct openings and mechanical equipment during construction	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives.	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints.	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood	●	●
Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows.	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings.	●	●
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	●	(envelope alteration & addition only)
CFCs and Halons: Do not install equipment that contains CFCs or Halons.	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management - Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA c2), OR demonstrate a 10% energy use reduction compared to Title 24 Part 6 (2013), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA c6).	●	n/r

Attachment C-2:

Green Building:

Site Permit Submittal

Version: July 1, 2014



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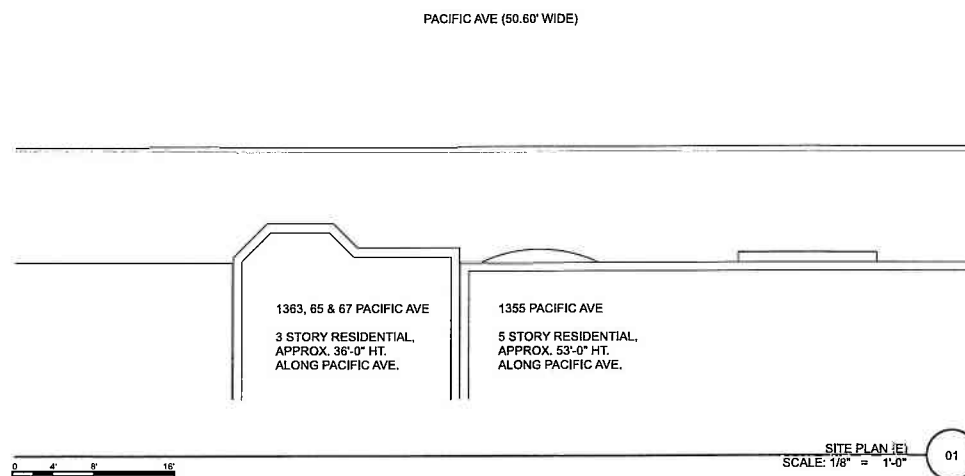
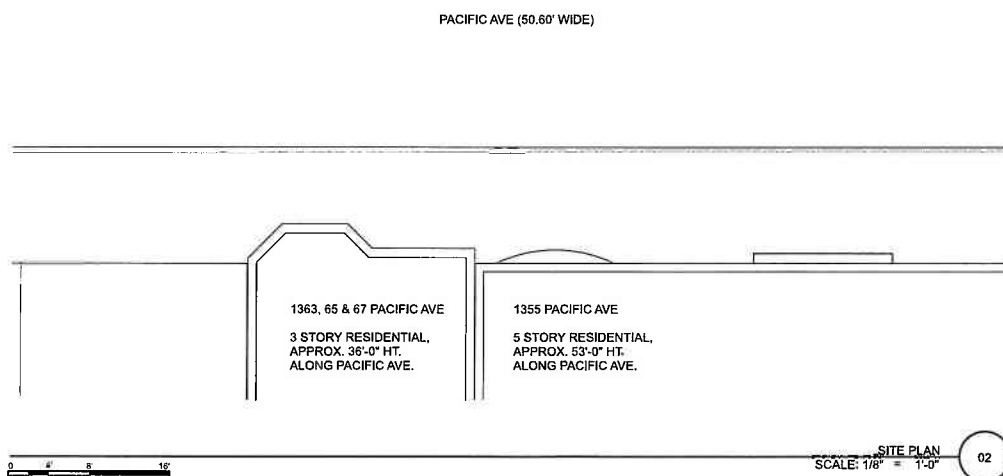
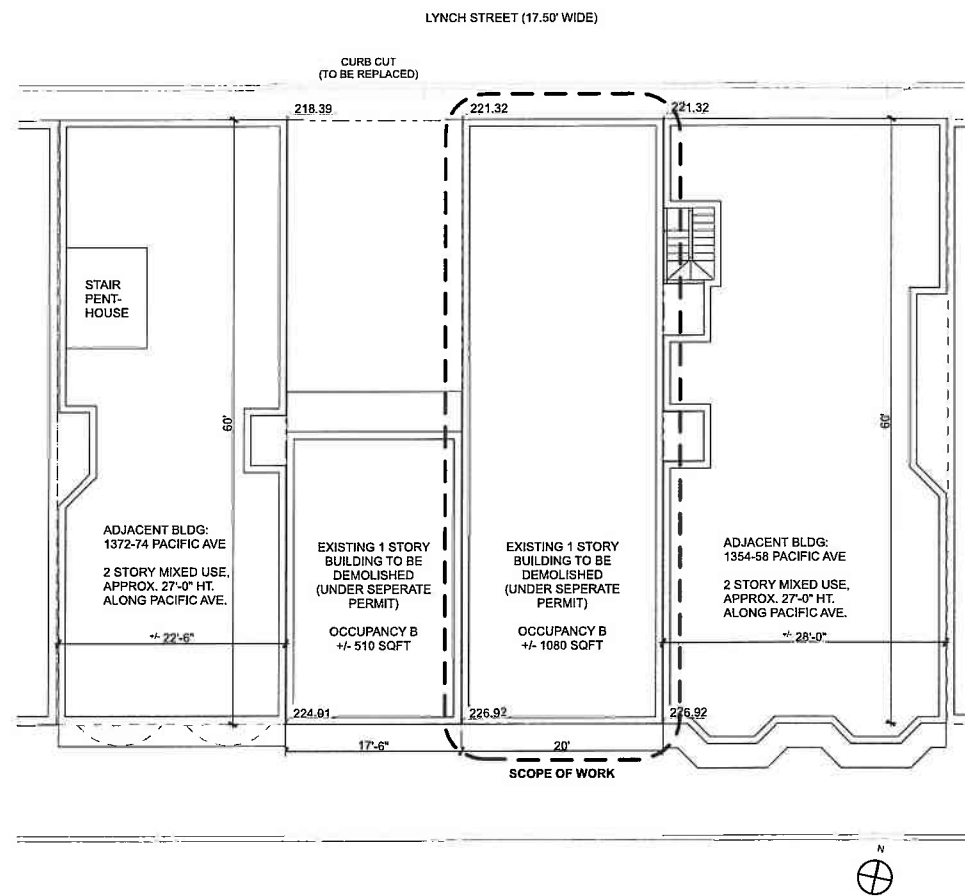
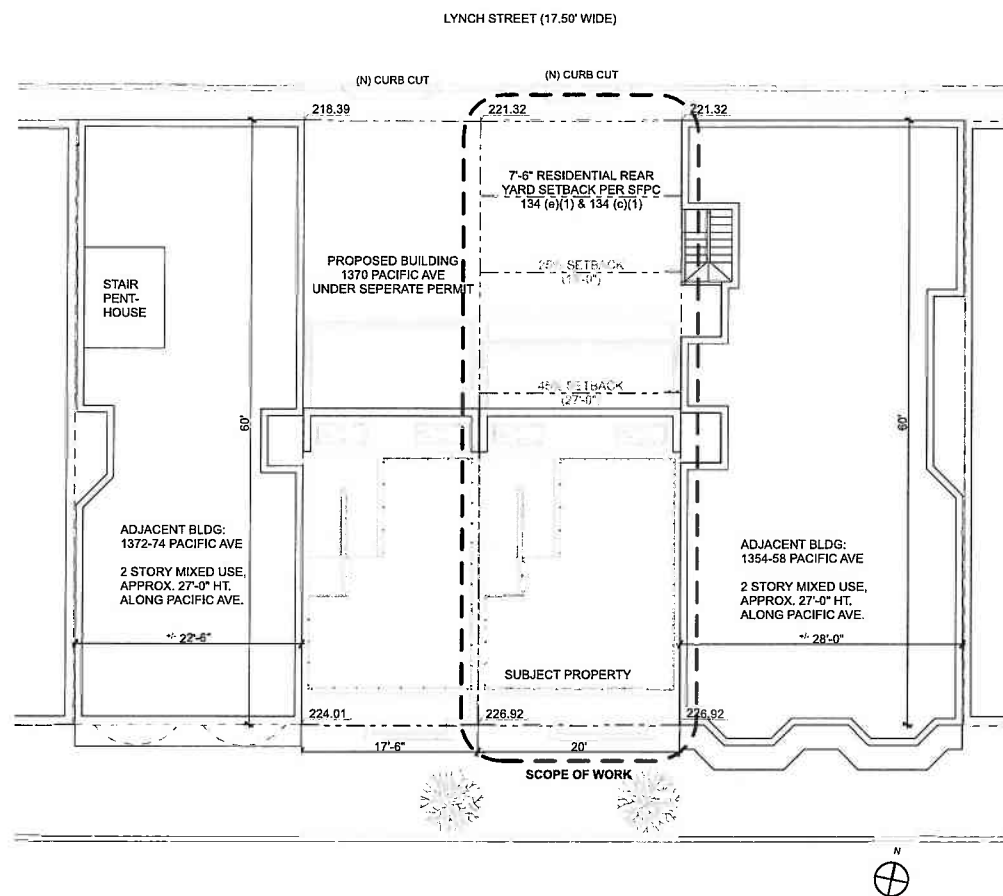
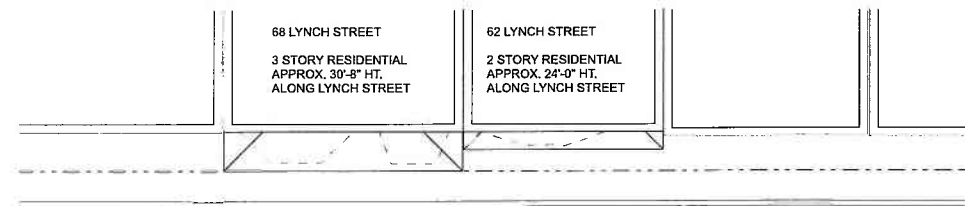
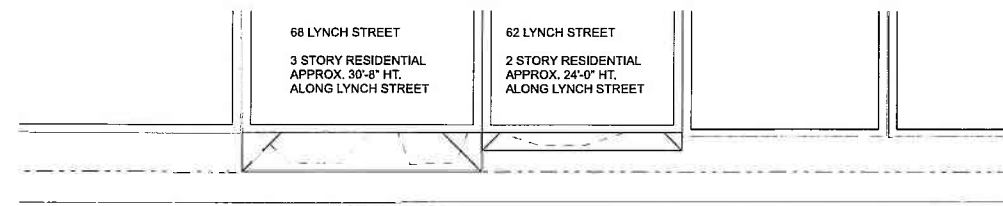
560 34th STREET
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DRAWING NO. 6 of
#LayNo(ref)

1364 PACIFIC AVENUE

San Francisco, CA 94109
0155/020



SITE PLAN 02
SCALE: 1/8" = 1'-0"

SITE PLAN (E) 01
SCALE: 1/8" = 1'-0"

GENERAL NOTES

SHEET NOTES

GRADE PLANE CALCULATIONS
 1364 PACIFIC AVENUE:
 $225.28' + 226.92' + 221.32' + 219.49'$
 $= 893.01' + 4$
 $= 223.25'$
 AVERAGE GRADE PLANE = 223.25'

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SCALE
 AS NOTED

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 RG

PROJECT NO.
 201209

DATE
 6/23/15

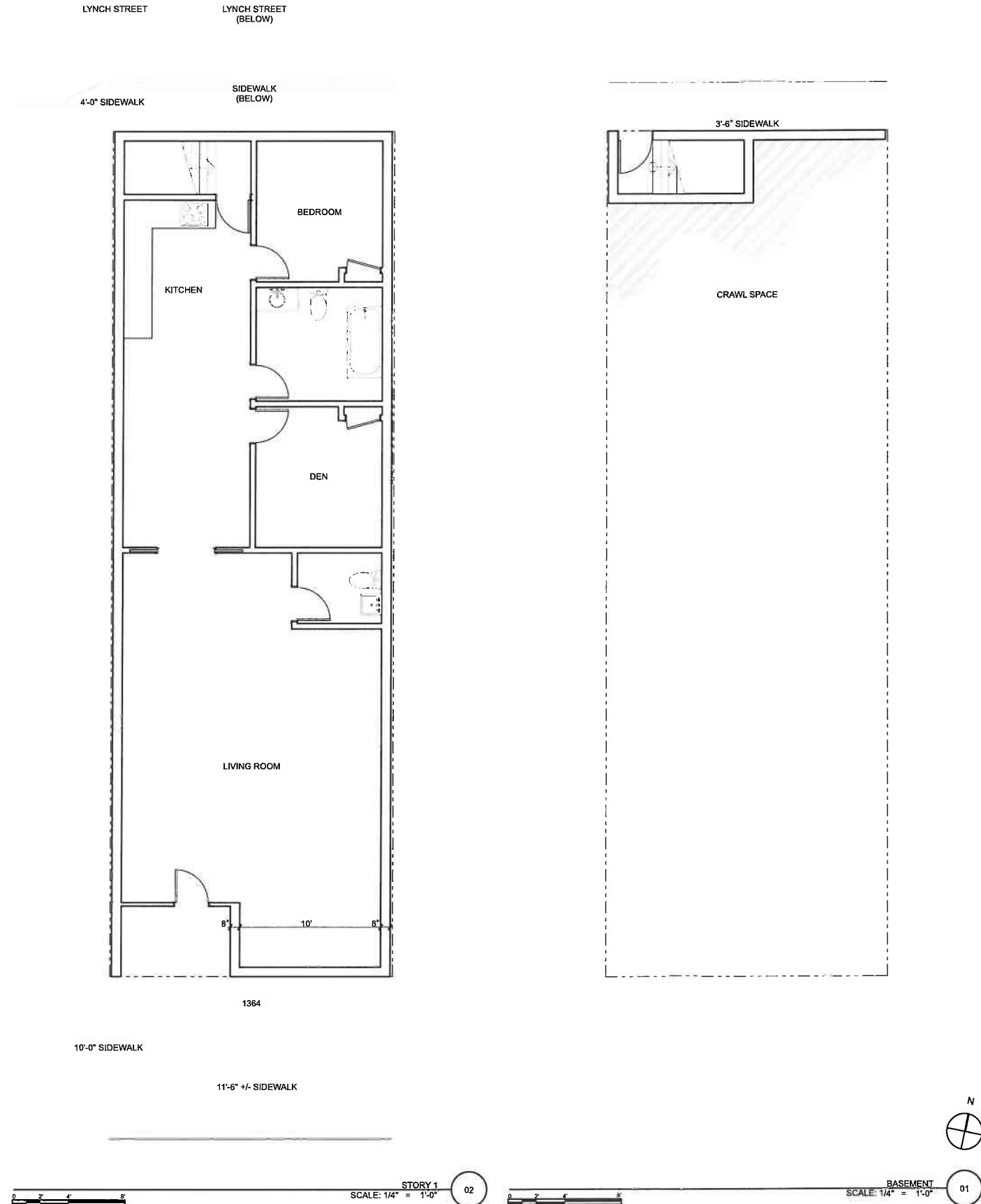
DRAWING NO. 7 of 14

SITE PLAN

DRAWING NO.

A1.00

KEY



GENERAL NOTES

SHEET NOTES

KEY

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DATE
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DRAWING NO. 8 of 14

**EXISTING
ACCESS-1ST PLANS**

DRAWING NO.
A2.00



SHEET NOTES

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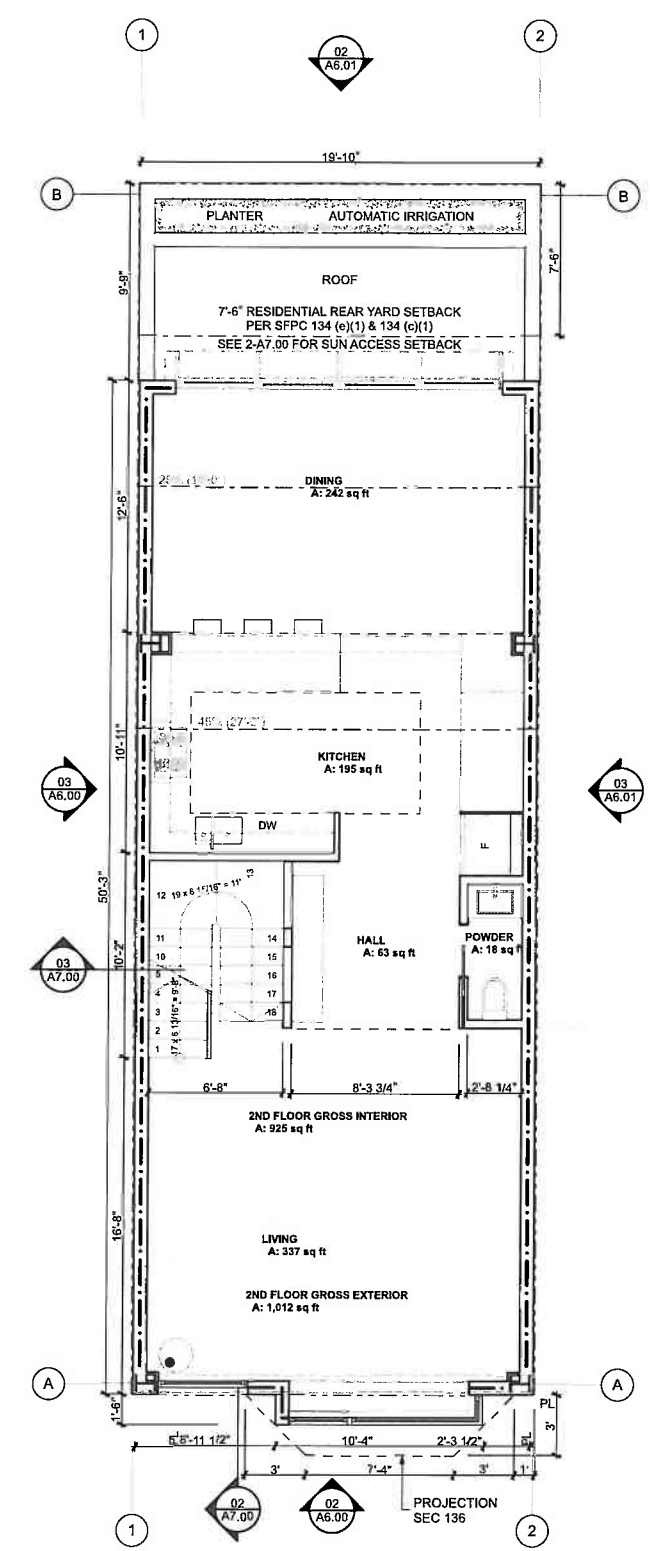
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PROJECT NO.
201209
DATE
6/23/15
DRAWING NO. 9 of 14

BASEMENT-2ND PLANS

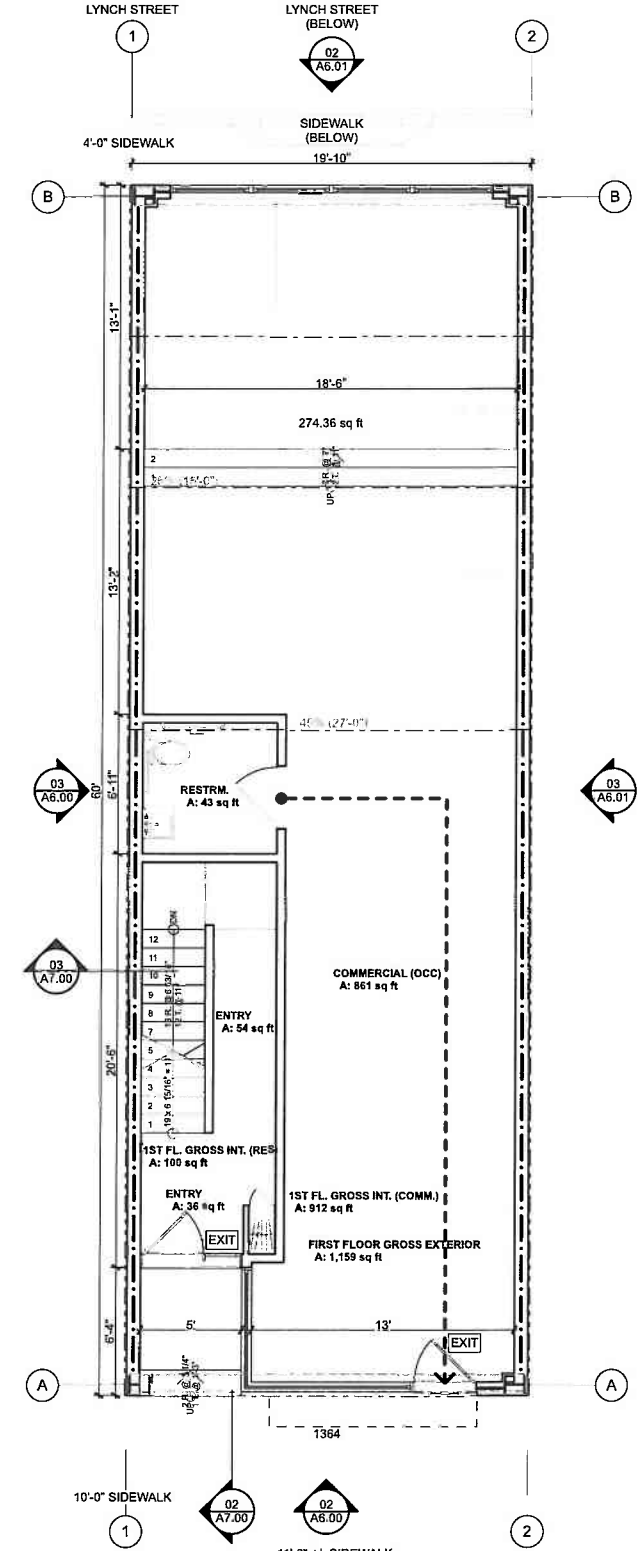
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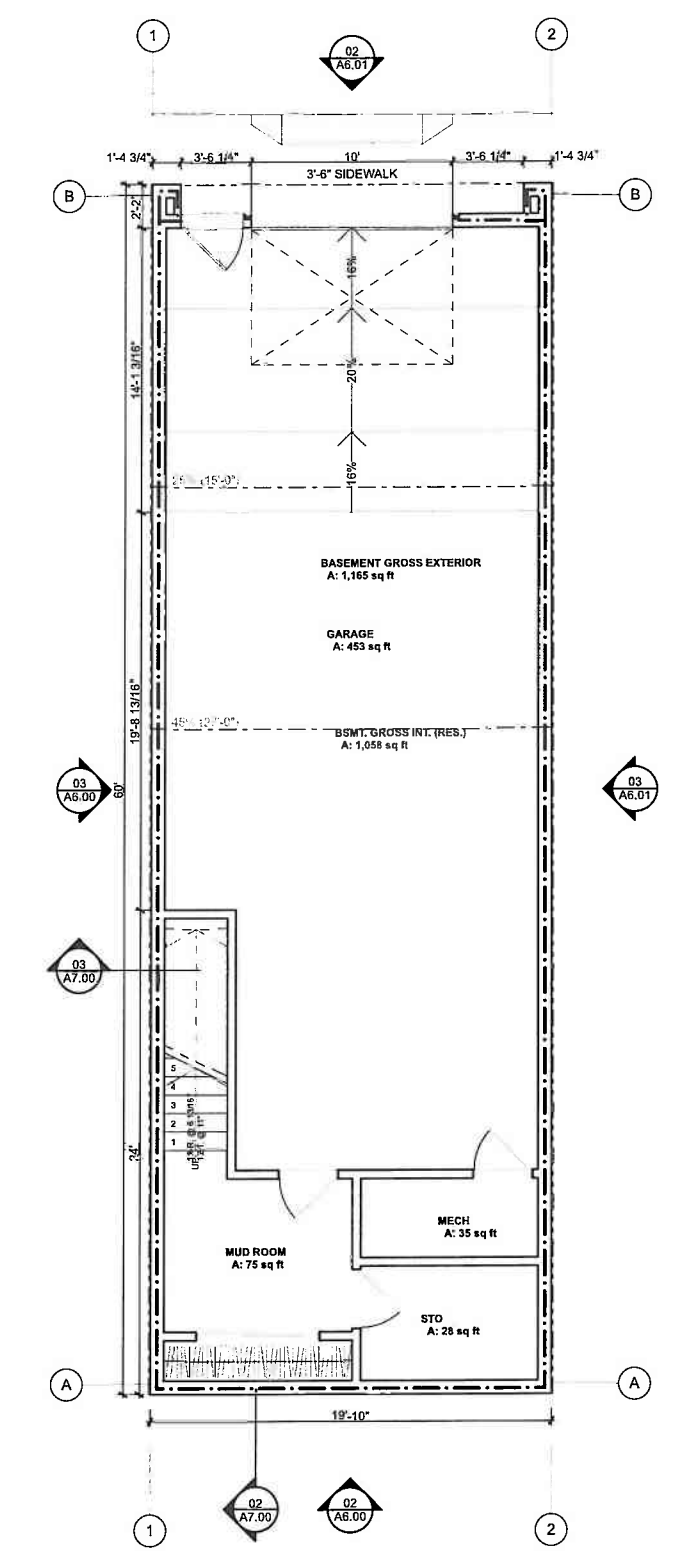
- 1 HOUR RATING
- - - 2 HOUR RATING
- · · 3 HOUR RATING



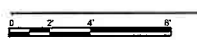
STORY 2
SCALE: 1/4" = 1'-0"



STORY 1
SCALE: 1/4" = 1'-0"



BASEMENT
SCALE: 1/4" = 1'-0"





SHEET NOTES

REVISIONS	NO.	DATE	ISSUE

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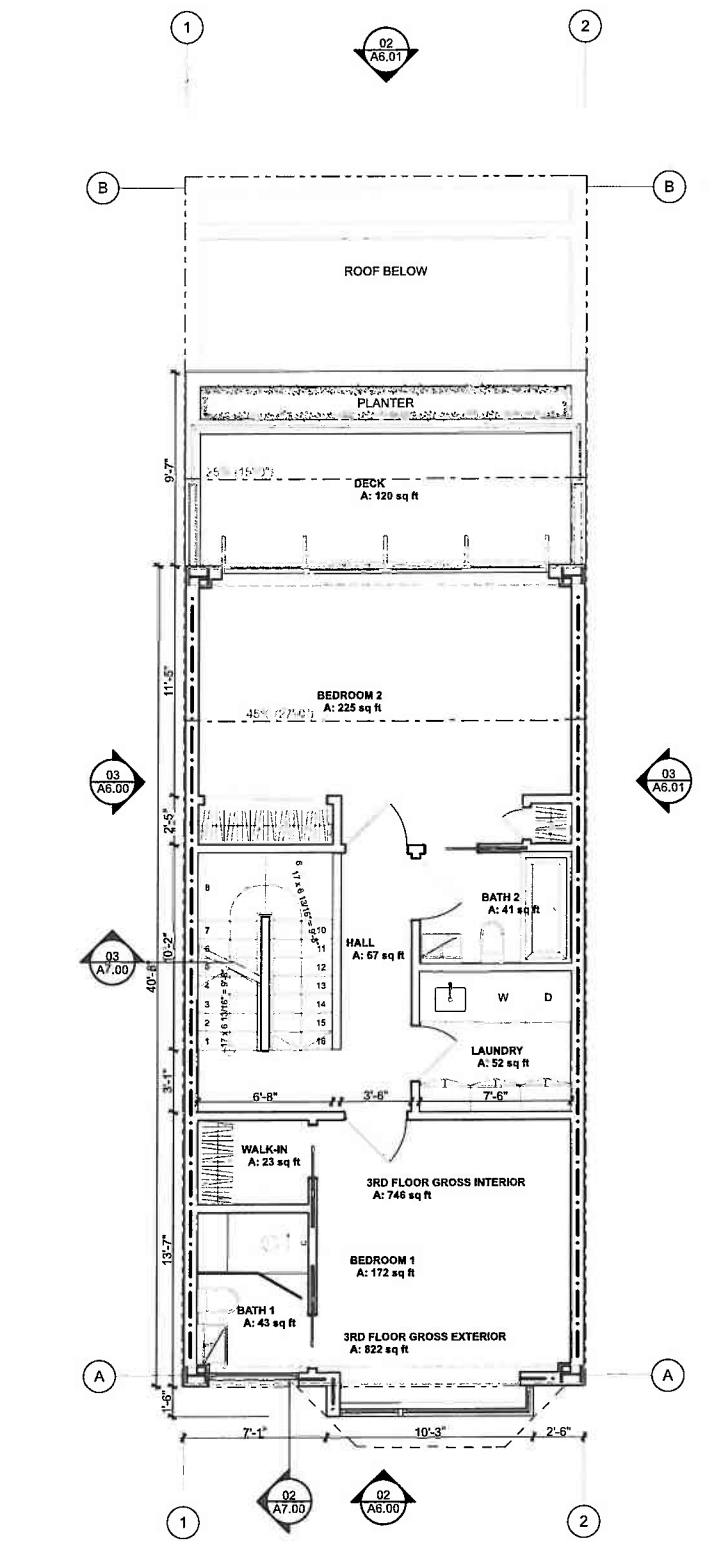
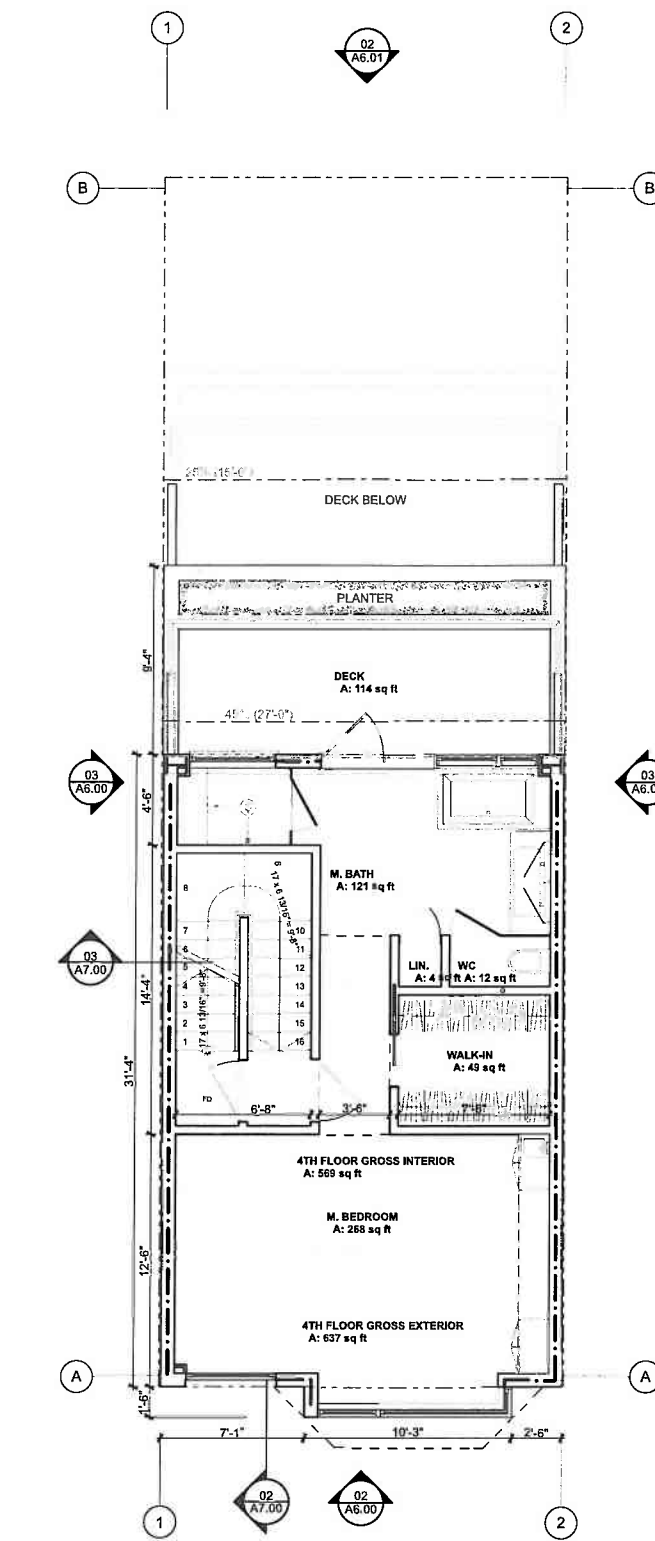
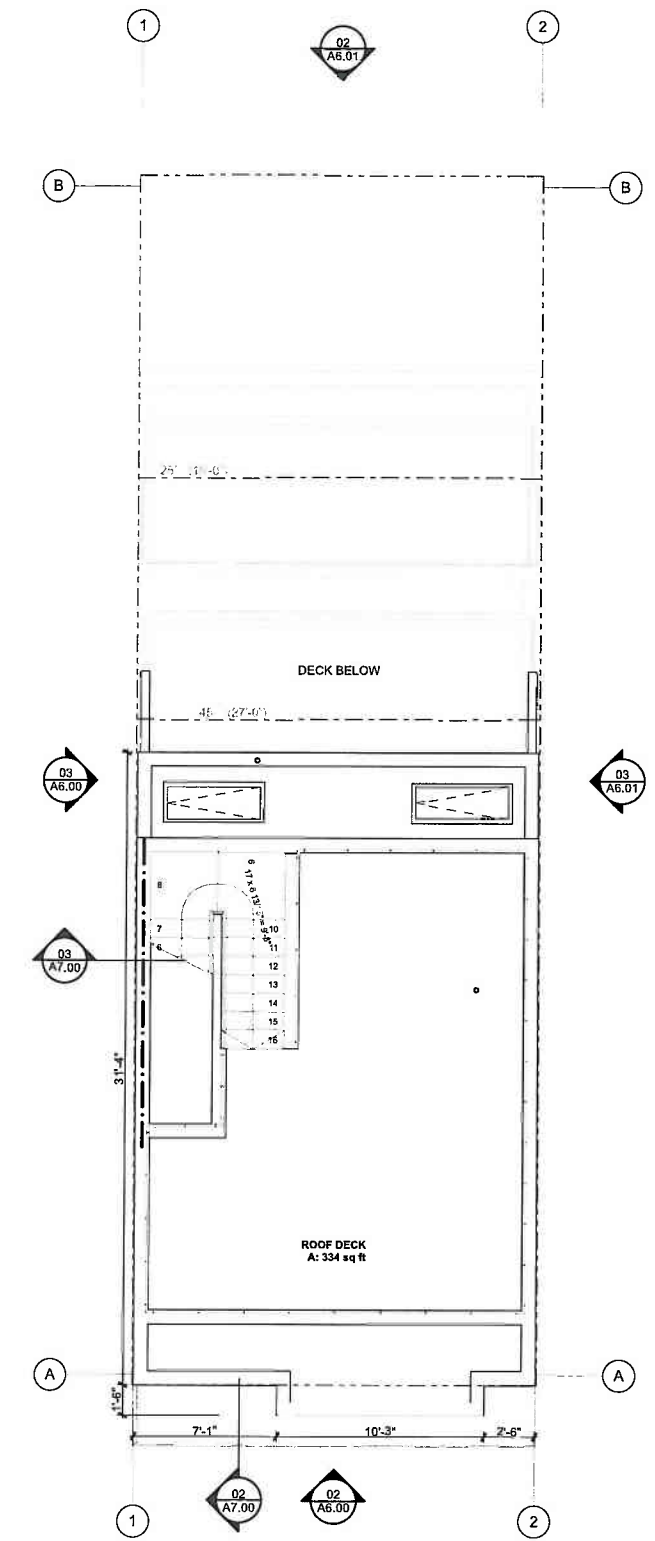
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San Francisco, CA 94109
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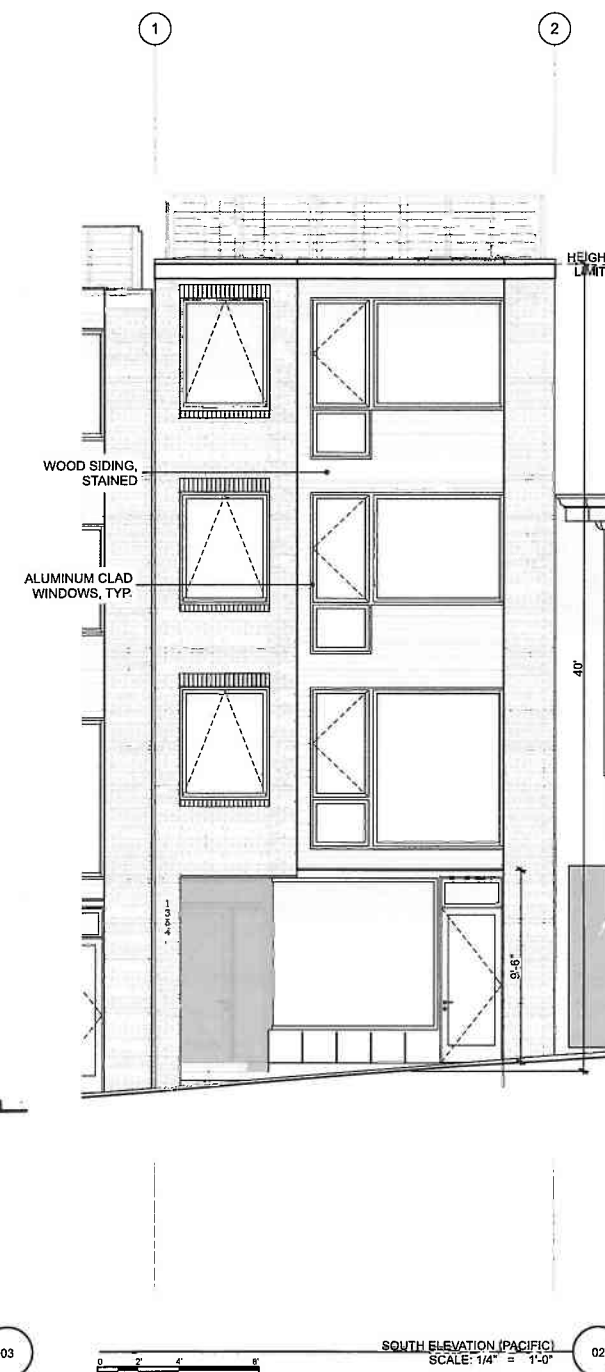
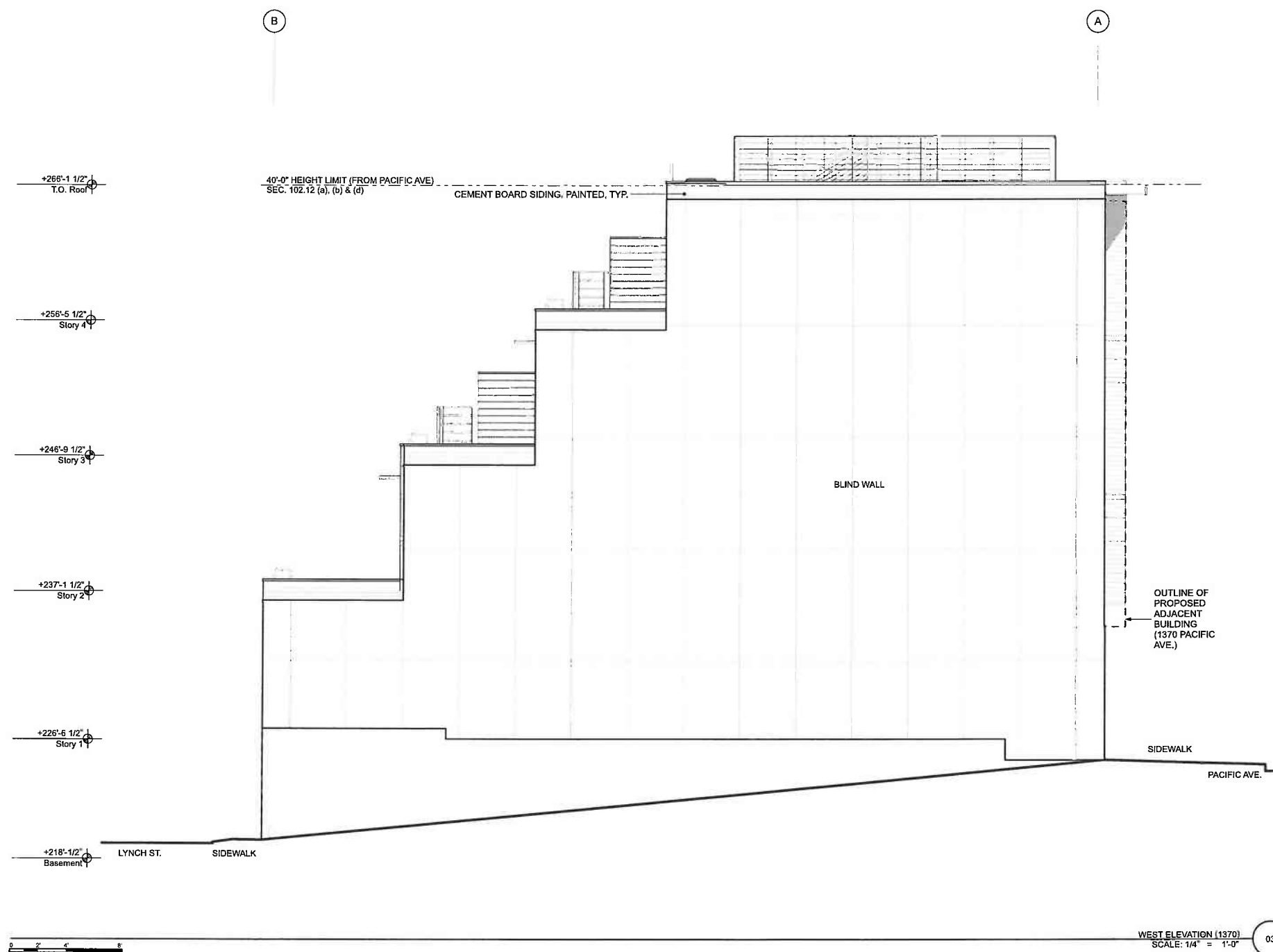
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PROJECT NO.
201209
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DRAWING NO. 10 of 14

3RD-ROOF PLANS

DRAWING NO.
A2.02





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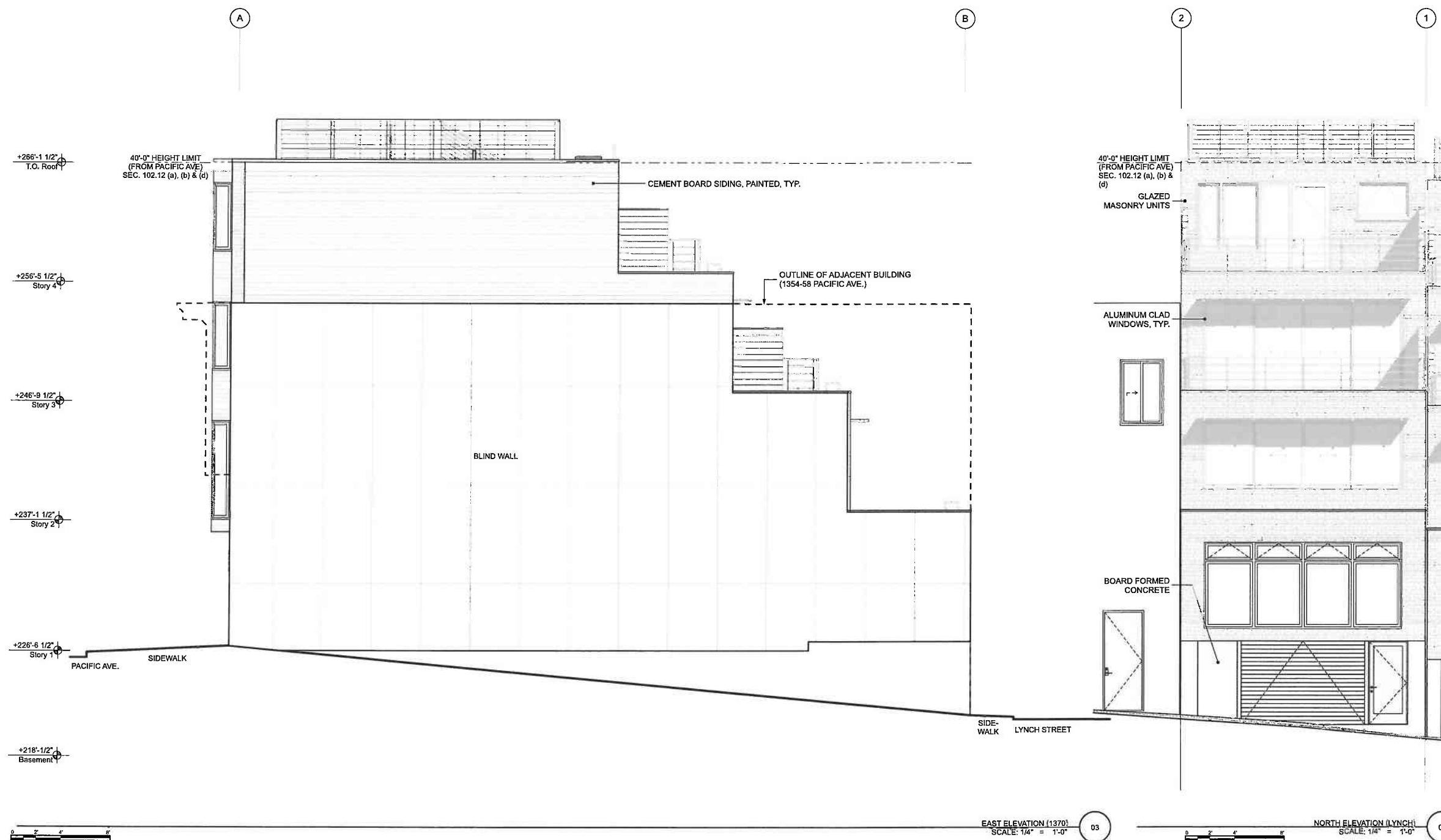
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DRAWING NO. 11 of 14

ELEVATIONS

DRAWING NO.

A6.00



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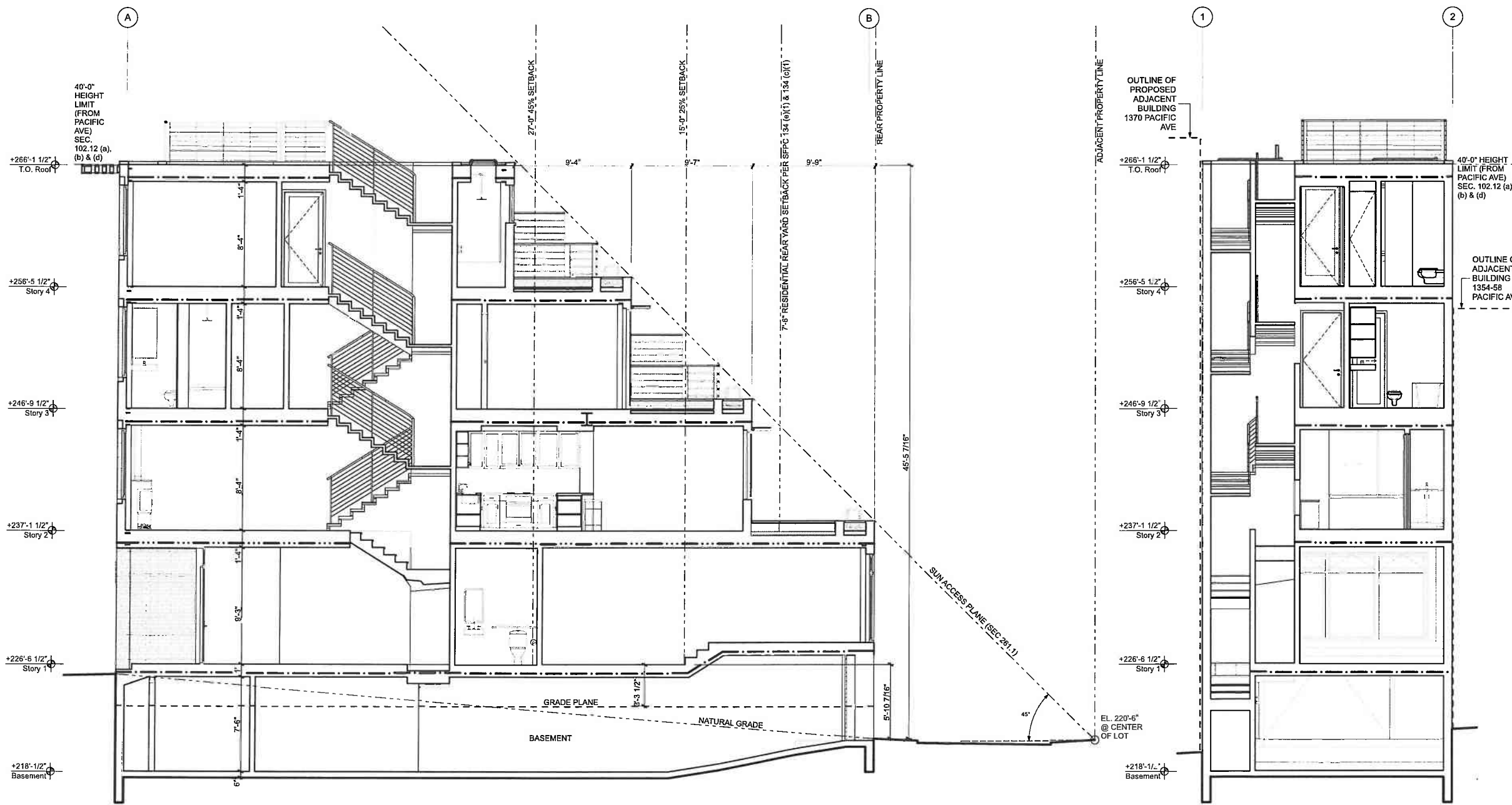
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SCALE
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PROJECT NO.
201208
DATE
6/23/15
DRAWING NO. 12 of 14

ELEVATIONS

DRAWING NO.
A6.01



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DATE
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DRAWING NO. 13 of 14

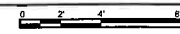
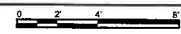
BUILDING SECTIONS

DRAWING NO.

A7.00

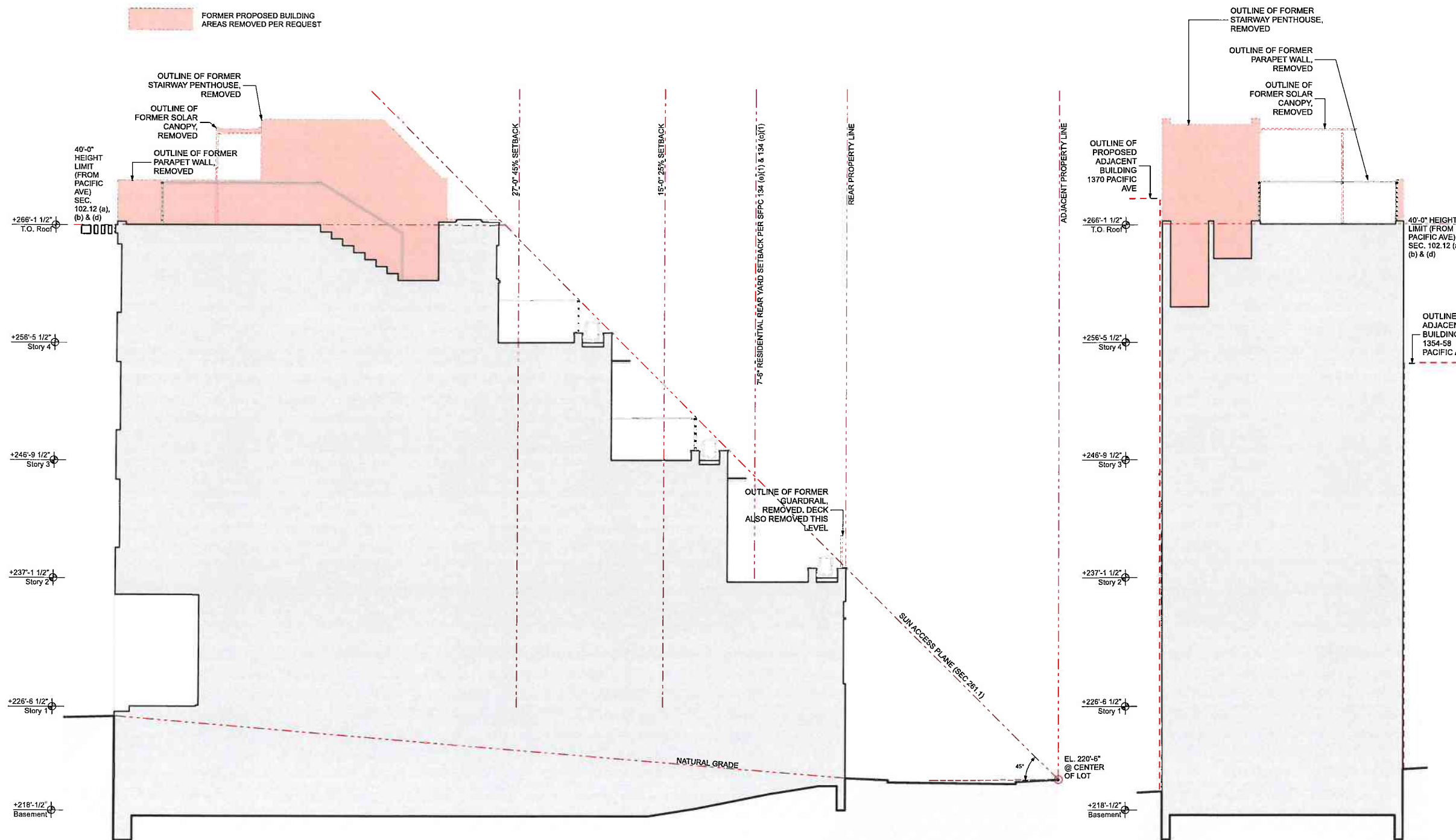
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SECTION (1370) 03
SCALE: 1/4" = 1'-0"





KEY
 CURRENT BUILDING SECTION
 FORMER PROPOSED BUILDING AREAS REMOVED PER REQUEST



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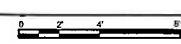
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DRAWING NO. 14 of 14

BULK & HEIGHT REDUCTIONS SINCE PROJECT START
DRAWING NO.

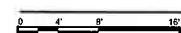
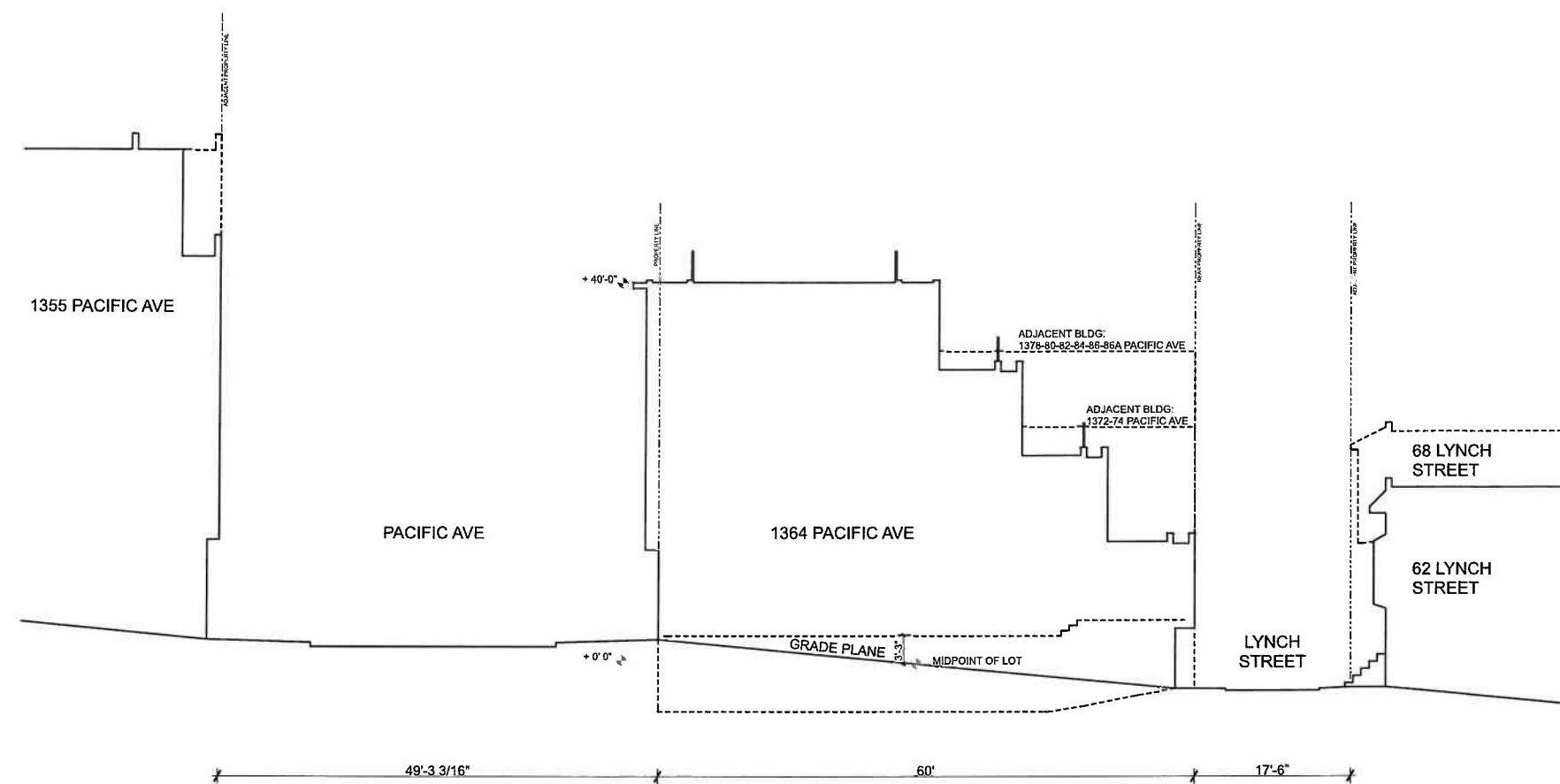
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SECTION (1370) 06
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SECTION (1370) 07
SCALE: 1/4" = 1'-0"



SITE SECTION
SCALE: 1/8" = 1'-0" 1

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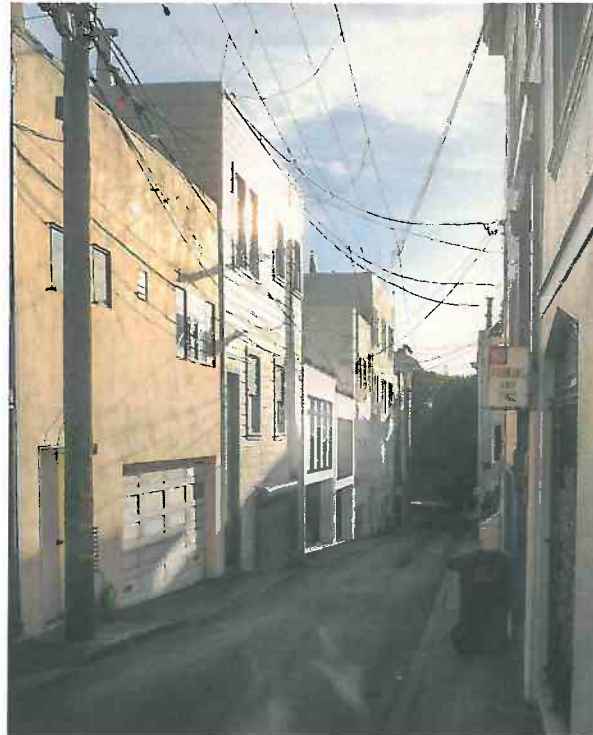
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6/23/15

DRAWING NO. 15 of 14

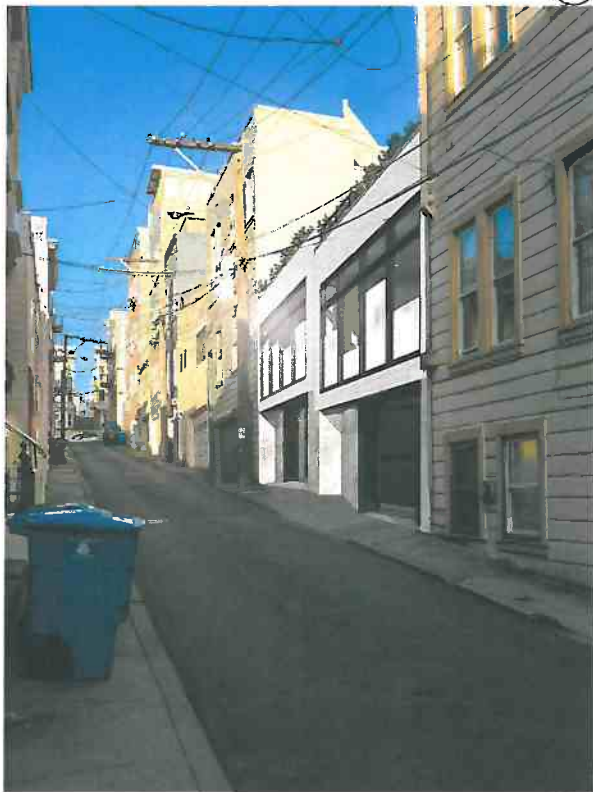
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A7.02

1370 PACIFIC AVENUE



LYNCH STREET RENDERING 02



LYNCH STREET RENDERING 03



PACIFIC AVENUE RENDERING 01

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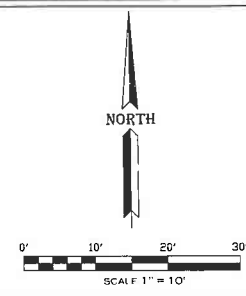
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DATE
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DRAWING NO. 2 of 13

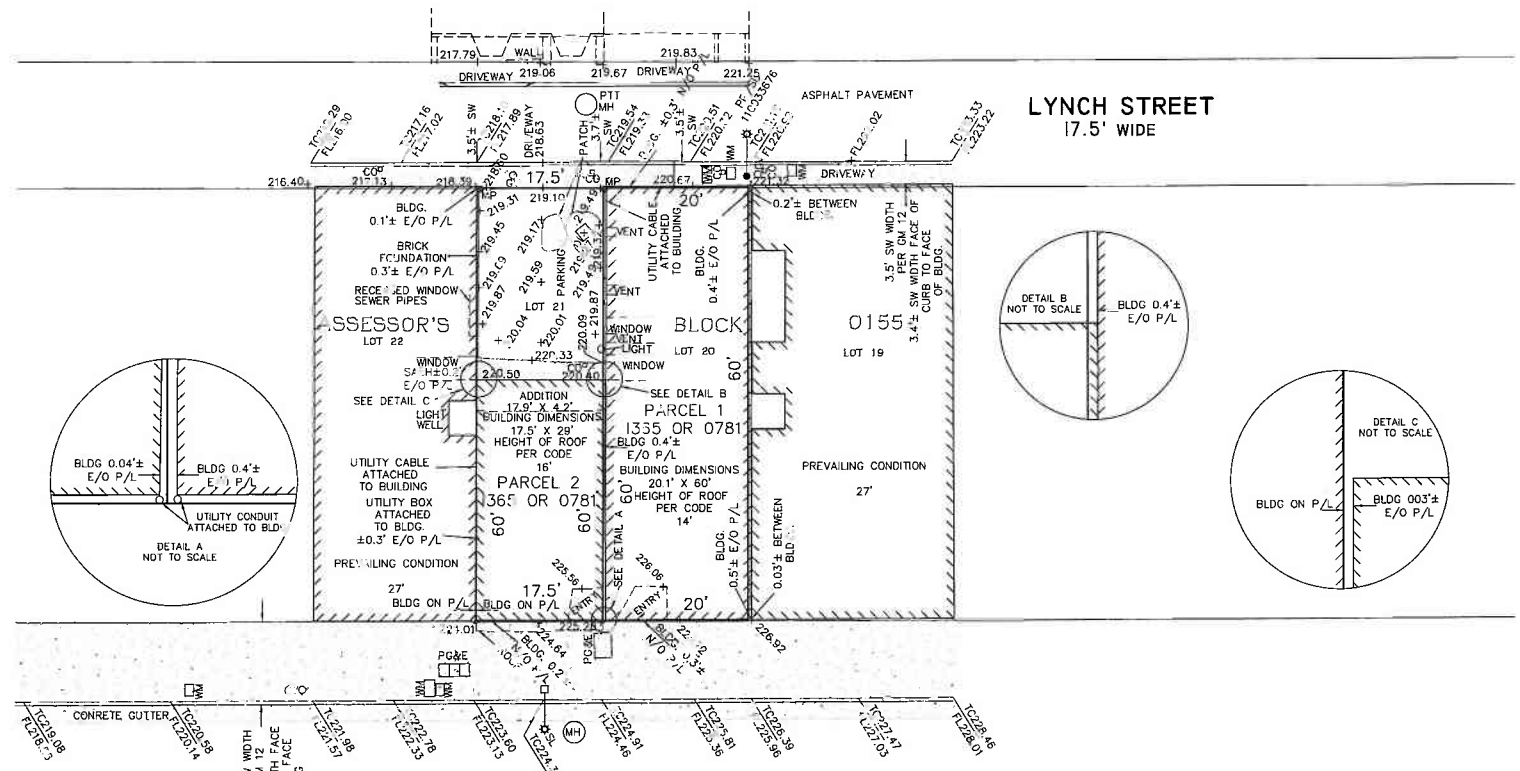
CONCEPTUAL
IMAGES

DRAWING NO.

A0.01



SAN FRANCISCO SURVEYING COMPANY, INC.
 201 HARRISON STREET STE 6-3
 SAN FRANCISCO, CALIFORNIA 94105
 415-321-9300
 WWW.SANFRANCISCO.SURVEYINGCOMPANY.COM



NOTES:
 ALL ANGLES ARE IN DEGREES UNLESS OTHERWISE NOTED.
 ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.
 ROOF HEIGHTS ALONG PACIFIC AVENUE FOR THE SUBJECT SITE ARE CALCULATED PER MUNICIPAL CODE AND ARE THE DIFFERENCE IN THE ELEVATION BETWEEN THE MIDPOINT ELEVATION OF THE TOP OF CURB AND THE MID POINT OF THE ROOF. NO ACCESS TO THE ROOFS OF THE ADJOINING PROPERTIES WAS PROVIDED. THE HEIGHTS SHOWN FOR ADJACENTS IS THE DIFFERENCE IN ELEVATION OF THE MID POINT OF THE TOP OF CURB AND THE POINT. THESE HEIGHTS ARE PROVIDED AS AN INDICATION OF PREVAILING CONDITIONS.

DATE OF SURVEY:
 TOPOGRAPHIC SURVEY DATA SHOWN HEREON IS BASED UPON A FIELD SURVEY ACTUALLY PERFORMED UPON THE GROUND IN THE MONTHS OF 11, 12, 2012 AND 1, 2, 2013.

UTILITY NOTE:
 UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON A FIELD SURVEY ACTUALLY PERFORMED ON THE GROUND. THE UNDERGROUND UTILITY LOCATIONS ARE SHOWN BASED UPON OBSERVABLE SURFACE EVIDENCE (CONDITIONS PERMITTING). THE ENGINEER AND/OR CONTRACTOR BEARS THE RESPONSIBILITY FOR ANY ADDITIONAL UTILITY RESEARCH AND FIELD SURVEYING REQUIRED TO PROVIDE NECESSARY DESIGN DATA PRIOR TO DESIGN AND CONSTRUCTION.

PROJECT BENCHMARK:
 ELEVATIONS SHOWN HEREON ARE BASED UPON CITY AND COUNTY OF SAN FRANCISCO DATUM (SEPTEMBER 1970) INTERSECTION HYDE BROADWAY NORTH CURB CORNER; EIRIM MHI IN 1/4" X 1/4" ELEVATION = 190.227'

SURVEYOR'S STATEMENT:
 THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

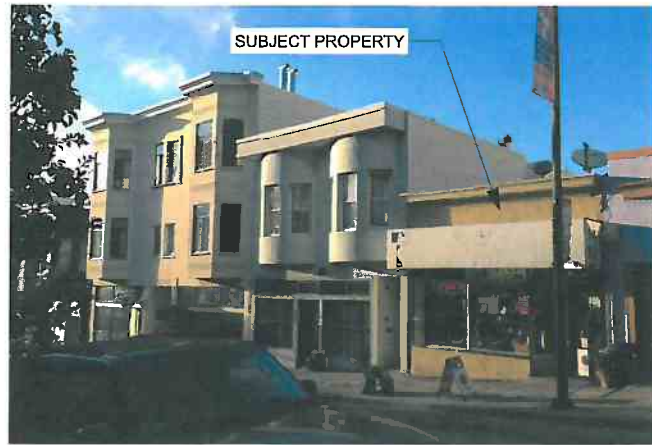
DATE: _____ DANIEL HINCE
 LICENSE NO. 8142
 LICENSE EXPIRES 12/31/2014

MAP OF SURVEY

THE LANDS OF HAROLD YU CHUN TANG AND CONNIE YEE K. TANG AS DESCRIBED BY DEED RECORDED IN DOCUMENT NO. 2003-H409706-00 APRIL 14, 2003 REEL 1365 IMAGE 0781 OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA ASSESSOR'S BLOCK 0155, LOTS 20, 21 A PORTION OF THE 50 VARA BLOCK 271 1364-1370 PACIFIC AVENUE

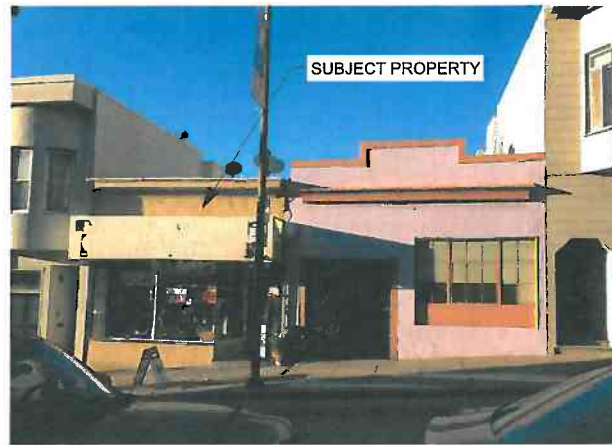
- LEGEND:**
- BLDG BUILDING
 - CO CLEAN OUT
 - DI DRAIN INLET
 - E/O EAST OF
 - FL FLOWLINE
 - G GAS VALVE
 - MH MAN HOLE
 - MP METAL POST
 - N/O NORTH OF
 - P/L PROPERTY LINE
 - P/P POWER POLE
 - PG&E PACIFIC GAS AND ELECTRIC
 - PTT PACIFIC TELEPHONE AND TELEGRAPH
 - S/O SOUTH OF
 - SL STREET LIGHT
 - TC TOP OF CURB
 - W/O WEST OF
 - WM WATER METER
 - + SPOT ELEVATION
 - PROPERTY LINE
 - SW SIDEWALK
 - GM GRADE MAP

SURVEY REFERENCE:
 THE BOUNDARY SURVEY IS BASED UPON THE GRANT DEED SHOWN HEREON ADDITIONAL DOCUMENTATION REVIEWED AND CONSIDERED BLOCK DIAGRAMS 0151, 0152, 0153, 0154, 0155, 156 011, 3, 0184, 0185 PARCEL MAP NO 4494 PARCEL MAP NO 5197 PARCEL MAP NO 5525 PARCEL MAP NO 8151 PARCEL MAP OF 72-74 LYNCH STREET PARCEL MAP OF 1385-1387 PACIFIC AVENUE CCSF MONUMENT MAP 12 CCSF GRADE MAP 12 MONUMENT OF THE FIFTY VARA DISTRICT APPROVED AND MADE OFFICIAL 11/29/1909 SUPERCEDED MONUMENT MAP 1933-1916 CCSF FIELD NOTES INDEX NO. 154 ORDER NO 13423M



VIEW LOOKING WEST ON PACIFIC AVE

A



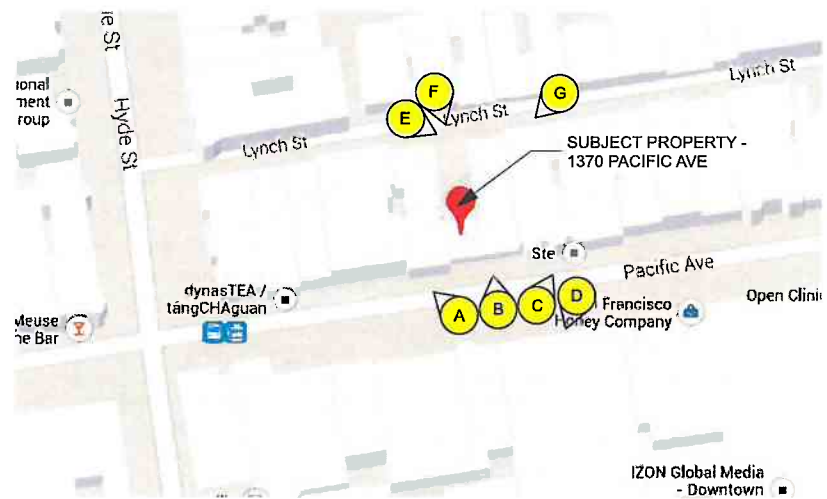
VIEW LOOKING AT FACADE OF SUBJECT PROPERTY

B



VIEW LOOKING EAST ON PACIFIC AVE

C



IZON Global Media - Downtown



BUILDINGS ON THE FACING SIDE OF THE STREET

D



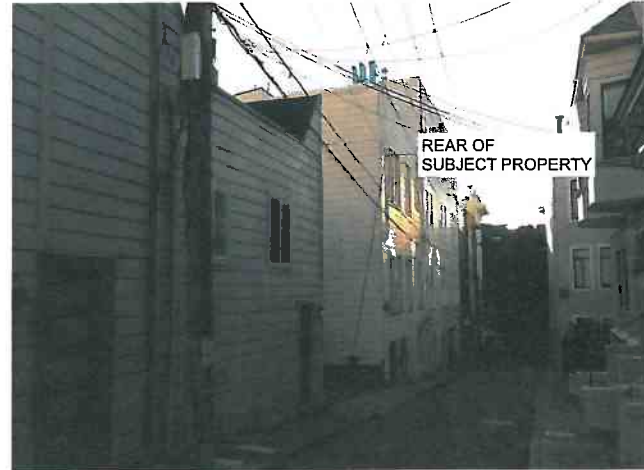
VIEW LOOKING EAST ON LYNCH ALLEY

D



VIEW OF SUBJECT PROPERTY ON LYNCH ALLEY

E



VIEW LOOKING WEST ON LYNCH ALLEY

F

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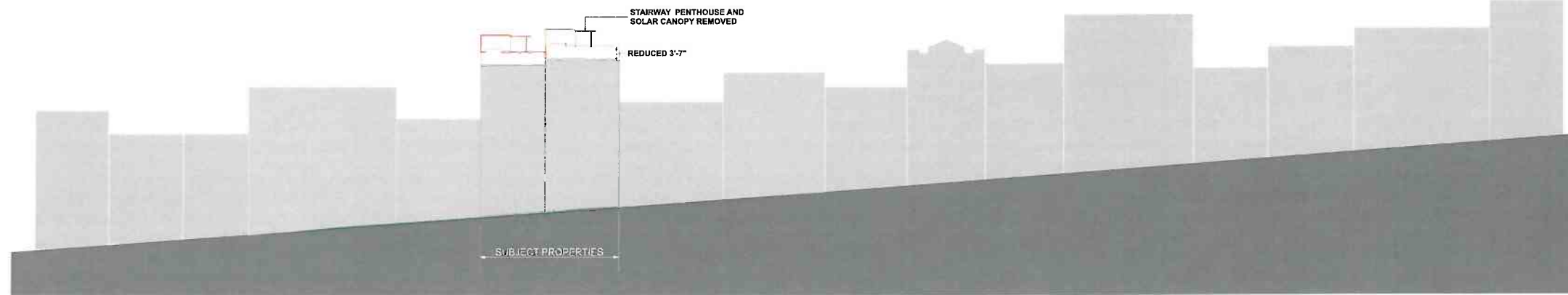
SITE CONTEXT

DRAWING NO.

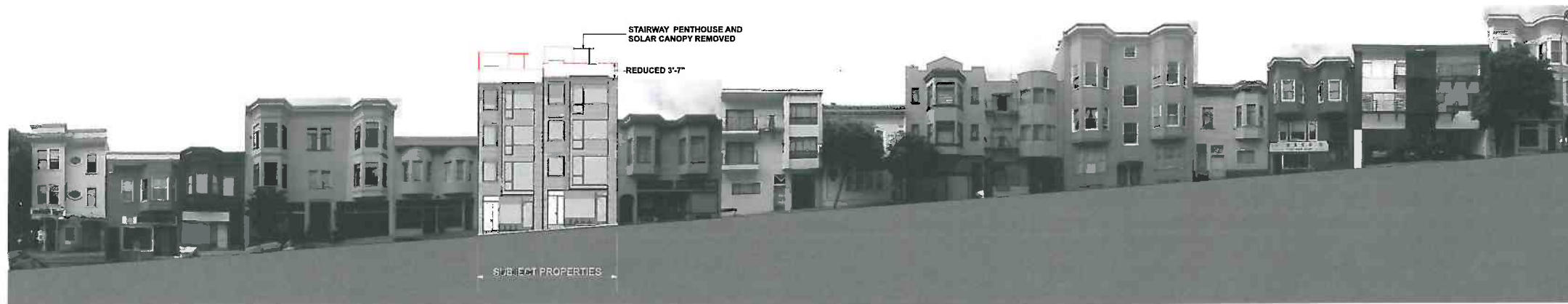
A0.03

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415.99.3640
ma@rg-architecture.com



PACIFIC AVE BLOCK ELEVATION DIAGRAM



PACIFIC AVE BLOCK ELEVATION RENDERING

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6/23/15

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PACIFIC AVENUE
BLOCK ELEVATION

DRAWING NO.

A0.04

Green Building: Site Permit Submittal

C INFORMATION:

facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Name 70 Pacific Avenue	Block/Lot 0155/021	Address 1370 Pacific Avenue, San Francisco, CA 94109
Project Area 10 Sq Ft	Primary Occupancy R3	Number of occupied floors 4
Professional/Applicant: Sign & Date		

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment C3, C4, C5, C6, C7, or C8 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details.

ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution prevention and site runoff controls - Provide a runoff site Stormwater Pollution Prevention Plan implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 sq feet must implement a Stormwater Control Plan per SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management - Comply with San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space equal access for storage, collection and loading of recyclable, recyclable and landfill materials. Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS

Using a GreenPoint Rated Project (Indicate at right by checking the box.)	
Number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 10% energy use reduction compared to Title 24, Part 6 (2013).	●
Meet all California Green Building Standards requirements (Green measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

For residential projects of 4 or more occupied floors must use the Residential High-Rise column. New residential with 3 or fewer occupied floors must use the "New Residential Low Rise" column. LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

LEED PROJECTS						
Type of Project Proposed (Indicate at right)	New Large Commercial	New Low Rise Residential	New High Rise Residential	Large First Time Commercial Interior	Commercial Major Alteration	Residential Major Alteration
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management - 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance - LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
Energy Use Comply with California Title-24 Part 6 (2013) and meet LEED minimum energy performance (LEED EA p2)	●	LEED prerequisite	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate at least 10% energy use reduction (compared to Title 24 Part 6 2013), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6)	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	Meet LEED prerequisite	●	Meet LEED prerequisite		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	●	●	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	CalGreen 4.504.1	CalGreen 4.504.1	CalGreen 5.504.3	CalGreen 5.504.3	CalGreen 4.504.1
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	●	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SS04.2.	●	See San Francisco Planning Code 155			●	See San Francisco Planning Code 155
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft.	●	n/r	n/r	●	(addition only)	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5).	●	n/r	n/r	●	●	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	●
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	●	See CBC 1207			●	(envelope alteration & addition only)

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after.	Other New Non-Residential	Addition ≥1,000 sq ft OR Alteration ≥200,000 ²
Type of Project Proposed (Check box if applicable)		
Energy Efficiency: Comply with California Energy Code, Title 24, Part 6 (2013).	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SS04.2).	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces.	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	Addition only
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals.	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	(Testing & Balancing)
Protect duct openings and mechanical equipment during construction	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives.	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints.	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database. AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood	●	●
Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows.	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings.	●	●
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	●	(envelope alteration & addition only)
CFCs and Halons: Do not install equipment that contains CFCs or Halons.	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management - Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate a 10% energy use reduction compared to Title 24 Part 6 (2013), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r

Attachment C-2:

Green Building:

Site Permit Submittal

Version: July 1, 2014



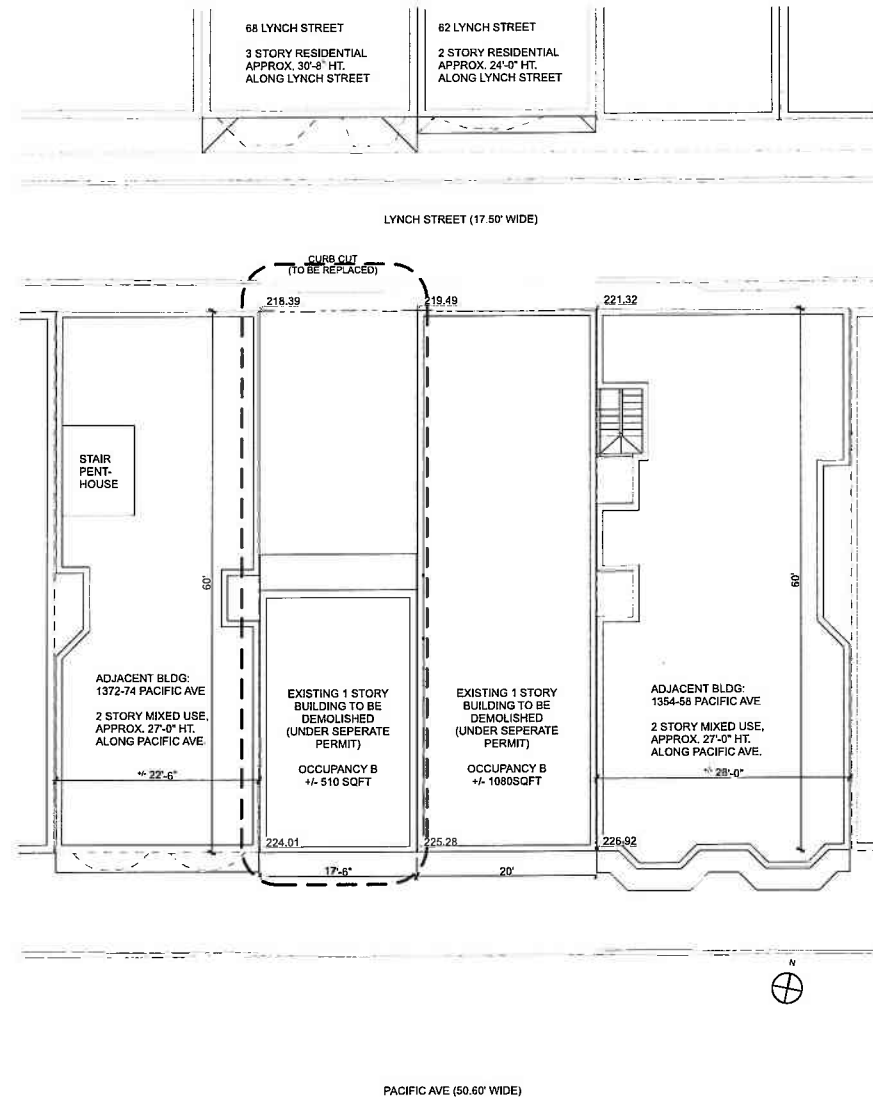
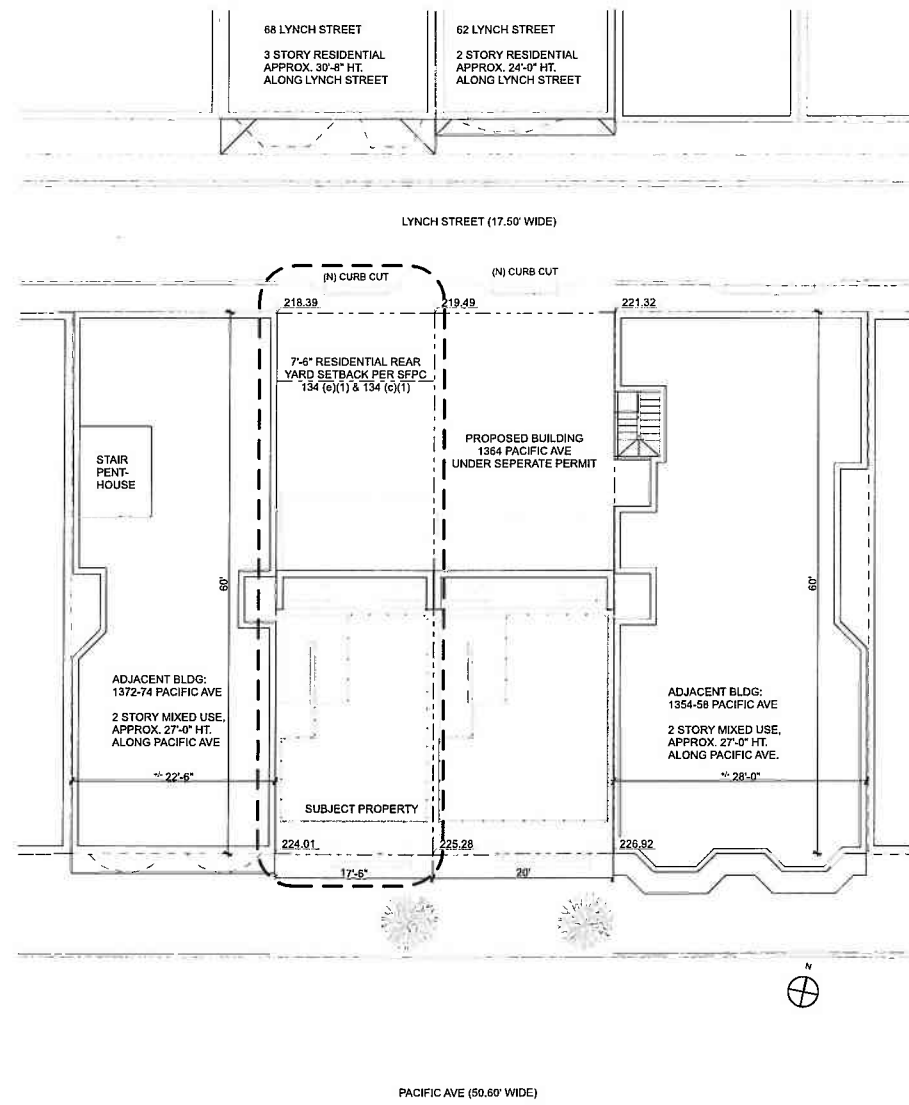
r9-architecture

500 S. STREET
SAN FRANCISCO, CA 94107
415.989.3840
info@r9architecture.com

ISSUE
SITE PERMIT 08.12.2014
DRAWING NO. 6 of 6
#Lyn0001

1370 PACIFIC AVENUE

San Francisco, CA 94109
0155021



GENERAL NOTES

rg-architecture

550 3rd STREET
SAN FRANCISCO, CA 94107
415.699.3640
m.a@rg-architecture.com



SHEET NOTES

GRADE PLANE CALCULATIONS

1370 PACIFIC AVENUE:

$$224.01' + 225.92' + 219.49' + 218.39' = 867.17' + 4' = 871.17'$$

AVERAGE GRADE PLANE = 221.79'

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OWNER

Mr. Harold Tang & Family

1370 Pacific Ave

San Francisco, CA 94109
0155/021

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PROJECT NO.

201209

DATE

6/23/15

DRAWING NO. 7 of

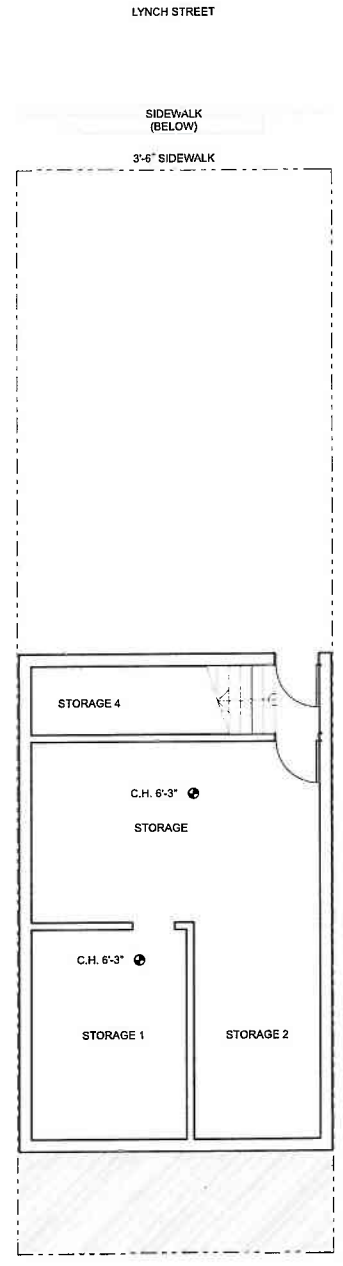
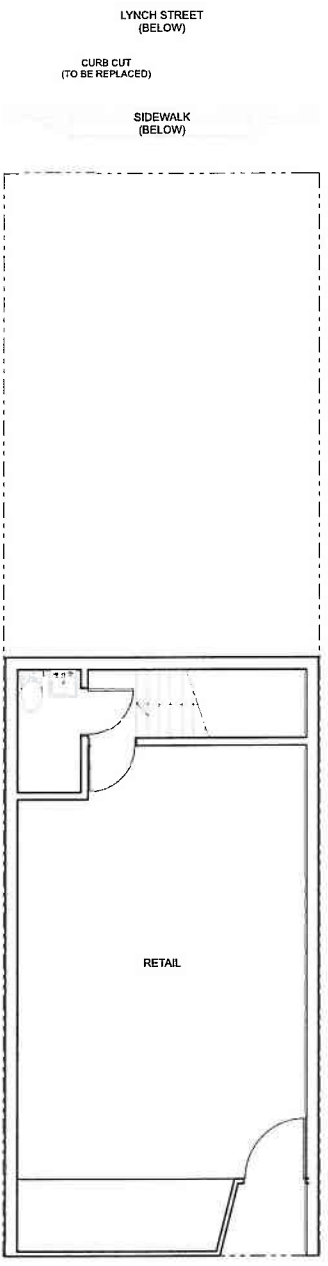
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SITE PLAN

DRAWING NO.

A1.00

KEY



GENERAL NOTES

SHEET NOTES

KEY

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415.699.3640
maki@rg-architecture.com



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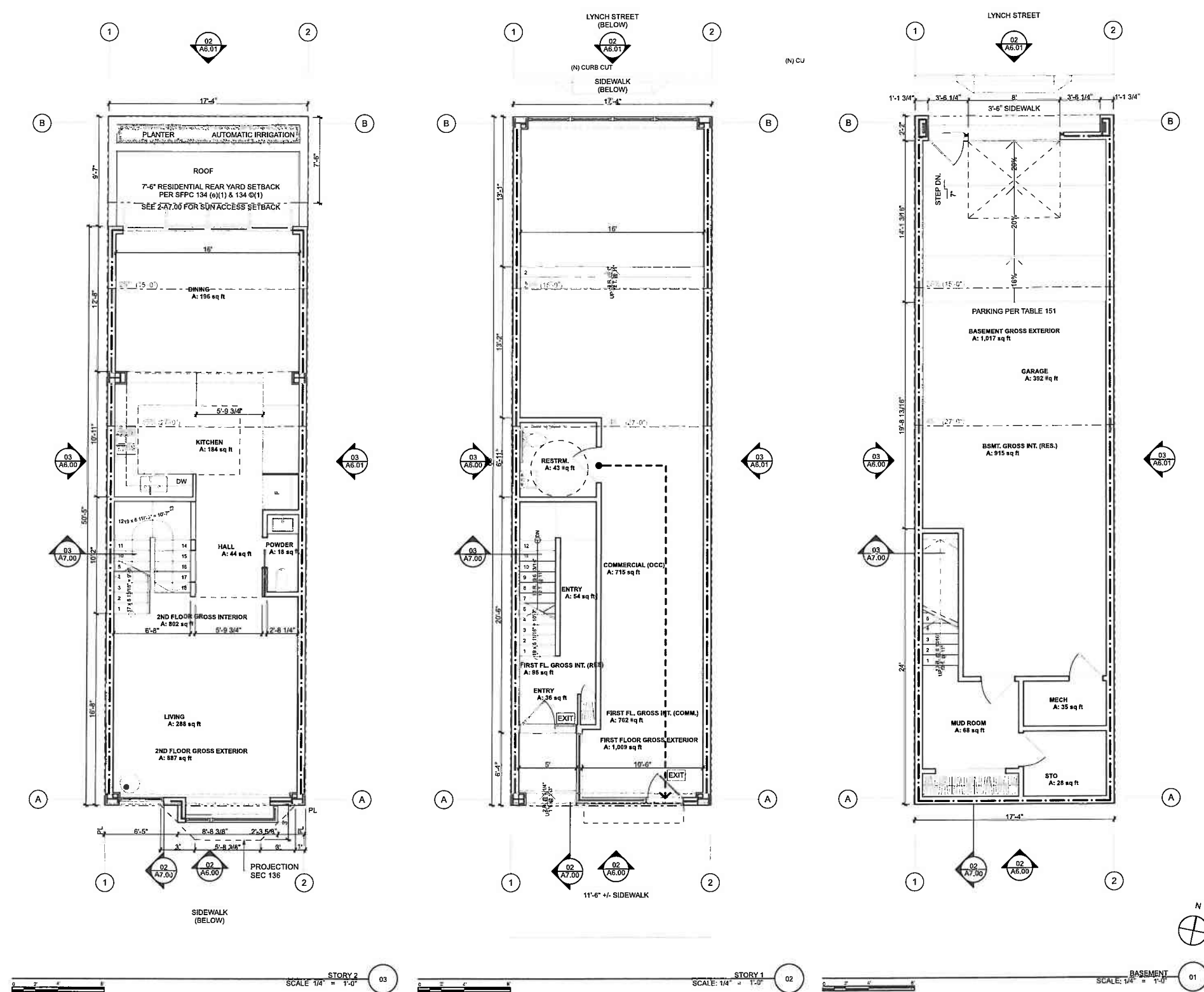
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Mr. Harold Tang & Family

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#LayNo(ref)

EXISTING
BASEMENT-2ND
PLANS

DRAWING NO.
A2.00



GENERAL NOTES

SHEET NOTES

KEY

- 1 HOUR RATING
- - - 2 HOUR RATING
- · - · 3 HOUR RATING

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mail@rg-architect.com



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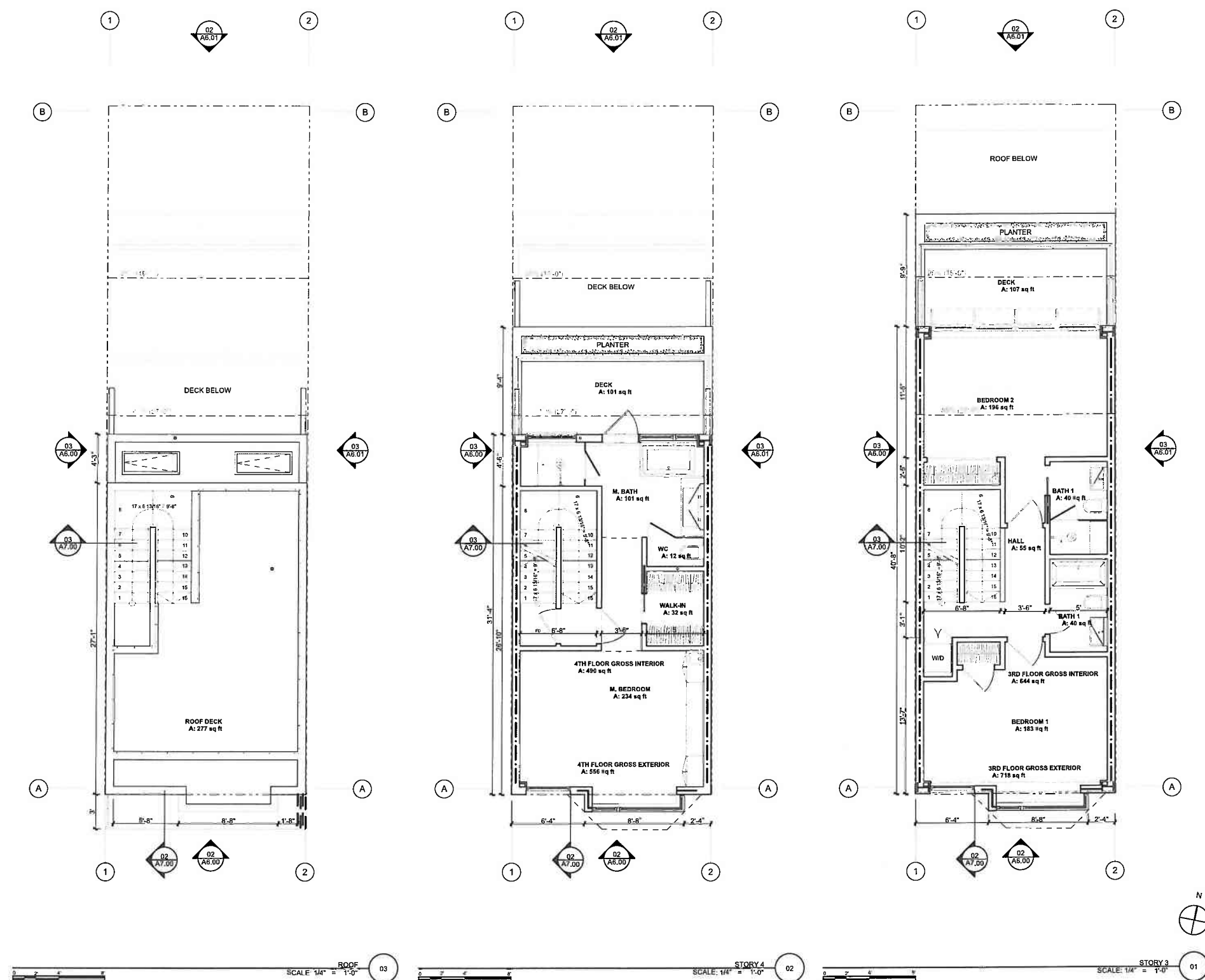
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BASEMENT-2ND PLANS

DRAWING NO.

A2.01



GENERAL NOTES

SHEET NOTES

KEY

- 1 HOUR RATING
- 2 HOUR RATING
- 3 HOUR RATING

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560 3rd STREET
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 mail@rg-architecture.com



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3RD-ROOF PLANS

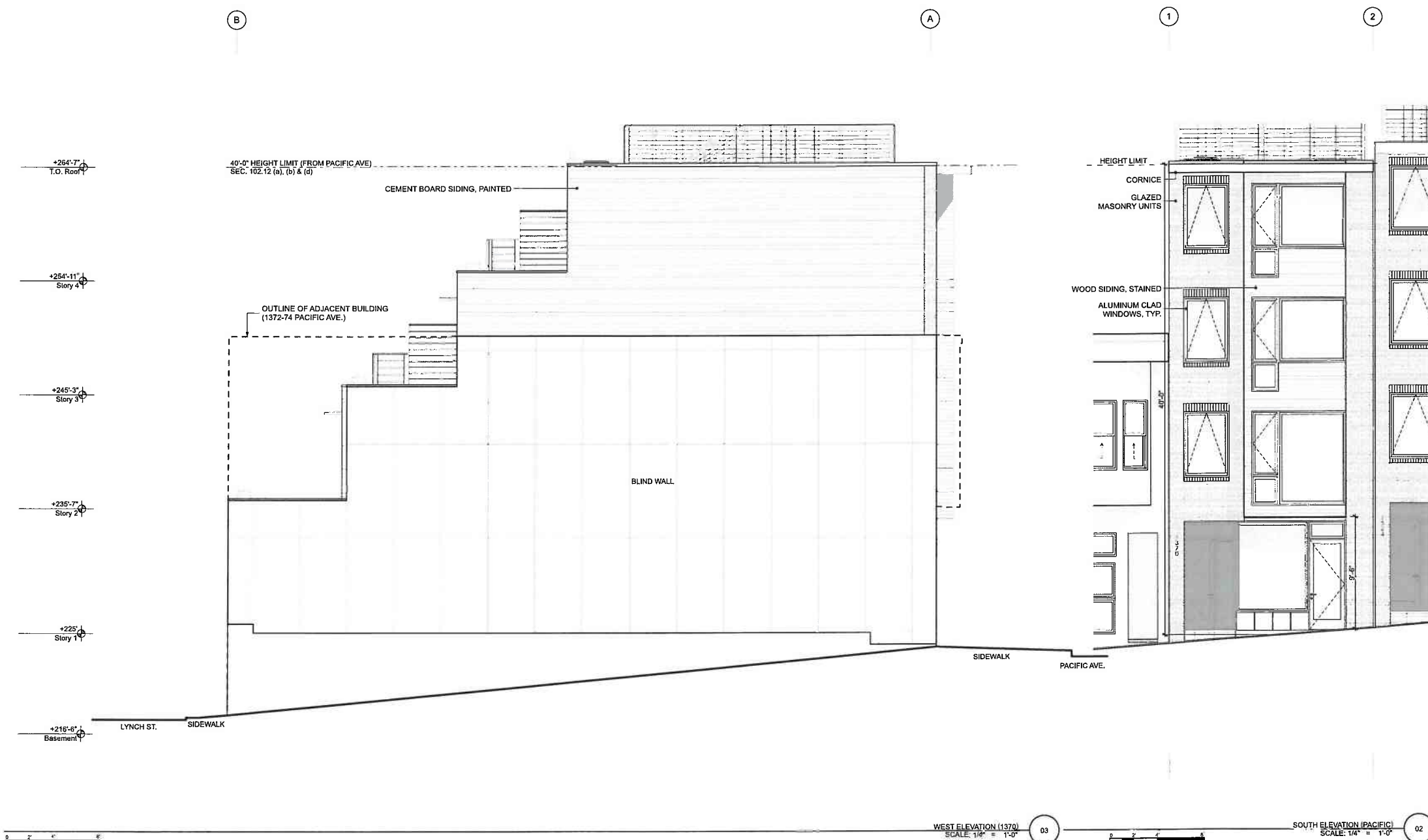
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A2.02



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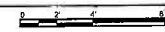
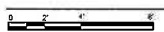
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DRAWING NO. 11 of 13

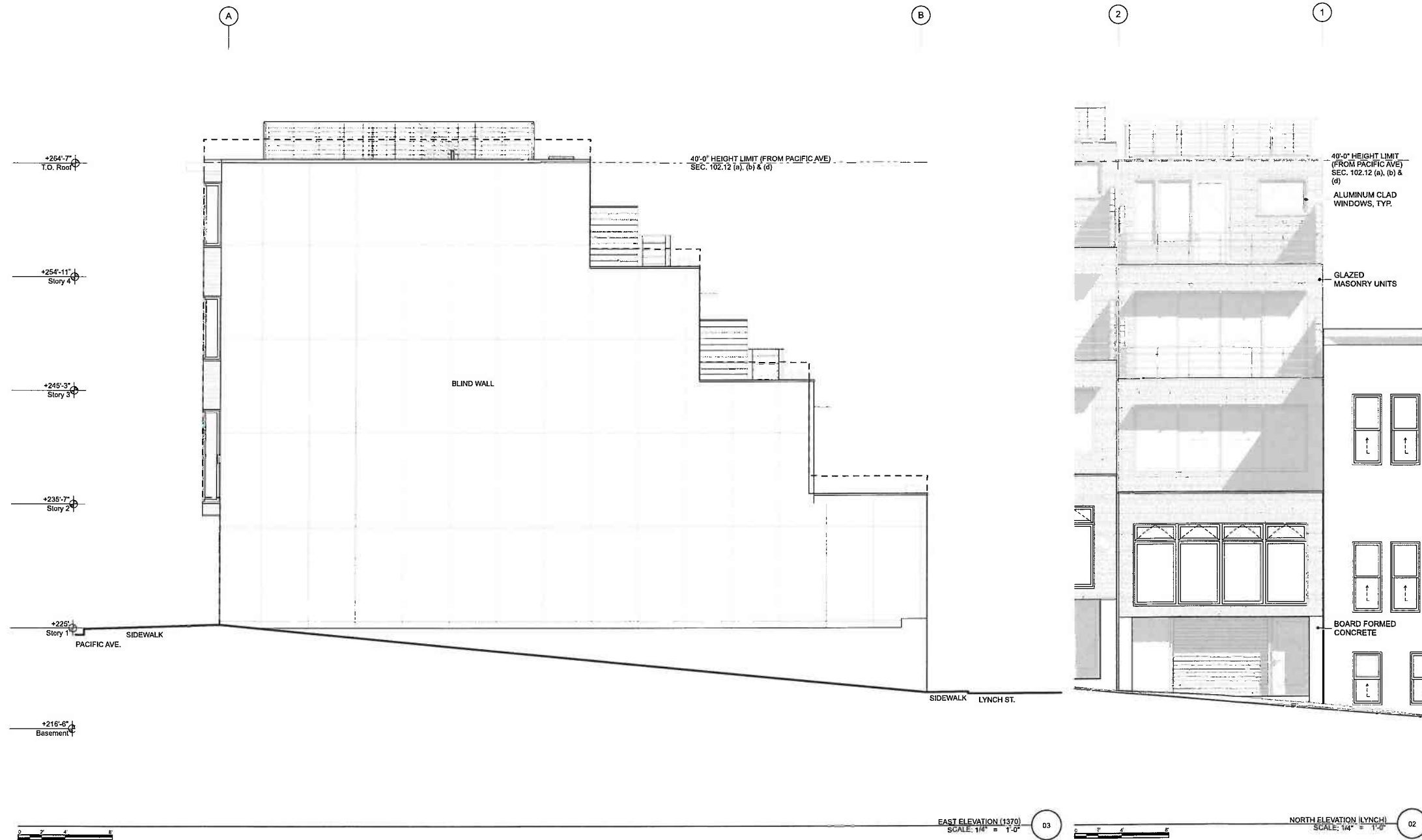
ELEVATIONS

DRAWING NO.
A6.00

WEST ELEVATION (1370)
SCALE: 1/4" = 1'-0"

SOUTH ELEVATION (PACIFIC)
SCALE: 1/4" = 1'-0"





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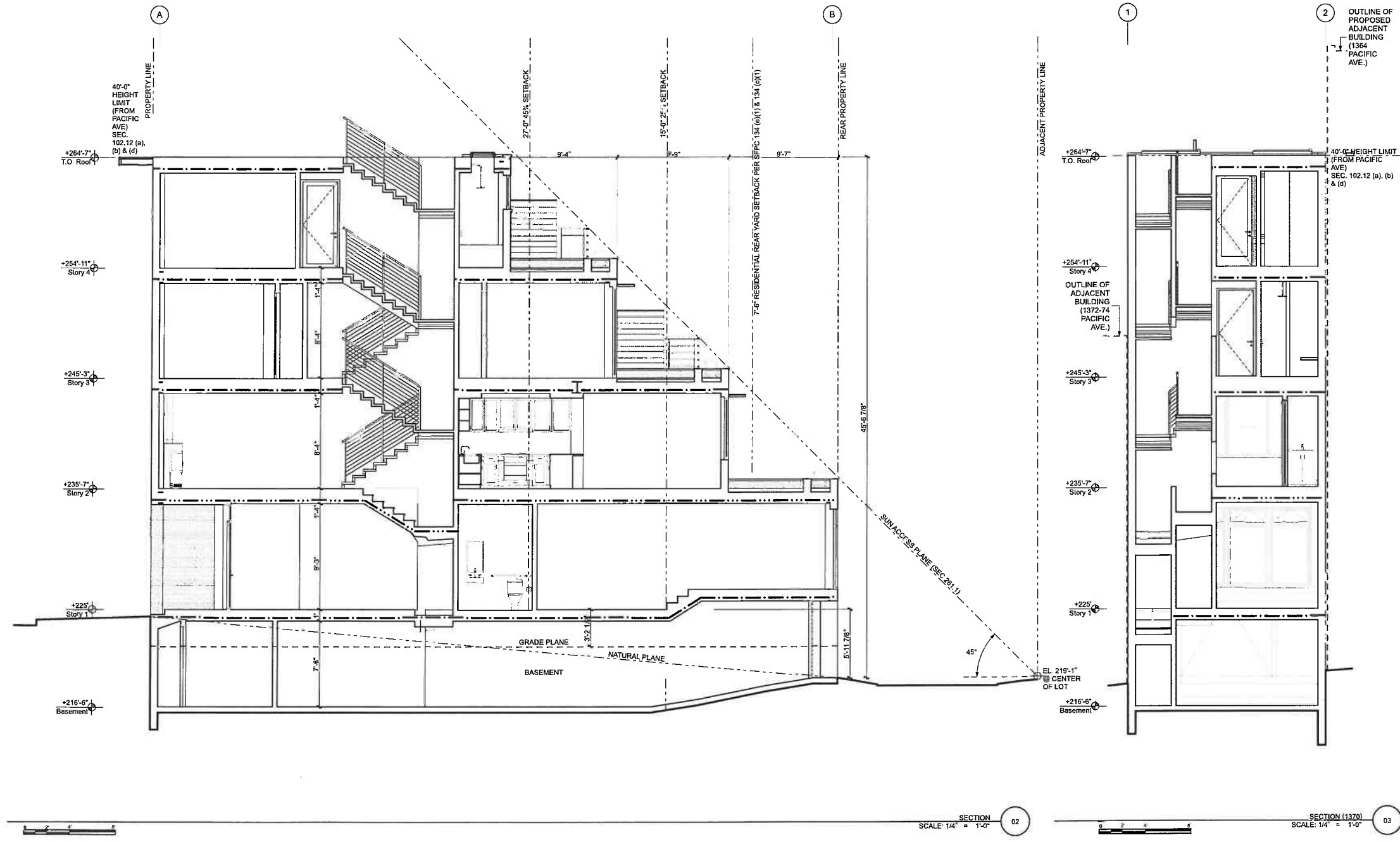
DRAWING NO. 12 of 13

ELEVATIONS

DRAWING NO.
A6.01

EAST ELEVATION (1370)
SCALE: 1/4" = 1'-0"

NORTH ELEVATION (LYNCH)
SCALE: 1/4" = 1'-0"



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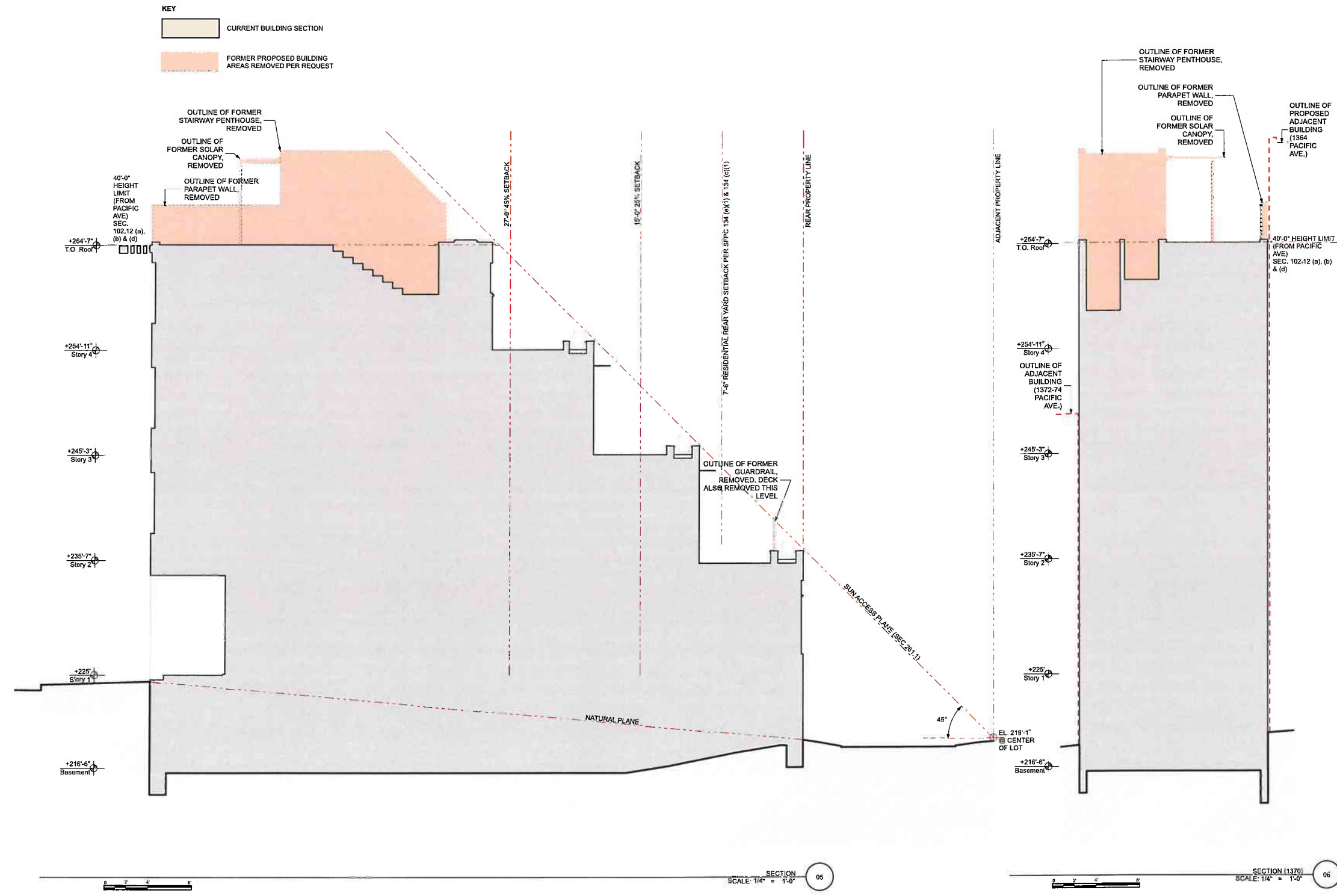
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PROJECT NO.
201209
DATE
6/23/15
DRAWING NO. 13 of 13

BUILDING SECTIONS

DRAWING NO.
A7.00

SECTION 02
SCALE: 1/4" = 1'-0"

SECTION 03 (1370)
SCALE: 1/4" = 1'-0"



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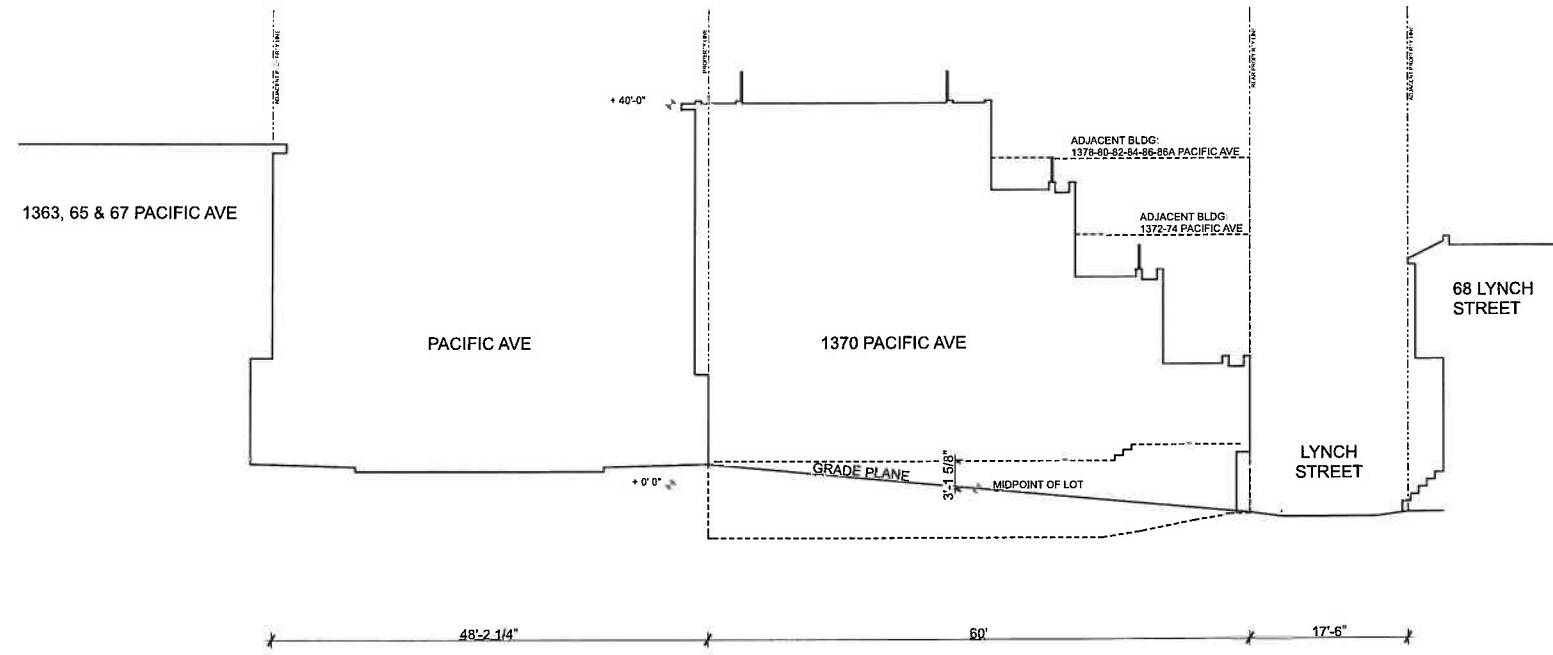
DRAWING NO. 14 of 13

**BULK & HEIGHT
REDUCTIONS SINCE
PROJECT START**

A7.01

rg-architecture

560 3rd STREET
SAN FRANCISCO, CA 94107
415.225.3649
mail@rg-architecture.com



SITE SECTION
SCALE: 1/8" = 1'-0" 1

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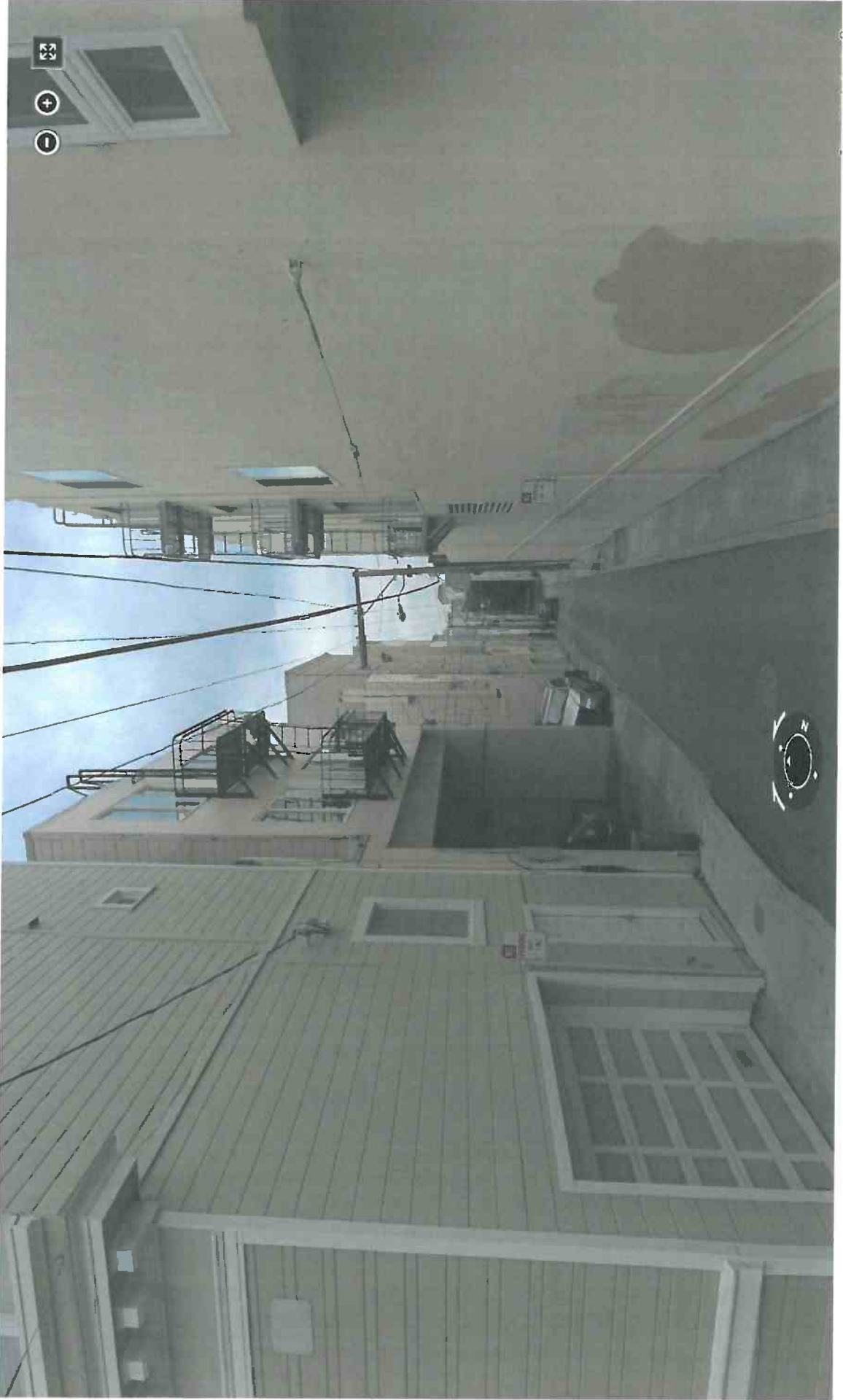
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DRAWING NO.

A7.02

EXHIBIT C

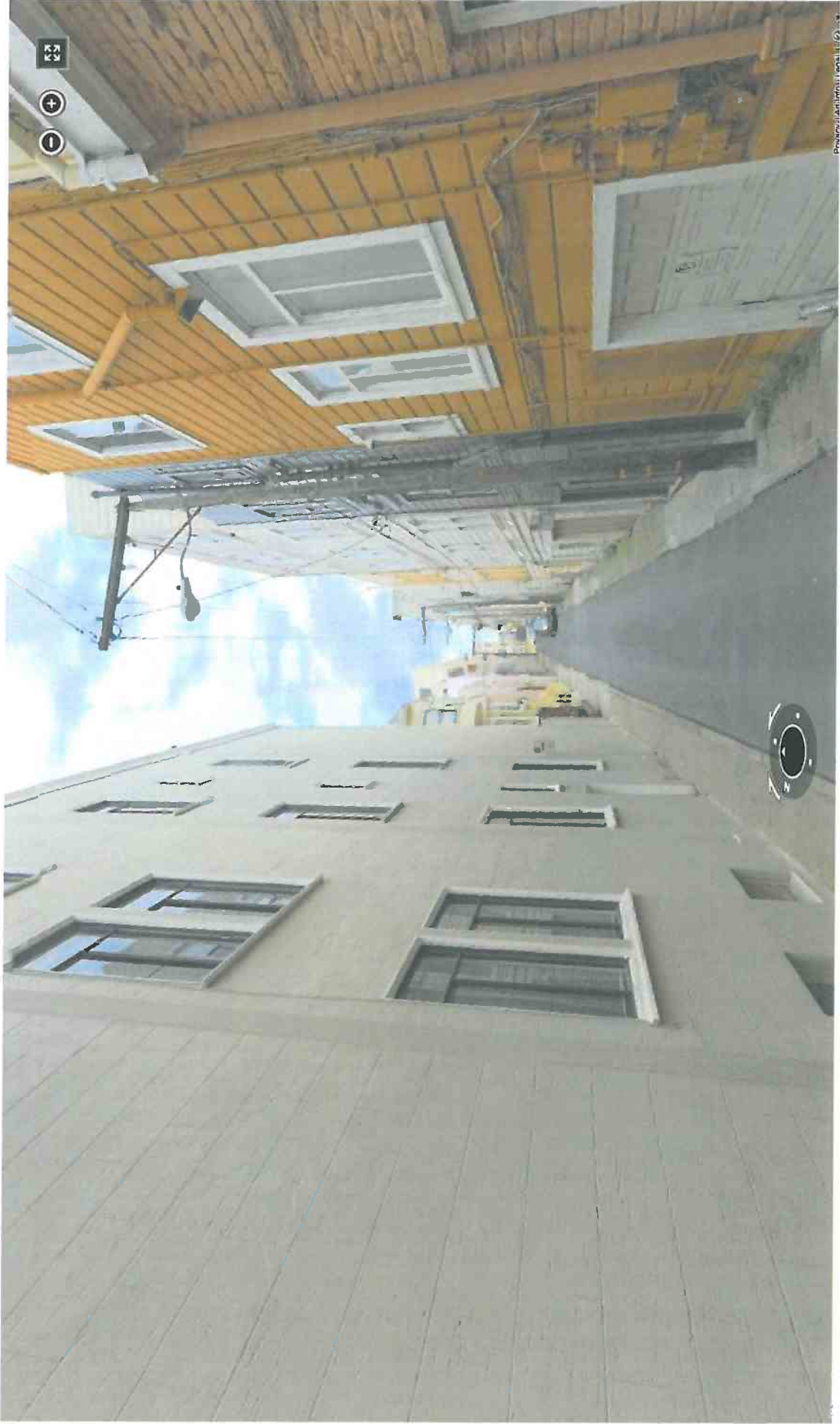
South on Lynch Street



South on Lynch Street



North on Lynch Street



East on Pacific



West on Pacific



EXHIBIT D

JAMES M. BYRNE

THE LAW OFFICES OF JAMES M. BYRNE

THE SWINFORD BANK BUILDING
1374 PACIFIC AVENUE
SAN FRANCISCO, CALIFORNIA 94109
TELEPHONE (415) 777-4444 • (415) 292-1414
FACSIMILE (415) 346-4141

Dear Commissioners:

My name is James Byrne. My wife and I own the property at 1374 Pacific Avenue where I have an office and operate my business. My property is adjacent to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. The requests from PANA are not reasonable and do not represent my interests, nor those of the neighborhood at large. There are two five-story buildings directly across the street and the Tang Family is only building four stories. The existing rear yard at 1370 Pacific, has proven to be a nuisance, with my property experiencing a break-in. The computers in my office were stolen and I had to install iron bars over my windows to deter future break-ins. I do not wish a rear yard setback requirement be imposed on the new property. They removed the property line windows at my request and have proven to be open, friendly, and flexible. Furthermore, I can see the Tang Family has incorporated numerous revisions in response to PANA's requests. Lastly, in case matching lightwells may come up in discussion, I do not wish to have the project include matching lightwells.

The project should be approved as proposed and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Yours Very Truly,

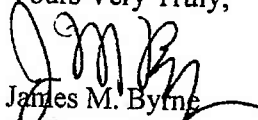

James M. Byrne
Attorney at Law

EXHIBIT E

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
SAMANTHA HENDRICKSON	1656 Leavenworth St #5. 94109
SANJAY MADAN	1177 BROADWAY 94109
James Jeong	1422 Pacific Avenue SF 94109
Jerry Hu	1340 Clay St. #506 SF 94109
Evelyn Throck	1675 Leavenworth St. #506 SF 94109
Tora L	1225 Hyde St. 2. S.F. 94109
RON BURKOVICH	1540 Hyde St #15 94109
Phillip Sim	1580 Washington St #104 SF 94109
HONGXIAO LIANG	1524 Hyde St. PH 108.
Marcelle	2220 Bay St
Robb Moore	1400 Jones St #104 #109
Peter Gault	1625 Leavenworth St SF 94109
David Gault	2024 LARKIN Ct. SF 94109
Paul Bell	953 Union St 94133

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Esther Wong	1739 Leavenworth Street
Maushu-hou	1556 Leavenworth St SF CA 94109
Vicki Winston Maloney	1329 Taylor St #12 - SF CA 94108
JOHN MALONEY	" " " " "
2110	73 ... St. SF CA 94108
Debra B Moore	1000 Union St #308 94133
1111 on car	1761 HIDE
2110	2170 ... St SF CA 94115
Iruman Yee	1627 Jones St SF CA 94116
Fa ...	1470 Jackson #6 SF CA 94109
Juel	1553 1/2 Leavenworth St. SF 94109
Ally	1161 Jackson St SF 94133
1120	1120 ... St
Stephanu Falkende	1430 Pacific

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Andy [unclear]	15th Jane St
[unclear]	1625 Leavenworth St. #202 94109
Ann Talbot	1440 Pacific A SF, 94109
Jeong Hyun	14 Solano #2 SF "
Dale Lee	180 Broadway St SF 94109
Alex Luzasch	1035 Pacific Ave SF CA 94133
Xi H Kwang	(415) 310-4868
Jennifer Karella	1754 Larkin St #4 SF 94109
Monnie Chuan	(510) 691-8368
Brent Marsh	415-559-9931
Shen, You Fei	phone 415-912-7303
Rob Savas	1732 Mac St #1 SF CA 94109 415 438-2838
Bao Jiani Li	1336 Pacific Ave 94109
Floribeth Kernerly	1215 Pacific ave
	94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Patricia Chin	415-614-3698 1383 Pacific Ave. SF CA 94109
Lou Wood	6 GAISEK Ct. SF CA, 94110 977-626-7863
Jennifer Crist	221A Buena SF CA 94133
David Gray	1524 Larkin St SF
James Collins	1101 GREEN ST #1101
Karen Lau	1720 Leavenworth St #7
Etienne	1553 1/2 Leavenworth St
Michael	11 Baker Place SF, CA 94104
Hughes	1535 MIKE ST SF CA 94109
M. Ves	1244 Pacific 94109
Taylor Herr	1580 JACKSON ST #9 94109
RADIO PESTINO	1180 HOWARD ST 94103
John	798 King Dr 94015
Mary McKeeney	1133 Leavenworth 94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
J Bilby	580 Geary Street
Jennifer Lu	470 White St
Jennifer Lu	176 Leavenworth St
Albert Chan	282348
Christopher Yip	1627 Jackson St Apt 6 415 5701610
Andrey Vargov	1244 Pacific Ave 415 812 8777
Joseph Prast	1355 Pacific Ave 105 415 826-9486
Noel Molligan	1929 Larkin St. (415) 922-9094
Joseph Lu	1060 Franklin St 415 951 95
Gadya	1336 Pacific Ave SF 94109
Hicell	1235 Hyde St #3 415 946009
Joe	409 6912
Ping Ping Zhang	415-513-2588
Jimmy Chen	415-793-3874

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Gene Lohse	1244 Pacific
Grace Pan	1340 Clay St #104
Helen Li	1560 Hyde street #23
Chun Sing Chu	1335 Pacific Ave. Apt 202
Regal Kline	1337 Pacific Apt 14
Yan Ming Sh	1666 Carlein St
Yang Qin Wu	1335 Pacific Ave 112
Ngan, Hung Kien Zai gun gong	1655 Hyde # SF. 094109 1235 Hyde #12 SF
Lai Jun Yip mei	(415) 609 3210. (415) 673-1692
R. Jung	(415) 931-3286
JANG FENG UNG	(415) 370 2659
Bonnie Gerstken	1151 Pacific 773-218-2130

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Helen Cheng	1555 Hyde St.
Adam Lang	1215 Pacific
Matt Cohn	1560 Hyde St. #31
Helen Fitzsimmons	1711 Jones St.
John Mann	1711 Jones St.
Bruce Mansfield	1430 Jones
Clarice Louie	960 Pacific Ave
SILVIA MA	1451 Pacific Ave
CATHY KARLOVICH	1252 VALUJO ST. #2
Shirley Lee	1168 Jackson St
MIRANDA LIN	1717, LEAVENWORTH #2
Tim Li (61)	415-810-3055
Jon Toora	1450 Larkin Street
Susan Lipin	1289 Pacific Ave.

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
MIMI LI	59 Glenview Dr S.F. CA. 94131 415 297-9986
MARIA NICO CHARISMA	1554 Jones St (415) 745-1976 4-1104
Chude Gifford	1625 Pacific 608 201 1398
Kenney Wang	1415 15th St, CA 94109
Tami Twarog	1336 Green #4 San Francisco, CA 94109
Sam Ha	1640 Washington St #3 SF CA 94109
Raymond Yee	1465 Pacific Ave S.F. CA 94108
Wm Jau	1465 Pacific Ave SF CA 94109
Marianne Wong	415-740-0046
imj	1737 Polk St. 672-8886-
April Wong	1431 4th Ave. S F. CA 94112.
Vanessa Will	1335 Pacific Ave. CA 94109
Dennis Gifford	1148 Broadway St CA 94109
-Mimi Tam:	(415) 810-2473

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
SUC PARK	1245 Broadway 415 733 3092
Shane McPartly	1725 Hyde St / 209-601-1957
Jane Cordner	999 Green St / 415-740-2929
RAM JINDHYAL	1308 PACIFIC AVE / 305-982-7310
MICHAEL LIM	415-922-1638
BRAD JUSTICE	1310 PACIFIC AVE 499 573 499
Margaret Tony	1616 Linkin St, SF. 415 771-5846
Taylor Buttline	1646 Leavenworth 415 476 6224
TAYLER BUTTLING	1620 JONES APT 5 530 318 3022
Michelle Cirimela	1650 Leavenworth #12 94109
Jane Choi	1650 Jones St 94109
Tim Cho	1650 Jones
JACK	1148 Broadway 94109
ANGELA CHOI	1547 Jackson St, #6 SF CA 94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
VE XIN TAN	1047 STOCKTON ST #311 SF, CA
SHI ZHEN PAN	1690 WASHINGTON #208
idun	1779 N/O Wash ST 94109
HAM KUOK	1560 HYDE ST 94109
JOEL BAUMANN	1380 N. YERGEN 94109
A. White	1450 SUTTER 94109
Joel Gershko	1151 Pacific Ave 94133
MAY SCHWARTZ	1400 Leavenworth 94109
Jen Chen	2023 CLIFTON
PETE GEENEY	1610 Leavenworth ST SF, CA 94109
Judy K. K.	1336 PACIFIC CA 94109
J. K. K.	1555 Leavenworth ST.
STEVE TIFFIN	999 Broadway CA 94133
RANDALL RATTRAY	1735 HYDE ST, SF/CA 94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Yu Ping Yang	1535 Pacific
Lynette May Lynette May	1215 Pacific Ave #302 SF CA
Vivian Canton L.	415 286-2647
Suzanne Qun	415 292 7386
Vickie Chong	415 885-4174
Pamela Chong	1267 Brookway
XIAO YAN ZHU	1717 LEAVENWORTH ST.
Jumera Eltawil	1335 Pacific
Peter Han	1279 Pacific
Jerome Wu	(415)441-0941
YAN MING ZHANG	4100 CHIMICK ST
Kam Lam	1335 Pacific
May Yau	1250 HYDE ST, SF
TINA	1335 PACIFIC AVE 466-5682

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
David Kung	650-619-1900 San Francisco 1537 Jones St #204, 650-277-7233
Maha Prox	415-514-7600 1025 Leavenworth #103 94109
Margaret Sun	0697 Mt. Olympus Dr Castro Valley, 570-727-1136
Wah King	1456 Pacific St
[Signature]	1250 Pacific Ave San Francisco 94109
Yan Lu	1074 Pacific Ave S.F.
Zan Lu	1074 Pacific Ave S.F.
Christine Tibbits	1302 Pacific Ave SF
Andrea Tibbits	1302 Pacific Ave SF
Chloe Sam King	1231 Pacific Ave SF
Sam King	1231 Pacific Ave SF
Yuan Mei	1501 Pacific Ave ST
Siom King -	1231 Pacific Ave S.F.
[Signature]	1519 Ulysses St. S.F.

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
ROBERT PORTER	1711 LEAVENWORTH (415) 923-2632
John Leung	30 BERNARD ST. (415) 908-9577
[Signature]	1237 LACTON 415 913 9864
Giang Sitas	1286 Pacific Ave SF 94109
Lynn Moran	1538 Jones SF 94104
L. Hayward	1561 LEAVENWORTH
[Signature]	1335 Pacific Ave. # 406
Tillie T. Lee	1226 Broadway St.
[Signature]	1601 Hyde St.
[Signature]	1225 PACIFIC AVE
[Signature]	1411 Taylor St
Paul Begally	1469 Pacific Ave.
[Signature]	1469 PACIFIC AVE.
[Signature]	1421 NINE ST #3

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
L. Thomas Hampton	1215 Pacific Ave #102 SF CA 94115 415-885-5348
Natalia Zakharenko	415 474 4250 1215 Pacific Ave #102
Yue E Chen	(415)-775-8109
Conner Stevin	1620 Jones Apt. 2 530613687
Salvador Aguilera	1501 Hyde St 415-377-7350
Cynthia Chan	1555 Hyde St (415) 931-3119
Edmund Lo	1205 Union St. (415) 885-4171
W	1536 Leavenworth St 415-310-1885
Wendell Abraham	1180 Broadway 415 235 8394
Houpu Jey 766	776-3053
Alicia Cha	1612 Hyde St. 650.575.5800
Linda Chan	1267 Filbert St 415 999-1764
SAKI-MIWANIMOTO	1463 Pacific St 347-238-5923
Lung	1610 Hankin

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Appelia	455 eddy 94109 E-21B 415-368-3377
FOON LEONG HUNG	(415) 509-3219
Yiu Wai Lee	(415) 776-3875
Lun Ming Hung	810 7333
Ruben R...	(415) 694-8652
Tony B. ...	(415) 533-0661
Jackie Tai	415 776 6701
PETER MADSEN	1340 LUMBARO ST 415-931-1977
LISA MADSEN	1340 LUMBARO ST 415-931-1977
Johannes Hill	137 Bernard St 415-776-3053
Leslie de Taillandier	1752 Leavenworth St. SF CA 94109 776-7594
Ashley Smith	157 Bernard st 415 7430412
Alex	1958 Lobkin St 415 928-7509
IVAN KANEVSKI	1330 PACIFIC AVE 415-515 7730

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
SI QIONG LIU	776-1184
MOKMAN LEE	531-5636
Sharon Gong	(415) 441-1476
Mickie Lee	1196 Broadway St #10 SF
Amy Obregon	1010 Leavenworth St #8 SF 150731147
Lai Lee	137-7-69 LEAVENWORTH ST CA 94109
Peter H. Charles	1625 Leavenworth St #109 SF CA 94109
John Habloush	1224 Hyde St #11 94109
Paul Vivian	1260 Jackson St. #16 415 412-2960
DAVID CHOW	1732 HYDE ST. #4 415 928-3122
DOVID LIPSCHULTZ	2160 VAN NESS SF 415-999-9910
Timothy Louie	1301 Bernard St SF 415-673-4312
ED LOO	1628 HYDE ST. 415-563-4944
TAN, KENNETH	19 MORRELL ST. 94109 921-3333

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
THOMAS LEE	1196 BROADWAY ST
GLENN PIERCE	1620 LEAVENWORTH ST.
Doris Cheng	1398 Leavenworth ST. S.F. CA
Haci Voh	1101 Hyde St. SF, CA
Cheri Betancourt-Brooks	1344 Pacific Ave SF CA 94109 415-427-2801
GREGG BRAUN	1271 Pacific Ave, SF CA 94109
Ken A Chi	1420 Pacific SF CA. 94109
Rick A Lang	1426 Pacific SF CA 94109
Simon Fung	1731 Leavenworth St SF CA 94109 395 Ave SF CA 94114 415-675-1037
Janest Harney	1450 Broadway #7 94109
Lin Ji	1335 Pacific # 415
Mary Chen	(415) 776-8840
Raymond	415 357-8370
_____	1261 BROADWAY APT 5 S.F CA 94109 415-420-1894

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
VIN JORDAN	171 19 th Ave SF 94121 (415) 365 6841
Charlie Yan	1316 Broadway 415(771)-4866
Jacqueline Wong	(415) 652-7505
Ann Peck	415 730 7703
Steven Cox	805-340-5041
Aldrich Teruel	707-853-3684
JACOB ROSALES	554-036-2927
Dennis Hurry	415 771 9179
Valerie Hein	415-290-2433
David Penney	415.525.9322
Amy Wermunski	415.202.4942
Lisa Minkam	685-9691
Pecci Argho	1492 Larkin (706) 338-5160
Helena Lee	415-274-6084

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Sui J. Hsu	415 5644568
Lin Fong	415 - 334 - 3727
Angel	415 - 694 - 9496
Eileen	415 - 302 - 8702
Yuan zhen	415 - 345 - 4755
Yoko	415 - 568 - 0882
Yi	415 - 6728 - 1155
Linda	415 - 626 - 1388
Linda	415 - 552 - 6694
Linda	415 - 681 - 1027
Sam	415 - 585 - 6732
Kathy Seta	1260 Broadway #102 415 - 474 - 668 94109
Ann	415 - 9312161
Kathy Lum	415 775 6277

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
MARCY ELSIE	1929 LARKWOOD ST, (415) 378-4587
DANIELA SIU	146 BERNARD ST (415) 516-4085
JESSICA SIU	46 BERNARD ST. (415) 938-7680
JUNE LEE	170 BERNARD ST (415) 571-0808
DAN SIU	146 BERNARD ST 415/412-463
ALEX LEMIEUX	1385 CLAY ST 502-232
KATHIE WONG	(710) 471-9298
MINDY MAN	

I support the 1364-1370 Pacific Avenue project:

9-5-2013 年 起

Name 名字	Address/Phone 地址/電話
CHIK NAM TOM	1180 VALLEJO ST. SF. CA 94109 (415) 776-8555
Ruby Loheac	1510 Jones St SF CA 94109 1114-11351
ZUC SHU CHEN	1230 Jackson St Apt 4 CA 94109
Huey Lau	1115 LEAVENWORTH ST (415) 407-1132
Chen	1335 PINE AVE APT 415 76 68 1
Jigam	1111A HYDE ST. CA 94109
GUSTAVO PERAZO	287 3rd ave DART (17% 55 500)
Ch. Chung	1335 PACIFIC AVE. APT. 202 SF. CA 94109
LING HO WONG	(415) 771-4075
Chen	(415) 410-4007 1600 HYDE 1400 PACIFIC AVE
Chen Chen	(415) 272-3628
Chen	(415) 974-3589
John	1320 Pacific Ave 771 901-2
+2	415-345-1189

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Steven F. Stevens	1378 Pacific 415-447-8311
Roberto Fajardo	1645 Leavenworth St 94108
JUAN SUAN LI	1336 Pacific 415-867-5241
IRENE MUEHLE	118 - VANESSA ST 94109
James C.	1518 Hyde St. 94109
John Pomeroy	1318 A GREEN 94123
Ann Hoke	1309 HYDE 94109
Miguel Payero	1420 Jackson St #6 CA 94109
Kathy	1336 Pacific Ave 94109
Miguel	651 1st Ave 94115
Herald B. Hanes	1625 Leavenworth (#308) 94109
Lisa A. Fung	1449 Hyde #1 SF CA 94109
May Shun XIA	1522 Jackson St #1 94109
John Pomeroy	1336 Pacific Ave St 94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Lidia Canello	1685 Sacramento St 94109 (415) 925-9637
J Lee	1336 Pacific Ave. SF CA 94109 (415) 735-3848
[Signature]	1448 P.O. Box SF CA 94109
[Signature]	1235 Hyde St 16 SAN FRANCISCO CA 94109
Rose Chung	1376 Broadway St. 94109
Sin Chew	1549 Jones St. 94109
Matthew Lee	1260 Vallejo St 94109
[Signature]	1442 Hyde St 94109
[Signature]	1335 PACIFIC AVE 94109
Sandra Chow	1335 Pacific Ave #321 SF CA 94109
Crystal Chow	1335 Pacific Ave. SF. CA 94109
Sophie Chow	1335 Pacific Ave. SF. CA 94109
Soren Lee	1781 Jackson Street SF CA 94109
Robert Lee	1231 Jackson Street CA 94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Brent Marsh	1536 Jones St. SE 94109
Katherine Kincaid	1014 Taylor St #9 94135
A. Kim	1269 Pacific 94115
Yee Sing Wong	1710 LARKIN ST.
Hazel Wong	1204 Pacific St CA 94109
Alex Grant	501 Leavenworth St Apt 5
LEE KOK HO	22, Morrill St.
Art G. L.	1070 PACIFIC
Annie Chung	2146 LARKIN, ST 94109
Cynthia Shuen	1625 LEAVENWORTH 94109
JULIAN KO	1665 PACIFIC AVE.
Z.F.	1249 Pacific AVE.
KROOK FAI TAG	1524 HYDE ST. SE CA 94109
Angie L.	1450 Hyde St CA 94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Robert Leung	1449 Hyde St. Apt. #1 SF CA 94109 415-325-2045
Ken K. Leung	1449 Hyde St #1 SF CA 94109
Johann Leung	1449 Hyde St #1 SF CA 94109
Biruk Woubshet	1335 Pacific Ave. SF CA 94109
Tai Skyew	1335 Pacific Ave + SF 94109
EMIL PEREZ, AIA	1215 BROADWAY ST. #1 SF CA 94109
BRENDA LUKAITIS	1661 LEAVENWORTH ST #2 SF CA 94109
JOSE PEREZ	1670 HYDE #2
Richard So	1247 PACIFIC AVE CA 94109
Jung S. Woon	1264-A Vallejo St SF 94109
Tony Chan	1271 Pacific Ave
VINCE LAU	1837 LARKIN ST. SF CA 94109
SUI NG	1748 LARKIN ST. SF CA 94109
Steven Cheung	1335 Pacific Ave SF CA 94109

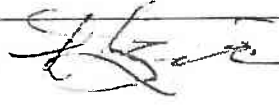

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
DAVID LEE	1368 JACKSON ST S.F. CA 94109
Wai Jia Mei	1701 Larkin ST CA 94109
Wai Kan Mei	1701 Larkin ST CA 94109
Bin Hau Mei	1701 Larkin ST CA 94109
LAWSON YUK	1236 BROADWAY S.F. CA 94109
Wai Huang	1656 LEAVENWORTH ST SF 94109
LAW HEU	1567 LEAVENWORTH ST CA 94109
MAO Q LEE	1569 LEAVENWORTH ST CA 94109
Yang Jun Li	1312 JACKSON #5
Di Hong Li	1312 JACKSON ST #5
Joh Li	1312 JACKSON ST #5
Francis Ho	1559A PACIFIC AVE
Steve Lou	1484 Clay Street
Edward Lau	1335 Pacific Ave SF 94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Lei Ling Hsu	1420 Jackson St #6 S-F CA 94109
Miu Tam	701 GOLDEN GATE #404 S.F. CA 94102
Yvonne Nicholson	1661 Leavenworth St. #6 San Francisco, CA. 94109
Patricia Chin	1383 Pacific Ave. S.F. 94109
Gregg Braun	1271 Pacific Ave SF CA 94109.
BHAGYA. BAKSHI	1271 PACIFIC AVE SF, CA 94109.
Dylan Tran	1310 Pacific Ave SF, CA 94109
Penny Porter	1312 JACKSON SF CA 94109
Charles Ho	1424 Pacific Ave San Francisco, CA 94109
Nancy Chan	1424 Pacific Ave SF CA 94109
Angela Fung	1568 Jones St SF CA 94109.
W. W. Hsu	1536 Leavenworth SF CA 94109
J. Hsu	1549 Jones St #2 S.F. CA 94109
Tingjun Hsu	1344 Jackson St. CA 94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Lily Cai 	1286 Pacific Ave. 415- S.F. CA. 94109 474-4702
John Kennan	1717 Hyde 415 828 4223
Evert Wong	1335 Pacific S.F. CA 94109 921-1723
M M GOR	50 Lynch St (415) S.F. CA 94109 776 7466
mei shan	1320 Pacific Ave S.F. CA 94115 (415) 810235
M M M	1335 Pacific Ave. S.F. CA 94109 (415) 353-7441
L M G	1345 PACIFIC AVE. APT 115
Michael	(415) 817-6122
Michael 	1353 PACIFIC AVE 94109
L M G	1645 Leavenworth St
L M G	1561 Leavenworth St. S.F. CA 94109
M M M	1594 Hyde St S.F. CA 94109
Andy Chen	1599 Hyde St. S.F. CA 94109
HUNG YOK CHENG	1461 PACIFIC AVE S.F. CA 94109

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Boq Wei Ming	1555 Hyde St.
Cin Lee	1336 Pacific Ave
Cecily Li	1814A Pacific Ave
AMANDA ANGOTT	35 WAYNE PL
Wei Xiao Huang	JACKSON 1542 SW
Mei Xiao Jia	1701 LARKIN
LINDY LEO	1645 MASON ST.
SHALVA NARTANIKHILI	1645 MASON ST.
Ruth L Gagnon ^{AKA. Pajni}	1819 Polk St #212 SF 94109
Lily Cai	1286 Pacific Ave. SF 94109
Gang Sitn	1286 Pacific Ave. SF 94109
DOUGLAS LOOK	1164 PACIFIC AVE
ANN LORE	Same ↑
LUCAS WONG	1544 Hyde St SF 94109

EXHIBIT F

Subject: FW: Support for Tang Family's Project at 1364-1370 Pacific Avenue

----- Forwarded message -----

From: Kathy <zwongky@gmail.com<<mailto:zwongky@gmail.com>>>

Date: Tue, Jun 23, 2015 at 9:09 PM

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

To: "kevin.guy@sfgov.org<<mailto:kevin.guy@sfgov.org>>" <kevin.guy@sfgov.org<<mailto:kevin.guy@sfgov.org>>>

Cc: "etang18@gmail.com<<mailto:etang18@gmail.com>>" <etang18@gmail.com<<mailto:etang18@gmail.com>>>

Dear Commissioners:

My name is Kathy Wong and I reside at 1645 Larkin Street, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,
Kathy Wong

----- Forwarded message -----

From: **Yasukochi, Colin @ San Francisco** <Colin.Yasukochi@cbre.com>

Date: Tue, Jun 23, 2015 at 2:58 PM

Subject: 1364-1370 Pacific Avenue (Planning App. No.: 2013.0883 & 2013.0884)

To: "kevin.guy@sfgov.org" <kevin.guy@sfgov.org>

Cc: "etang18@gmail.com" <etang18@gmail.com>

June 23, 2015

Dear Planning Commissioners:

cc: Kevin Guy, SF Planning Dept.

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Colin Yasukochi and I reside at 1536 Pacific Avenue, two blocks away from the proposed project by the Tang Family and on my regular walking route to and from work.

I'm quite familiar with the area and have reviewed the plans to construct two new single family buildings. I believe they will be consistent with the character of the neighborhood and nearby buildings and at a much more appropriate scale than the recently constructed 23-unit condominium at 1355 Pacific Avenue.

The project will have a positive impact on the neighborhood and I completely support it. Plus, it will keep a long-standing, family-run community serving retail store that has become a fixture of the neighborhood.

The opposition to the project by the Pacific Avenue Neighborhood Association (PANA), mainly due to the height and rear yard issues has been adequately addressed. The Tang Family has incorporated numerous revisions in response to PANA's requests and have proven to be open, friendly, and flexible. The continued objections from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Sincerely,

Colin Yasukochi

Colin Yasukochi | Director, Research & Analysis

CBRE | Americas Research

101 California Street | San Francisco, CA 94111

Subject: FW: Support for Tang Family's Project at 1364-1370 Pacific Avenue

From: kurt umbhau <kurtumbhau@gmail.com>

>

Date: June 22, 2015 at 4:06:27 PM EDT

To: kevin.guy@sfgov.org

Cc: etang18@gmail.com

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

Dear Commissioners:

My name is Kurt Umbhau and I reside at 1055 Mason Street, near the proposed project by the Tang Family at 1364-1370 Pacific Avenue. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Kurt Umbhau

Subject: FW: Support for Tang Family's Project at 1364-1370 Pacific Avenue

From: <Karen.Tom@wellsfargo.com>

>

Date: June 22, 2015 at 11:03:56 PM EDT

To: <kevin.guy@sfgov.org>

Cc: <ctang18@gmail.com>

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

Dear Commissioners:

My name is Karen Tom and I reside at 1536 Pacific Ave., in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Karen Tom

Subject: FW: 1364-1370 Pacific Project

From: Gordon Mak [<mailto:gordon.mak@gmail.com>]
Sent: Saturday, May 02, 2015 12:00 PM
To: Guy, Kevin (CPC)
Subject: 1364-1370 Pacific Project

Hello Kevin,

My name is Gordon Mak and I reside on Larkin Street between California & Sacramento. I wanted to write to you in regards to the project located at 1364-1370 Pacific Avenue. I believe that the two newly constructed buildings will have a positive effect on the neighborhood and I completely support the approval of the plans.

I understand some neighbors are opposed to the height of the project, but given that taller buildings currently exist on the same street, the point seems moot. In addition, I can see from past renderings that the Tang Family has already made revisions to lower the overall height of the buildings.

Please share this letter with the commissioners before the hearing.

Sincerely,

Gordon Mak

March 30, 2015

Dear Commissioners:

I reside in unit 401 at 1355 Pacific Avenue directly across the street from the project sponsors, the Tang family. I support their project without reservation, and with much enthusiasm. It will have a positive impact on our block.

When I received and reviewed the 311 notice and attached plans, I approached Eric Tang and reviewed my concerns, and those of 5 other owners in my building whose units face the proposed project. Subsequently, my representative met with Mr. Tang and suggested changes which would mitigate our concerns without compromising the integrity of the project or its amenities, namely parapet reduction to a roof curb design, substitution of a water-proof stairwell for a roof stair penthouse, and set back of rooftop deck enclosure. Initially, because of the holidays, we were unable to resolve the issues before the due date for filing a DR which I filed. Nevertheless, the Tangs and their architect continued to work with me in good faith and agreed to make the requested changes. Consequently, I withdrew my DR.

I found the Tangs open, friendly, flexible and willing to make "good neighbor" changes. I am also familiar with the requests which PANA has made for changes to the north side of the building facing on the alley. My view, and the view of other residents of 1355 Pacific, is that the requests are completely unreasonable, and certainly do not represent the desire of the neighborhood at large whom they purport to represent.

The Tang family are long term residents of the neighborhood, beloved by virtually all neighbors who want them to have their project approved. If adopted, the PANA DR recommendations would eviscerate the project. Accordingly, I urge you to support the project as presented to you which includes the minor parapet and penthouse revisions.

Sincerely,



Sophia M. Corbett



Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is PEE GEDNEY and I reside at 1610 LEAVENWORTH ST, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Date: 6/22/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Biruk Woubshet and I reside at 1335 Pacific Ave, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Biruk Woubshet

Date: 6-22-2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Deborah Ann and I reside at 1335 PACIFIC AVE 302 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood; with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Deborah Ann Date: 6-22-2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is See Ann and I reside at 1548 Jones St in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing:

Sincerely,

See Ann Date: 6-22-2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

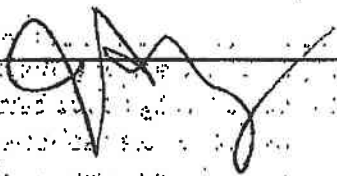
My name is Jen Tamer and I reside at 1229A Vallejo in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6-22-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

San Fran. CA 94116

My name is Johann Leung and I reside at 1449 Hyde #1 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Johann Leung

Date:

6/22/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Robert Leung and I reside at 1449 Hyde St. Apt. #1 St in CA 94109
 close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly
 constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying
 from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on
 the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to
 the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their
 requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and
 do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Robert Leung Date: 06/22/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is SEANEEN Foley and I reside at 1456 Jones/Jackson in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Seaneen Foley Date: 6-22-2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

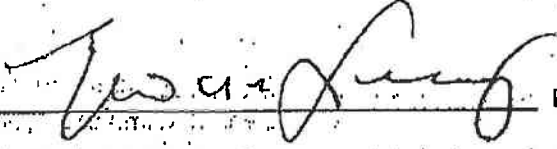
My name is ELISE Leung and I reside at 1449 Hyde #1 SF ⁹⁴¹⁰⁹ in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 6/22/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is JIECHANG HANG and I reside at 137 Bernard St. S.E. 091109 close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Jiechang Hang Date: 6/22/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Ming Jiah Feng and I reside at 4220 Jackson St #6 SF, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Ming Jiah Feng Date: 6/22/2015



Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Yinghua Long and I reside at 1261 Broadway S.F. CA 94108 close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Yinghua Long Date: 6/22/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Li Lin and I reside at 1336 Pacific Ave. SF. CA 94109 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Li Lin Date: 6/22/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is LENNAN OSTERGAARD and I reside at 1561 LEAVEN WORTH

close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

L. Ostergaard Date: JUNE 22/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Fred Lee and I reside at 30 Salmon St. SF in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Fred Lee Date: 6/22/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

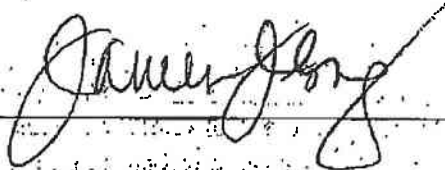
My name is James Jeong and I reside at 1422 Pacific Avenue in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6-22-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Liyas Li Yam and I reside at 1511A HYDE ST. In close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Liyas

Date: 6.22.2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is TAM B TOM and I reside at 47 WHITE ST. In close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Tammy Tom Date: 6-22-2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Wayne Wong and I reside at 50 Lynch St. in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6-22-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Brent Wong and I reside at 1335 Pacific Ave. in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue, The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/22/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Angie Kwan and I reside at 1748 LARKIN #7 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6-22-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Christine Imfeld and I reside at 1324A Pacific St in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

CHARLES STARBUCK

My name is _____ and I reside at 1625 Lakewood St in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Charles Starbuck

Date: 6/24/15

Dear Planning Commisloners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

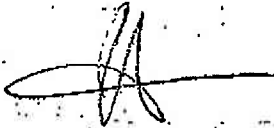
My name is Arthur Wu and I reside at 1545 Taylor St in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6-21-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is BRANDON CHAYLER and I reside at 10 MULLER PLACE in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Brandon Chayler Date: 6/21/15



Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is KAM KUOK and I reside at 1560 HYON ST # 33 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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Please share this letter with the commissioners before the hearing.

Sincerely,

Kam Kuok Date: 06-22-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

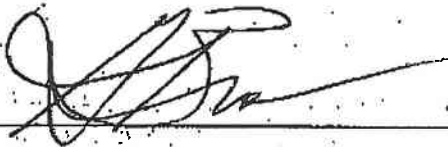
My name is GREGG BRAUN and I reside at 1271 Pacific Ave in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 21-JUN-2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Austin Soel and I reside at 1023 Broadway in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Austin Soel

Date:

6-21-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

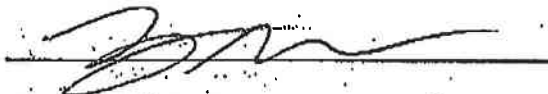
My name is Luis Moran and I reside at 1538 Jones St SFCA 94109 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Gerald E. Haney and I reside at 1625 Leavenworth (4108) in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Gerald E. Haney Date: 06/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is J. Lo and I reside at 1734 Leavenworth St. in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

J. Lo Date: 6-21-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Sharon Gong and I reside at 1824 LARKIN ST #5 SF. CA 94109 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Sharon Gong Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

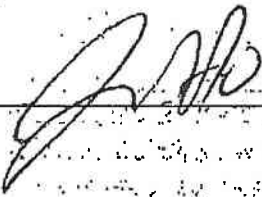
My name is JAMES HU and I reside at 1535 LEAVENWORTH ST # 12 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 6/21/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Ran Chen HL and I reside at 1535 Leavenworth St in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Ran Chen HL Date: 6/21/2018

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

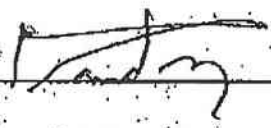
My name is DANIEL PEREZ and I reside at 1245 BROADWAY #4, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

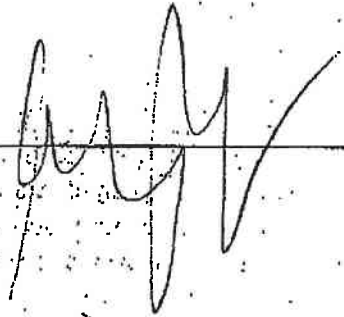
My name is Serge and I reside at 1534 Taylor, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 06/21/15

Dear Planning Commisssioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

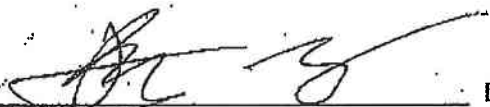
My name is WOLFRAT LEAN and I reside at 1549 JONES ST #2, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 6-21-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

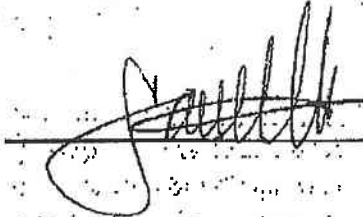
My name is Sarah Ho and I reside at 1535 Leavenworth St, # 12, SF CA 94109 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is NICOLE CHENG and I reside at 1625 Leavenworth St. (Apt 104) in
close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly
constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying
from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on
the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to
the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their
requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and
do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 06/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Gregory A. Pios and I reside at 1610 Leavenworth St #2, SE in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/2015



Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Susan Fong and I reside at Russian Hill in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

I understand the Pacific Avenue Neighborhood Association (PANA) is opposed to the project, mainly due to the height and rear yard. I can see the Tang Family has incorporated numerous revisions in response to their requests and have proven to be open, friendly, and flexible. The requests from PANA are not reasonable and do not represent my interests, nor the neighborhood at large.

The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Susan Fong Date: 6/21/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

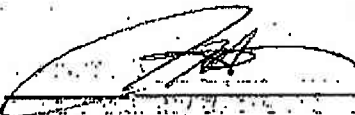
My name is Mika Hirota and I reside at 1610 Leavenworth St. #2, SF. in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

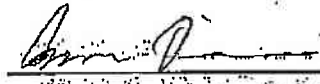
My name is Connor Driscoll and I reside at 1620 Leavenworth St. in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/20/15

Dear Planning Commisssioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

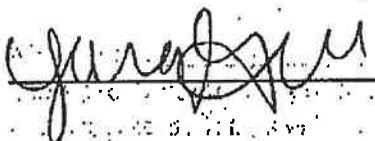
My name is Lara Greiert and I reside at 1800 Franklin St. in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 5/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue


My name is SANJAY MADAN and I reside at 1177 BROADWAY in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Harold Wong and I reside at 1204 Pacific in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Harold Wong Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

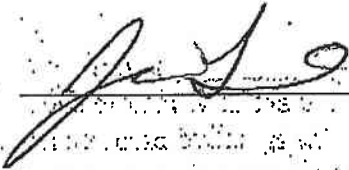
My name is Jasmin Littlefield and I reside at 1369 hyde st apt 2 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Dana Baker and I reside at 1610 Powell in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Alex Graham and I reside at 523 Green in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 6/24/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

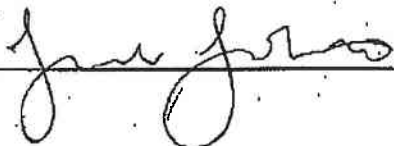
My name is Jacob Johnson and I reside at 876 Union St. In close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

 Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

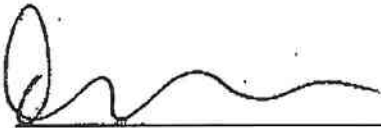
My name is DAVID TETER and I reside at 1662 CLAY ST in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/2015

DAVID TETER
1662 CLAY ST

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Chien Chang and I reside at 1662 Clay St., SF, CA 94109 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Penny PORTER and I reside at 1312 JACKSON #15 S.E. 94109, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Penny Porter

Date: 6-21-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Denni Neider and I reside at 1350 Washington St. Apt 23 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Denni Neider

Date:

6/23/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is IAN Harriman and I reside at 1350 Washington Street in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,


Date: 06/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Kathleen Maloney and I reside at 1517 Jones St. #4, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/20/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

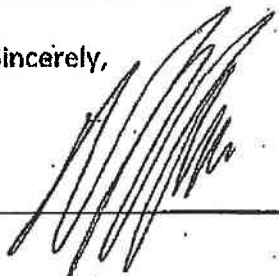
My name is Meaghan McDonnell and I reside at 1550 Jones st, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date:

6/21/2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Kevan Vander Hall and I reside at 1630 Jones in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Kevan Vander Hall Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Nancy Chan and I reside at 1424 Pacific Ave in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Nancy Chan

Date: 6-21-15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue


My name is Charles H and I reside at 1424 Pacific Ave, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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Please share this letter with the commissioners before the hearing.

Sincerely,

 _____ Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

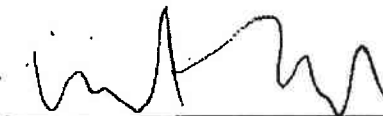
My name is Kristen Keelin and I reside at 1246 Filbert St in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Lucy Phillips and I reside at 1612 Hyde, in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

 _____ Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is PATRICIA CHIN and I reside at 1383 Pacific Ave. in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Patricia Chin

Date: 6-21-2015

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

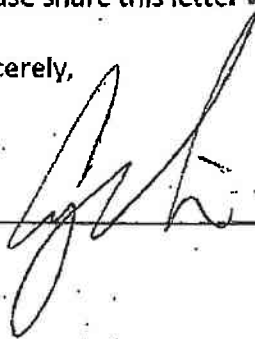
My name is Cory Vitek and I reside at 1625 Leavenworth St. In close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is Caroline McDermott and I reside at 1610 Leavenworth St. in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,

Caroline McDermott

Date: 6/21/15

Dear Planning Commissioners:

Subject: Support for Tang Family's Project at 1364-1370 Pacific Avenue

My name is CHIK N. TOM and I reside at 1180 VALLEJO ST. 94109 in close proximity to the proposed project by the Tang Family at 1364-1370 Pacific Avenue. The two newly constructed buildings will be consistent with the character of the neighborhood, with nearby buildings varying from one-to-four stories tall, with some ground floor retail. I believe the project will have a positive impact on the neighborhood and I completely support the project without reservations.

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The project should be approved and discretionary review requests from PANA should be denied.

Please share this letter with the commissioners before the hearing.

Sincerely,



Date: 6-23-15

I support the 1364-1370 Pacific Avenue project:

Name 名字	Address/Phone 地址/電話
Jessica Li	3491 Brookdale Blvd, Castro Valley, CA 94546 650-267-1459
Betty Chan	2763 Cortez Ct. Castro Valley, CA 94546 415-290-8639
Jeff Chen	1508 Taylor St Apt #8, San Francisco CA, 94108 415-623-4765
TONY WU	135 ELIZABETH DR S.F. CA 94132 415-205-2855
Michael HAI ZHANG	1168 Verlego ST. S.F. CA 94102 415-885-4100
MICHAEL CHOW	555-17th AVE., S.F., CA 94121 415-215-6805
Hung Huyuh	44 TOPEKA AVE SF CA 9412 415-467-4393
DAVID YIP	733 KERRAN ST., S.F., CA. 94108 415-689-0178
Zhi Cheng	3021 Kansas St. Oakland, CA 94602 510-590-8358
KAREN TOM 湯 嘉 琳	1536 PACIFIC AVE #4 SAN FRANCISCO, CA 94109 415-250-5312
COLIN YASUKOCHI	1536 PACIFIC AVE #4 SAN FRANCISCO, CA 94109 415-990-0944
Anatoma	146 Pixley St 415 218-2736
DAVID Gong	415-444-1476
Candy Cheng	415-222-7817

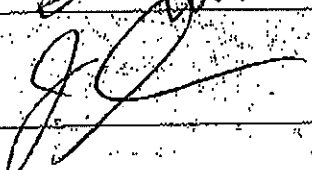
I support the 1364-1370 Pacific Avenue project:

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Sandy Cho	711 Frederick St San Francisco, CA 94117 415-680-7754
Ray Wong	711 Frederick St San Francisco, CA 94117 (650) 303-1059
Kingston Wong	711 Frederick St San Francisco, CA 94117 (415) 664-1928
Lisa Cho	711 Frederick St. San Francisco CA 94117 (415) 939-2188
Ho MAN EHO	711 Frederick St S. F. CA 94117 (415) 939-2838
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Peter Cho	711 Frederick St San Francisco CA 94117 415-939-9293
Qiong Gan	433 Broadway St. 4A S.F. CA 94133 415-433-738
Jan Cao	433 Broadway St. 4A S.F. CA 94133 415-433-7387
ELO	1734 LEONARD ST. SAN FRANCISCO, CA 94109
Melinda Lee	1458 PACIFIC AVE 978-790-5947 SAN FRANCISCO CA 94109.
LILY LEE	1415 HYDE ST., #4 S.F., CA 94109-3198
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ELAINE J. LEE	1539 FOUNTAIN ST. ALAMEDA, CA 945
HUANCHENG LI	1258 PIONEER ST ST. CA 94124
JUN G. LEE	718-34TH AVE S.F, CA 94121
YU CHI LEE	810-9660 PARIS ST 94112
PO ON LEE	867-3601 PARIS ST S.F. CA 94112
Chunji	819-1298 S.F. 94109
William Lee	1526 Leavenworth St.
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Kuo Ang Lee	1-415-699-0673
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QI MEI LI	(510) 672-3550
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JOEL BAUMAN	(415) 776-0431
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Li Yan	415 506-0113
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* HENRY TANG	(415) 867-4682
CHRIS TANG	(510) 677-0777 XXXXXXXXXXXX
DORIS TANG	(510) 506-2999
Alvin Tang	(510) 506-0944
Brian Tang	(510) 913-1002

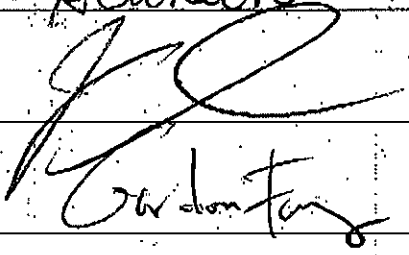
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Name 名字	Address/Phone 地址/電話
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W Yuen	246 LYNCH ST., SF CA 94109
Lynn Terrebonne	1264 Jackson St SF CA 415 426 8502
Nikenna Hoo	1419 Pacific Ave S F CA 94119
Alson Louie	1551 HYDE ST SF. CA 94109
Richard Wlo	1324-1330 Pacific Ave, SF 94109
Irene Coulter	1516 Hyde St. SF 94109
WAN YEE WONG	415 - 409 - 8246 [REDACTED] S.F. CA [REDACTED]
Brent Wong	1335 Pacific Ave. SF CA 94109
Jme Ganun	1541 Leavenworth St. SF CA 94109
Steve Ekstrom	1517 Hyde St. 94109
JOHN KO	1665 PACIFIC AVE SF CA
Taylor King	1665 Pacific Ave SF CA
Daniel Birbaum	1260 Jackson St. SF CA

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Wayne Wong	1256 Green St. SF, CA 94109
MEMBALL CHOI	1525 Hyde St. SF. 94109
Rick Cong Lang WJ Q	1426, pacif. c. SF 94109 1519, HYDE ST 94109
KATHLEEN LEHMAN	1052 VALLEJO ST 94109
Han Rong Liang	1261 Broadway Apt 4 94109
Lily Cui	1286 Pacific Ave 94109
Amy Chan	1544 Hyde Street #
DAN LEE	1508 TAYLOR ST. APT. 7 S.F. CA 94115
MICHAEL LEE	1508 TAYLOR ST. 2 S.F. CA 94133
Lynn	1511A HYDE ST CA 94109
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Su Chua	1549 Jones St. SF. CA 94109

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	1415-923-1281 146 Bernard St. SF-Ca 94109
Gordon Fong	146 Bernard St. 94109 415-508-6332 415)860-7118
Jason Yan	2122 42nd Ave. SF, CA 94116
JERRY ROBERT	875 DENVER ST SF CA 94107
Jan & Jan	47 WHITE ST
Steven Stevens	1378 Pacific ^{SF} CA 94109
Ennie Lee	16 Salmon St #1 CA 94133
David Fong	138 Bernard St.
Ying An Qi	683 41st AVE.
Dara Kao	1770 Broadway, #203 San Francisco, CA 94109

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Brian Keeney	1126 Vallejo St. SF CA 94109
JAMES Li	2031 POLK ST. SF CA 94109
FRANKI NG	1601 PACIFIC AVE 94109
Florence Liang	1601 PACIFIC AVE 94109
Lowell Huang	1355 Pacific Ave 94109
Frankie B	Taylor St
Mony Liang	1740 Larkin St 94109
Yunka Yu	1824 Larkin Street, 94109
Yun Zhan	1261 Jackson St. 94109
EXCELLENCE	1057 Broadway 94133
Diana Cho	711 Frederick St S-F CA 94117
HO MAN CHO	711 Frederick St S-F CA 94117
Peter CHO	711 Frederick St S-F CA 94117

[*]

Ying Ai Ci

683. 41ST AVE.

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