



# SAN FRANCISCO PLANNING DEPARTMENT

## Memo to the Planning Commission

HEARING DATE: JUNE 14, 2012  
Continued from the May 10, 2012 Hearing

*Date:* June 7, 2012  
*Case No.:* 2012.0084DD  
*Project Address:* 2735 - 2737 Baker Street  
*Permit Application:* 2011.10.27.7765S  
*Zoning:* RH-2 (Residential, House, Two-Family) District  
40-X Height and Bulk District  
*Block/Lot:* 0948/002B  
*Project Sponsor:* Richard B. Teed  
c/o Kelly Condon  
117 Greenwich Street  
San Francisco, CA 94111  
*Staff Contact:* Mary Woods – (415) 558-6315  
[mary.woods@sfgov.org](mailto:mary.woods@sfgov.org)  
*Recommendation:* **Take Discretionary Review and approve with modifications**

1650 Mission St.  
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### BACKGROUND

Following the May 10 public hearing on these Discretionary Review requests, the Commission approved a motion to continue the item to June 14 and directing that the project sponsor revise the project to incorporate the following changes:

- Work with staff to reduce the size of the upper roof deck to 350 square feet, with deck area on the east side being eliminated;
- Reduce the width of the rear addition by 6 inches on each side;
- Reduce the depth of the rear addition to align with the adjacent rear building walls; and
- Work with staff to ensure that the proposed rear yard patio still leaves appropriate open space in the rear yard, and that the rear yard is landscaped to conform with its natural slope.

### CURRENT PROPOSAL

In response to the Commission's requested changes, the current plans, dated June 6, 2012, are revised as follows:

- With regard to reducing the size of the upper roof deck to 350 square feet with the area on the east side being eliminated, the project sponsor made the roof deck smaller through reductions on the east and south sides of the roof deck, approximately 5 feet on the east side and 1 foot on the south side;
- The project sponsor reduced the width of the rear addition by 6 inches on each side;
- The project sponsor did not reduce the depth of the rear addition to align with adjacent rear building walls;
- The project sponsor did not revise the proposed rear yard patio and landscaping. The Zoning Administrator expressed his opinion that the patios meet the intent of the Planning Code's open space requirements.

### **REQUIRED COMMISSION ACTION**

The Commission may take Discretionary Review and approve the project sponsor's revision submittal with additional modifications to ensure compliance with the direction given at the May 10, 2012 public hearing. The Commission may take Discretionary Review and disapprove the project. The Commission may also not take Discretionary Review and approve the project as revised on June 6, 2012.

### **BASIS FOR RECOMMENDATION**

- The project sponsor did not fully comply with the Commission's requested changes made at its May 10, 2012 public hearing.

<b>RECOMMENDATION:</b>	<b>Take Discretionary Review and approve the project with modifications</b>
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#### **Attachments:**

Sponsor's original plan submittal dated April 14, 2012

Sponsor's revised plan submittal dated June 6, 2012

mw/g:\documents\dr\2735 - 37 Baker St – Memo to CPC



**SAN FRANCISCO  
PLANNING DEPARTMENT**

**RESPONSE TO DISCRETIONARY REVIEW**

Case No.: 2012.0084DDD  
 Building Permit No.: 2011-1027-7765  
 Address: 2735-2737 Baker

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 Suite 400  
 San Francisco,  
 CA 94103-2479

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Planning  
 Information:  
 415.558.6377

Project Sponsor's Name: Kelly Condon  
 Telephone No.: 415-240-8328 (for Planning Department to contact)

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.

**Please see my responses to the individual comments & concerns stated by the DR requesters per the attached documents, illustrations & photos.**  
**This project is well within Planning guidelines. We have voluntarily reached out to & worked with neighbors for months & have made many concessions - mostly with success in alleviating concerns. The remaining filed claims are either false or are due to oversensitivity.**

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

**The DR filer is concerned about views & claims we propose a penthouse that is not proposed. We revised the drawings post DR filing to eliminate solid railings above roof level. The filer wants us to NOT build due to an oversensitive privacy claim. She appears to live in Santa Rosa (see her mailing address) & her unit on Union is 58'-8" away from the proposed roof deck - separated by 1+ neighboring lots & her own rear yard.**

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

**The 'changes' requested by the DR filers were that we 'eliminate' the additions. We are willing to compromise - but not to eliminate the terrace & roof deck for someone 58' away who thinks cigarette smoke will enter her windows. We can't build a privacy screen for her because she insists on a 35' height limit for solid railings & is very concerned about her views. We have done everything we can to avoid a hearing - but in the end - unfortunately - we have no other option.**

4. Please supply the following information about the proposed project and the existing improvements on the property.

	<u>Number of Existing</u>	<u>Proposed</u>
Dwelling units (only one kitchen per unit -additional kitchens count as additional units) .....	<u>2</u>	<u>2</u>
Occupied stories (all levels with habitable rooms) ...	<u>2</u>	<u>3</u>
Basement levels (may include garage or windowless storage rooms) .....	<u>0</u>	<u>0</u>
Parking spaces (Off-Street) .....	<u>1</u>	<u>1</u>
Bedrooms .....	<u>4</u>	<u>4</u>
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas ...	<u>2398 s.f.</u>	<u>4109 s.f.</u>
Height <u>to top of roof &amp; top of decking</u> .....	<u>32'-0"</u>	<u>34'-10"</u>
Building Depth .....	<u>66'-5"</u>	<u>75'-7"</u>
Most recent rent received (if any) .....	<u>N/A</u>	<u>N/A</u>
Projected rents after completion of project .....	<u>N/A</u>	<u>N/A</u>
Current value of property .....	<u>\$1.6 mil</u>	<u>\$4.3 mil</u>
Projected value (sale price) after completion of project (if known) .....		<u>not for sale</u>

I attest that the above information is true to the best of my knowledge.

 APRIL 15, 2012 Kelly Condon  
 Signature Date Name (please print)

## 2735 BAKER – RESPONSES TO DR FILER COMMENTS

### PERMIT# 2011-1027-7765

#### D.R. FILER #1 – JUDITH KEISER:

Please note that this DR requester's mailing address is a 5,255 s.f. single family home on a 30,492 s.f. lot in SANTA ROSA.

The Neighbor Outreach meeting was held on July 7, 2011 & the formal 311 notification poster was posted between February 9 & March 20. We have emailed plans / comments back & forth with neighbors & with the Cow Hollow Association for over 9 months. The Keiser's claim to have only discovered this project on March 4<sup>th</sup> – effectively having missed most of a very obvious neighbor outreach process.

The Keisers first contacted me to discuss their concerns on March 4, 2012 when I received a voicemail from **Wayne Keiser stating**: *"Unfortunately, the proposed project will completely obstruct our bay & surrounding hills view as well as a noticeable portion of the sky – therefore the roof deck will not work for us"*

On March 5<sup>th</sup>, I discussed the project at length with Judith Keiser & our planner Mary Woods - at which time Judith was informed that views are not protected rights in San Francisco. All the same – I illustrated graphically on photos of her view perspective provided to me by her that there are no impacts to their views of the bay & hills & sky – largely due to the fact that we plan to have a recessed exterior stair & to use glass railings at locations that do not require fire-rated parapets.

We were unable to make progress on her concern that her privacy is jeopardized because we feel these are oversensitive claims (see below for more detail).

#### DR QUESTION 1 – EXCEPTIONAL & EXTRAORDINARY CIRCUMSTANCES:

**FILER:** *The addition of a roof deck to the project completely compromises the privacy of our entire unit since both our bay windows are in direct line with the proposed deck. Thus, noise, lights, cooking and barbeque smoke, cigarette smoke, or whatever recreational activities might occur here would enter our living, dining, and office rooms. This is a large deck and we could expect that very active events could easily take place here. The proposed deck far exceeds in size any of the other decks next door or down the block.*

**PERMIT APPLICANTS RESPONSE:** The windows in the Keiser's unit that are closest to the proposed roof deck are 58'-8" away from the deck & 2 lots away from the subject lot. These windows are on the second story of their building & the proposed deck is above the 3<sup>rd</sup> story of the project building with railings recessed 5' from the existing property line wall of the subject building (see photos 1-3 & color block map).

The building code requires exterior lighting to be timer controlled & indirect (ie. shielded). We

have proposed indirect step lights on the proposed deck that are 12" above the floor (ie. too low to affect neighbors).

This deck does not far exceed other decks in the neighborhood (see color block / lot map – attached as an exhibit). There are several roof decks of similar scale on top of 3<sup>rd</sup> stories – all with penthouses that comprise a 4<sup>th</sup> story along this block of Baker & on the corners of both Filbert & Union - including the Keiser's own building at 2806 Union. There are 5 4-story buildings within those bounds (see photos 12 & 13). ALL of these 4<sup>th</sup> stories are much taller & larger than the proposed deck.

Quiet enjoyment does not only happen indoors.

The thinking here seems to be – that outdoor space equals loud parties.

If that were a valid argument – each of the neighbors making such claims would be just as liable to create noises & smells of their own & to have voyeuristic tendencies of their own in their own back yards – and on their own roof deck (as the second DR filer has a roof deck of his own).

The following is a direct quote from Michael Garcia – President of the Board of Appeals from a hearing at the board of appeals on March 21, 2012. This quote was in response to neighbors appealing a 500 s.f. roof deck at 2756 Baker (which is right across the street from the proposed project). The neighbors who appealed that deck made ALL the same claims Mrs. Keiser makes in her DR filing.

*"I wanna say this as nicely as possible. We live in an urban area. Pretty much - if your neighbor is going to barbecue - even if it's like 2 or 3 stories below you - given the wind blowing the right direction and it's on the ground - you're going to get odors. It's not a safety issue. And, you know, light, air, privacy - I don't know. It seems as though most of this is upright. None of us is guaranteed a view or light or necessarily even air - and as for privacy - and again - I hope to make this as gentle as possible - that's pretty much what window treatments are for."*

#### MICHAEL GARCIA, PRESIDENT OF THE SAN FRANCISCO BOARD OF APPEALS

#### DR QUESTION 2 – UNREASONABLE IMPACTS OF CONSTRUCTION:

**FILER:** *This would permanently compromise our privacy and enjoyment of our entire, admittedly small, condominium since all rooms except a bedroom, bathroom, and sliver of a kitchen are open to this deck. All other rooms are in the direct frontage across the width of our home. We could reasonably expect that quite large and active events could happen here. If not, why have it so large with kitchen sink and barbeque?*

#### PERMIT APPLICANTS RESPONSE:

The Planning Department does not require permit application for barbecues & does not have jurisdiction over private events at a residence. Deck size & presence of food preparation equipment are not a guaranteed pre-cursor to bad behavior. Unreasonable noise levels are a concern of the Police Department. Not the Planning Department.

**DR QUESTION 3 – PROPOSED ALTERNATIVES / CHANGES TO PROJECT:**

**FILER:** *We request that it be eliminated or substantially be reduced in size with no kitchen functions.*

**PERMIT APPLICANTS RESPONSE:**

See my above comments regarding the Planning Department's stance on barbecues. Proposing elimination of a project is not a change or compromise.

**FURTHER COMMENTS FROM FILER:**

**FILER:** *The owner/developer is Rick Teed of "Teed Haze, " a professional real estate agent and developer team operated out of Sotheby's International Realty. This team of developers have purchased and developed numerous properties in the area over the past several years and this property is listed as the "Latest Development project" on the website at: <http://www.teedhaze.com/development-projects/current-projects/273-537-Baker-St> After holding the mandatory one community meeting, the developer has eschewed all further contact with neighbors.*

**PERMIT APPLICANTS RESPONSE:**

We were NOT required to hold a neighbor outreach meeting. Mrs. Keiser is **[not]** an immediately adjacent neighbor. Mrs. Keiser had a 9 month period during a very high profile VOLUNTARY neighbor outreach process in which to contact the project sponsor with her concerns. She waited until the last week of the 311 notification to contact us & her concerns at that time were her views. During the neighbor outreach process we made numerous concessions to the neighbors – some with success & others (ie. Requests to eliminate the additions) without success (see final page for itemized list of changes made to plans for neighbors pre-submittal for permit).

Extensive coordination with neighbors & the CHA was conducted after the July 7<sup>th</sup> voluntary meeting – over the phone & through emails.

The building owner is a developer / real estate agent FOR A LIVING. This is not a development project. Neighbors have been informed of this many times. Even developers have to live somewhere.

Conversely - this DR filer appears to live in Santa Rosa - NOT in Cow Hollow. The Keisers have stated within this filing that their mailing address is a 5,255 s.f. single family home on a 30,492 s.f. lot in Santa Rosa & the Assessor also has that address on file as being the address of the building owner.

**FILER (PARAPHRASED):** *...The project proposes a large and intrusive rooftop deck and also proposes an extension into the rear yard past both adjacent buildings. The proposed rooftop deck violates the guidelines and the rear yard extension past both neighboring homes also violates the guidelines.*

*... The Commission should at a minimum, require the proposed project to be modified to comply with the Guidelines. 1) Require the height be reduced by eliminating the top floor deck 2) Reduce or eliminate the rear yard extension based on the neighboring buildings; 3) make the façade compatible with surrounding neighborhood character as required by the Guidelines.*

**PERMIT APPLICANTS RESPONSE:**

We have revised the project to include a fully fire-rated roof under the deck so that we might eliminate all solid railings. At this time – no solid features protrude above the 35' CHA height limit. The (now all glass) deck railings are at roughly the same height as immediately adjacent neighboring parapets & railings so there is no reason to simply eliminate the deck.

The claim that the rear addition is beyond Cow Hollow setbacks is unfounded. The rearmost wall of the addition is on the 45% setback line, that addition is only 1 story tall & it's side walls were recessed in as a concession to the immediately adjacent neighbors – not as a requirement of code or neighborhood guidelines.

**FILER (PARAPHRASED):** *... In this instance, the Project Sponsor plans a large rooftop structure. This is not a simple roof deck, but appears to be the start of a new floor of occupancy.*

**PERMIT APPLICANTS RESPONSE:**

The Planning Commission should not be a forum for the opposition of imaginary projects. This is a waste of everyone's time & taxpayer's money.

**FILER (PARAPHRASED):** *The project as proposed would have the following adverse effects:*

*A. The height and scale of the proposed project would negatively impact the prevailing scale of the built environment on Baker Street...*

**PERMIT APPLICANTS RESPONSE:**

Not true. See color block map indicating heights & scales of surrounding buildings. The proposed project blends right in.

**FILER (PARAPHRASED):** *The project as proposed would have the following adverse effects:*

*D. Rooftop Features: ...THERE IS NO OTHER BUILDING IN THE VICINITY THAT HAS A FOURTH FLOOR LEVEL DECK OF THIS SIZE – a deck on top of the built out third floor, with a solid wall parapet and glass on top of that structure...*

**PERMIT APPLICANTS RESPONSE:**

Not true. There is an approved 500 s.f. deck directly across the street at 2756 Baker – under construction right now. Our immediate next door neighbor – Cary Klafter (DR filer 2) has a very similarly sized roof deck – only his includes a penthouse – which ours does not. 3 lots down on Baker – there is another similarly scaled roof deck – also with a penthouse. In addition – there are 5 4-story tall buildings along this same block of Baker between Filbert & Union (including the DR filer's own building). These 4<sup>th</sup> stories are all much larger & taller than the proposed deck.

**FILER:** *The plans feature both a parapet and a stair penthouse.*

**PERMIT APPLICANTS RESPONSE:**

Not true. There never was a proposed penthouse. Again – all railings are glass now due to a (post DR filing) revision of the fire-rated assembly that allows us to NOT have solid parapet walls anymore.

**FILER (PARAPHRASED):** *Although the plans are totally inadequate in that they do not accurately show the dimensions of the proposed rooftop features...*

**PERMIT APPLICANTS RESPONSE:**

Not true.

**FILER (PARAPHRASED / CONTINUED FROM PRIOR COMMENT):** *...they appear to be incongruous not only with the Cow Hollow Neighborhood Guidelines but also with several of the City's General Residential Design Guidelines, which call for the following:*

*-- Sensitively locate and screen rooftop features so they do not dominate the appearance of a building.*

*-- Limit in number and extent the proposed rooftop features.*

*-- Stair penthouses may also be entirely eliminated through the use of roof hatches, courts with stairs or exterior rear stairs to the roof.*

**PERMIT APPLICANTS RESPONSE:**

The proposed roof deck is set back 13'-9" from the front property line, 26'-5" from the rear building wall (not including jogs around a recessed staircase that has much lower railings due to the sunken levels of the stair as it rises), 5'-8" from the southern lot line & is positioned to

completely clear the northern lightwell by nature of the stair location creating a further recess away from the northern side lot line for a full 8'-1" & then the railing facing that lot line & aligned with that light well is all glass. There is no stair penthouse. The stair is entirely recessed within the envelope of the existing building. This deck is designed with extreme sensitivity.

**FILER (PARAPHRASED / CONTINUED FROM PRIOR COMMENT):** *The project as proposed would have the following adverse effects:*

*E. Hazard to birds: In addition to the project's incompatibility with the character of the surrounding architecture of the neighborhood, the large expanses of glass at the top of the roof are inconsistent with the City's guidelines for protecting birds ...*

**PERMIT APPLICANTS RESPONSE:**

Not true. All glass railings exceed bird safety requirements as clearly noted on the plans.

**FILER'S PROPOSED CHANGE TO THE PROJECT #1:** *The first and foremost, reduce the proposed building to three stories, eliminating the roof top enclosure parapets completely. The elimination of the rooftop deck...*

**PERMIT APPLICANTS RESPONSE:**

Again – fire-rated assemblies have been redesigned (post DR filing) to eliminate the need for solid parapets.

**FILER'S PROPOSED CHANGE TO THE PROJECT #2:** *Change the rooftop design to eliminate or minimize the rooftop features. Internalize the proposed stair penthouse.*

**PERMIT APPLICANTS RESPONSE:**

No problem – since the contested plans never included a penthouse.

**FILER'S PROPOSED CHANGE TO THE PROJECT #3:** *Do Not Permit the Merger. This request is consistent with the Priority Policies of the General Plan and would avoid eliminating the much needed second unit in the building which has served as two flats since it was constructed decades ago.*

**PERMIT APPLICANTS RESPONSE:**

The request for Unit Merger has been withdrawn. Instead – we propose to redistribute the lower unit to the ground level at 81.2% of existing unit size per SF Planning Code provisions.



**FURTHER COMMENTS FROM PERMIT APPLICANT TO DETAIL CHANGES MADE TO THE PROPOSED PROJECT AS A DIRECT RESULT OF MEDIATION WITH NEIGHBORS:**

- a VOLUNTARY neighbor outreach meeting was on July 7, 2011 & then 9 months of neighbor outreach were conducted – also voluntarily.
- Both sides of the rear addition were pulled in 36" to appease adjacent neighbors
- A shadow study was conducted to prove light & air are not at stake to anyone.
- Existing bay windows that face Cary Klafter's bay windows directly (existing bedroom to existing bedroom) were removed to increase privacy due to his concern about his daughter's windows
- A large tree (over 40' tall) was removed from the center of the rear yard to greatly increase light & air to the northern neighbors who express concern about light & air.
- The stair to the roof deck was recessed within the building envelope & made exterior so that no penthouse would be required
- The roof deck railings at the north & south lot lines were recessed away from the lot lines to maximize light & air
- The entire roof was fire-rated so that fire-rated guardrails could be eliminated in favor of the least visually impacting railing system possible (all glass).
- the northern light well - shared with Cary Klafter – was greatly expanded - by removing mass from the existing building
- a courtesy light well was created for the southern neighbor's side lot line window at the southern light well
- the number of flues & vents was greatly decreased because the permit holder opted to use hydronic radiant heat - which costs roughly 3x as much as forced air heating & is far more energy efficient. The current home has 2 fireplaces, 2 range hood vents, 2 furnaces & 2 water heaters. The proposed merged unit would have 1 fireplace & 1 would only need 1 combined 4" vent for all water heating & space heating due to the use of hydronic heat. This vent also does not have to protrude above the roof line like a furnace or water heater vent does. The unit merger eliminates the need for 2 of everything.
- An offer was made to Mr. Klafter to install a frosted glass privacy screen on top of the rear terrace guardrail to abate his concerns for his daughter's privacy. He denied that offer on grounds that if this is what he wanted – he could do it himself on his own lot.
- The request for unit merger was withdrawn.



**SAN FRANCISCO  
PLANNING DEPARTMENT**

**RESPONSE TO DISCRETIONARY REVIEW**

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Project Sponsor's Name: Kelly Condon  
 Telephone No.: 415-240-8328 (for Planning Department to contact)

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.

Please see my responses to the individual comments & concerns stated by the DR requesters per the attached documents, illustrations & photos.  
This project is well within Planning guidelines. We have voluntarily reached out to & worked with neighbors for months & have made many concessions - mostly with success in alleviating concerns. We were unable to resolve the remaining filed claims.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

We revised the drawings post DR filing to eliminate solid railings above roof level. We offered to install a frosted glass privacy screen on top of the rear terrace railings for the DR filer - who claims his daughter's privacy is at stake - but he responded to this option by saying he could do that himself on his side of the fence if that is what he really wanted. The changes we made for neighbors are listed on the last page of my response document.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

The 'changes' requested by the DR filers were that we 'eliminate' the additions. We are willing to compromise - but not to eliminate the terrace & roof deck for someone who has a roof deck of his own & wants us to NOT have one & refuses clearly viable solutions.

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.  
 4. Please supply the following information about the proposed project and the existing improvements on the property.

	Existing	Proposed
Dwelling units (only one kitchen per unit -additional kitchens count as additional units) .....	<u>2</u>	<u>2</u>
Occupied stories (all levels with habitable rooms) ...	<u>2</u>	<u>3</u>
Basement levels (may include garage or windowless storage rooms) .....	<u>0</u>	<u>0</u>
Parking spaces (Off-Street) .....	<u>1</u>	<u>1</u>
Bedrooms .....	<u>4</u>	<u>4</u>
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas....	<u>2398 s.f.</u>	<u>4109 s.f.</u>
Height <u>to top of roof &amp; top of decking</u> .....	<u>32'-0"</u>	<u>34'-10"</u>
Building Depth .....	<u>66'-5"</u>	<u>75'-7"</u>
Most recent rent received (if any) .....	<u>N/A</u>	<u>N/A</u>
Projected rents after completion of project .....	<u>N/A</u>	<u>N/A</u>
Current value of property .....	<u>\$1.6 mil</u>	<u>\$4.3 mil</u>
Projected value (sale price) after completion of project (if known) .....		<u>not for sale</u>

I attest that the above information is true to the best of my knowledge.

[Signature] APRIL 15, 2012 Kelly Condon  
 Signature Date Name (please print)



## **2735 BAKER – RESPONSES TO DR FILER COMMENTS**

### **PERMIT# 2011-1027-7765**

#### **D.R. FILER #1 – CARY KLAFTER:**

The Neighbor Outreach meeting was held on July 7, 2011 & the formal 311 notification poster was posted between February 9 & March 20. We have emailed plans / comments back & forth with neighbors & with the Cow Hollow Association for over 9 months.

This neighbor attended the outreach meeting & did make comments – which were addressed by design changes – but closed communication with us after the July 7 meeting.

After the July 7 meeting - this filer was included in numerous email communications with the Cow Hollow Neighbor Association & with adjacent neighbors in which plans were revised & questions / comments were attended to – he did not once respond to any of those emails or try to contact us in any way during the outreach & notification period. Instead – he filed a DR.

It is a fact that he did receive the neighbor outreach emails – because he has submitted portions of them along with his DR filing.

The filer contacted us on March 20<sup>th</sup> after his DR filing was submitted to discuss options – but refused to accept clearly viable solutions (details below).

Please note that this neighbor has an existing roof deck & stair penthouse of his own & is contesting our proposed roof deck – which is of lower height, is less intrusive with partial glass railings, is not on tall wooden stilts like his is & which proposes an exterior stair that would be recessed into our existing building envelope. This neighbor also lives in his 2 unit building as a single family home & contested the proposed unit merger – which has since been withdrawn.

#### **DR QUESTION 1 – EXCEPTIONAL & EXTRAORDINARY CIRCUMSTANCES:**

***FILER:** The proposed rear yard extension and deck will significantly adversely affect the privacy and quiet enjoyment of my bedrooms and the light and air to my odd-lot rear yard and will intrude into the mid-block open space. The proposed expansion would allow people on the deck to reach out and touch my bedroom windows; the loss of privacy in my bedrooms, and the attendant noise from people on the deck, will be extraordinary. The mass of the extension with the deck on top will overshadow most of my small, odd-lot rear yard. Four buildings in a row extending north have flush backs and the building to the immediate south (2727) is 12' shorter; the proposed rear extension will be a complete outlier.*

**PERMIT APPLICANTS RESPONSE:** See the color block map provided as an exhibit by the permit holder – which clearly illustrates the lots mentioned in this claim. The addition in no way intrudes on mid block open space. It is within the 45% setback (as defined by Cow Hollow as

the mandatory setback without standard Planning code exceptions). It is only one story tall with a deck on top. It is only 9'-3" deep & the side walls / railings were pulled in 36" from each side specifically to accommodate this neighbor's concern for privacy and adjacency to his daughter's window.

On March 29 2012 (after the DR was filed) – we proposed to create a frosted glass privacy screen above standard eye height for the full depth of the terrace & Mr. Klafter responded by stating that if privacy was what he wanted – he could build a screen on his own property & put window grilles on his daughter's bedroom windows himself. He then suggested again that we pull the addition much further back & away from the shared property line.

In the permit drawings - we have proposed the removal of all existing bay window protrusions at the back of the house specifically to address this neighbor's concerns about his privacy.

A shadow study was conducted (also attached as an exhibit) that proves light & air is not at stake since the existing fence between properties casts an overlapping shadow which only affects light in Mr. Klafter's lower level garage area.

At the center of the rear yard - a very large tree (over 40' tall – see photos 7 & 8) was removed to greatly increase light & air to all northern neighbors – also as a concession to their desire for more light & air.

The 4 buildings in a row Mr. Klafter mentions are on shallower lots that abut other people's rear yards on a perpendicular street & one is a 4 story building on a corner lot. So – while they all have different 45% setbacks (which they are all well beyond) – the only difference in open space between Mr. Klafter's lot & the permit holder's lot is the opacity of the material of his own rear fence. The same goes for the neighbor to his north. The neighbor to the south of the permit holder's lot went through a lot split in 1990. Her lot was previously the same depth as the permit holders lot with the same setbacks. She has a building in her rear yard – now on it's own lot – which is owned & occupied by her own family & has been for decades.

Quiet enjoyment does not only happen indoors.

The thinking here seems to be – that outdoor space equals loud parties.

If that were a valid argument – each of the neighbors making such claims would be just as liable to create noises & smells of their own & to have voyeuristic tendencies of their own in their own back yards – and on their own roof deck (since this DR filer has a roof deck of his own).

The following is a direct quote from Michael Garcia – President of the Board of Appeals from a hearing at the board of appeals on March 21, 2012. This quote was in response to neighbors appealing a 500 s.f. roof deck at 2756 Baker (which is right across the street from the proposed project). The neighbors who appealed that deck made ALL the same claims Mr. Klafter makes in his DR filing.

***"I wanna say this as nicely as possible. We live in an urban area. Pretty much - if your neighbor is going to barbecue - even if it's like 2 or 3 stories below you - given the wind blowing the right direction and it's on the ground - you're going to get odors. It's not a safety issue. And, you know, light, air, privacy - I don't know. It seems as though most of this is upright. None of us is guaranteed a view or light or necessarily even air - and as for privacy - and again - I hope to make this as gentle as possible - that's pretty much***

**what window treatments are for."**

**MICHAEL GARCIA, PRESIDENT OF THE SAN FRANCISCO BOARD OF APPEALS**  
**DR QUESTION 1 (continued) – EXCEPTIONAL & EXTRAORDINARY CIRCUMSTANCES:**

**FILER:** *The San Francisco General Plan-Housing Element, Part 2-Objectives and Policies states that "All proposals to merge units should be carefully considered within the local context and housing trends to assure that the resulting unit responds to identified housing needs, rather than creating fewer, larger and more expensive units." (Objective 2, Policy 2.2).*

**PERMIT APPLICANTS RESPONSE:**

The request for Unit Merger has been withdrawn. Instead – we propose to redistribute the lower unit to the ground level at 81.2% of existing unit size per SF Planning Code provisions.

**DR QUESTION 2 – UNREASONABLE IMPACTS OF CONSTRUCTION:**

**FILER:** *The proposed extension and rear deck would be 3' away from my daughter's bedroom windows. The use of my bedrooms would be extraordinarily and adversely affected by noise, and privacy would be greatly and dramatically diminished, as all the bedrooms would be open to clear view from the proposed deck. My small, odd-lot backyard would be substantially overshadowed by the extension structure and the deck. Mr. Teed will be taking the privacy, safety and quiet enjoyment of my bedrooms with his rear extension and deck; he will increase the value of his unnecessarily larger building and I will lose the privacy and quiet enjoyment of my home. Mr. Teed will be taking value from my home without compensation to me and will transfer that value to his property; I will be left with a home directly and extraordinarily adversely affected in privacy, quiet and value.*

**PERMIT APPLICANTS RESPONSE:**

See my previous comments regarding privacy & noise.

The proposed project could only work to increase value of the homes around it by virtue of the fact that this building has not been remodeled EVER.

The appraisal value of this building & it's neighbors would surely go up after such a remodel.

The plans propose to fully fire-rate the building, to make the building exceed energy codes & to do a full seismic retrofit of the building. All of these things help adjacent buildings.

The plans propose to remove bay window that face his bay windows directly – and the plans propose to greatly increase the shared lightwell between Mr. Klafter's home & the subject property – which will bring much more light into the core of his home on all levels.

**DR QUESTION 3 – PROPOSED ALTERNATIVES / CHANGES TO PROJECT:**

**FILER:** *Delete the extension and deck from the development.*

**PERMIT APPLICANTS RESPONSE:**

Proposing elimination of a project is not a change or compromise.

**DR QUESTION 3 (continued) – PROPOSED ALTERNATIVES / CHANGES TO PROJECT:**

**FILER:** *The extension could be redesigned in a manner that is less intrusive to me and to the rear yard neighbors. For example, the extension could be shaped in a semicircle which could provide a rearward increase in square footage but be significantly farther away from my bedroom windows and the neighbors generally; this would reduce my loss of privacy and reduce the overshadowing of my backyard. In conjunction with the reshaping of the extension, the deck should be deleted and prohibited. The plans already call for a substantial deck on the roof and a reworking of the backyard; the deletion of the extension deck would allow me to retain the privacy of my bedrooms and the deletion of one source of increased noise would be very helpful in the use of my bedrooms and for all of the rear yard neighbors.*

**PERMIT APPLICANTS RESPONSE:**

Again – we have proposed a translucent privacy screen for the entire depth of the addition & Mr. Klafter insists that such a screen does not abate his true concerns.

The Planning Department does not mandate that each property owner should only have rights to one open space & the portion of Mr. Klafter's building in question is built well beyond his own 45% rear yard setback (as noted on floor plans).

Mr. Klafter has a roof deck of his own (also well beyond his own 45% setback line).

Mr. Klafter's roof deck is far above Cow Hollow height limits & far beyond Cow Hollow setback requirements – and yet he contests Mr. Teed's proposed roof deck which is within setbacks & height limits.

**FURTHER COMMENTS FROM FILER – CHANGES MADE TO THE PROJECT AS A RESULT OF MEDIATION:**

**FILER (PARAPHRASED):** *...Mr. Teed refused to hold any further meetings with the neighbors, even though proposed by his own architect, and it was reported to me that in addition to the lawyer's letter Mr. Teed has made a number of oral comments that neighbors understood to be attempts to intimidate.*

**PERMIT APPLICANTS RESPONSE:**

The second neighbor meeting was cancelled for several reasons.

It was not a required meeting (and neither was the first).

The questions & comments to be discussed had already been discussed many times – concessions were made to the design.

Mr. Klafter did not contact the project sponsor to voice any of his concerns.

The head of the Cow Hollow Merchant's Association asked the permit holder for 'hard cash' – which is outright extortion.

Other neighbors began to claim that if the additions were not eliminated – the request for a unit merger would be opposed - also outright extortion.

No one else involved in the neighbor discussions filed a DR.

**FILER (PARAPHRASED):** ...*The building has historically had an owner-occupied unit and a rental unit which was regularly occupied by various tenants until the property was sold to Mr. Teed in 2011.*

**PERMIT APPLICANTS RESPONSE:**

The request for Unit Merger has been withdrawn. Instead – we propose to redistribute the lower unit to the ground level at 81.2% of existing unit size per SF Planning Code provisions.

**FURTHER COMMENTS FROM PERMIT APPLICANT TO DETAIL CHANGES MADE TO THE PROPOSED PROJECT AS A DIRECT RESULT OF MEDIATION WITH NEIGHBORS:**

-- a VOLUNTARY neighbor outreach meeting was on July 7, 2011 & then 9 months of neighbor outreach were conducted – also voluntarily.

-- Both sides of the rear addition were pulled in 36" to appease adjacent neighbors

-- A shadow study was conducted to prove light & air are not at stake to anyone.

-- Existing bay windows that face Cary Klafter's bay windows directly (existing bedroom to existing bedroom) were removed to increase privacy due to his concern about his daughter's windows

-- A large tree (over 40' tall) was removed from the center of the rear yard to greatly increase light & air to the northern neighbors who express concern about light & air.

-- The stair to the roof deck was recessed within the building envelope & made exterior so that no penthouse would be required

-- The roof deck railings at the north & south lot lines were recessed away from the lot lines to maximize light & air

-- The entire roof was fire-rated so that fire-rated guardrails could be eliminated in favor of the least visually impacting railing system possible (all glass).

-- the northern light well - shared with Cary Klafter – was greatly expanded - by removing mass from the existing building

-- a courtesy light well was created for the southern neighbor's side lot line window at the southern light well

-- the number of flues & vents was greatly decreased because the permit holder opted to use hydronic radiant heat - which costs roughly 3x as much as forced air heating & is far more energy efficient. The current home has 2 fireplaces, 2 range hood vents, 2 furnaces & 2 water heaters. The proposed merged unit would have 1 fireplace & the new radiant heat systems exhaust via small 4" vents serving all water heating & space heating systems. These vents also does not have to protrude above the roof line like a furnace or water heater vent does.

-- An offer was made to Mr. Klafter to install a frosted glass privacy screen on top of the rear terrace guardrail to abate his concerns for his daughter's privacy. He denied that offer on grounds that if this is what he wanted – he could do it himself on his own lot.

-- The request for unit merger was withdrawn.

**Project Info**

Owner: Rick Teed Contact Phone: 415-519-9115 Address: 2735-2737 Baker St SF, CA  
 Block 0948 Lot 0029 Zoning: RH-2 Existing Occupancy: R3 / 2 UNITS Type: VB Built: 1915  
 Lot Size: 25 x 137.5' Height Limit: 40'

**Scope of Work** - per CBC 2010, 2010 CMC, 2008 California Energy Codes, SF Building Code & SF Amendments:

REMODEL 2 UNIT BUILDING & RE-DISTRIBUTE LOWER UNIT. NEW UNIT = 81.2% OF EXISTING CONDITIONED SPACE OF LOWER UNIT TO BE RE-DISTRIBUTED.  
 NO CHANGE TO CURB CUT.

Reconfigure / Replace exterior windows & doors throughout with insulated, double paned, energy efficient clad wood windows & painted aluminum sliding doors (rear) per Plans & Elevations.  
 New latex based stucco at entire exterior.  
 New insulated windows, doors, building insulation, 2008 Energy Code compliant electrical / lighting throughout.

TRAVEL DISTANCE FROM FURTHEST POINT TO EXIT STAIRS AT ALL LEVELS = LESS THAN 50'.

**ADDITIONS / SUBTRACTIONS TO ENVELOPE / VISIBLE EXTERIOR WORK:**

**Addition:** Infill at existing northern gable wall up to easternmost match line at northern neighbor's lightwell.  
**Addition:** Infill southern lightwell up to top story & create courtesy recess at southern neighbor's side lot line window at this level.  
**Addition:** Extend single story pop-out at lower level to 45% rear yard setback line & set in 3' on each side per neighbor requests. Pop-out will have roof terrace on top.  
**Addition:** Stair to Roof & Roof Deck over top story.  
**Excavation:** Rip-tie & lower slab at lower level to create new lower level living spaces with 10' ceilings.  
**Subtraction of Envelope:** Remove Bay Windows at Rear of Building on Second & Third Levels.  
**Reconfigure:** Move Front Door forward - reconfiguring recessed alcove area per plans & widen door / add side light.  
**Reconfigure:** Move Garage door forward - but keep slight recessed alcove area per plans & widen door.  
**Relocate:** Unit Entry doors & reconfigure stairs per plans.  
**Remove:** Planters at Sidewalk (existing minor encroachment).  
**Reconfigure / Replace:** Rear Yard Retaining Walls & Steps at rear yard & regrade to create paved areas per plans.  
**Plant:** Voluntary Street Tree.  
**Repair:** Voluntary repairing of Driveway with permeable interlocking masonry pavers.

**GROUND LEVEL / GARAGE:**

Will include:  
 Remove Furnaces, associated ductwork, water heaters & flues & install new Hydronic Water / Space Heating system at Garage.  
 New Intercom / Entry system / Mail Box at front door.  
 Redistributed Unit: (1) new Kitchen, (1) new full bathroom, (1) new Living room, (1) new bedroom, (1) new laundry, new storage & new wine cellar.  
 Reconfigure Interior Stairs to 2nd Level / upper Unit.  
 Install 5/8" type X gypsum at walls common to garage & at ceilings common to separate unit above.  
 Reconfigure partitions / walls / windows per plans.

**SECOND LEVEL:**

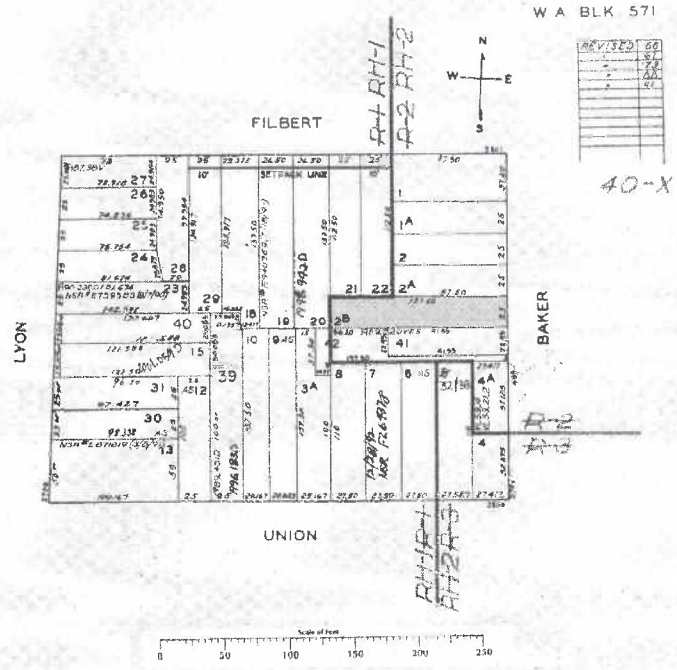
Will include:  
 Removal of (1+ 1/2) Bathroom / reconfiguration into powder room, (1) new Kitchen, (1) Living room, (1) new fireplace at Living room, (1) Family room, (1) Dining room, new stair to upper level.  
 New Roof Terrace over new 12' pop out at rear of lower level - with fire-rated railings within 5' of side lot lines & glass railings facing rear yard.  
 Reconfigure partitions / walls per plans.

**THIRD LEVEL:**

Will include:  
 Removal of (1) Kitchen, (1) Bathroom, Complete Reconfiguration of Interior.  
 (3) full baths, (1) Laundry room, (1) Study, (3) Bedrooms  
 Install 12" deep guardrail at Master exterior sliding glass door  
 Reconfigure partitions / walls per plans.

**ROOF / ROOF DECK:**

(2) New skylights, New flues / fireplace vent, New external blower for range hood at Kitchen, New built-up roofing entire roof, New 445 s.f. roof deck with stuccoed gutters  
 (fire-rated within 5' of & parallel to side lot lines) & heavy base shoe tempered glass railing system on top or full glass railing system in some areas (see plans & elevations).



Location Map from Planning Department  
 Not to Scale

**Planning Data** - planning dept use only

Entire Envelope	Existing	Addition	Proposed
Ground Level	1790 s.f.	176 s.f.	1966 s.f.
Second Level	1606 s.f.	41 s.f.	1647 s.f.
Third Level	1510 s.f.	81 s.f.	1591 s.f.
Total	4906 s.f.	298 s.f.	5204 s.f.

Addition = 6.07% of existing building envelop

**Building Data** - this table is for building dept use only

Conditioned Space	Existing	Renovated	Addition	Proposed
Ground Level	144 s.f.	144 s.f.	957 s.f.	1128 s.f.
Second Level	1389 s.f.	1389 s.f.	102 s.f.	1491 s.f.
Third Level	1405 s.f.	1405 s.f.	85 s.f.	1490 s.f.
Total	2938 s.f.	2938 s.f.	1144 s.f.	4109 s.f.

Existing Lower Unit = 1389 s.f. / Existing Upper Unit = 1405 s.f.  
 Proposed Lower Unit = 1128 s.f. / Proposed Upper Unit = 3022 s.f.

**Drawing Index**

- A1: Project Info, Scope of Work, Lot Plan, Drawing Index
- A2: Existing Site Plan
- A3: Proposed Site Plan
- A4: Existing & Proposed Ground Level Plans
- A5: Existing & Proposed Second Level Plans
- A6: Existing & Proposed Third Level Plans
- A7: Existing & Proposed Roof Level Plans
- A8: Existing Front Elevation
- A9: Proposed Front Elevation
- A10: Existing Rear Elevation
- A11: Proposed Rear Elevation
- A12: Existing North facing Elevation
- A13: Proposed North facing Elevation
- A14: Proposed Section facing South
- A15: Existing South facing Elevation
- A16: Proposed South facing Elevation
- A17: Sight Lines on Baker Street
- A18: Window Specifications

**NOTE REGARDING EXISTING SQUARE FOOTAGE:**

BOTH UNIT ENTRIES INCLUDE CONDITIONED SPACE AT GROUND LEVEL ENTRIES.  
 SECOND LEVEL INCLUDES UNIT 1 & A STAIR LEADING TO UNIT 2.  
 THIRD LEVEL INCLUDES UNIT 2 ONLY.



remodel addition for Rick Teed

2735-2737 Baker St san francisco 94123

April 14, 2012

Project Info, Drawing Index, Scope of Work, Location Map scale: 1/4" = 1'-0"

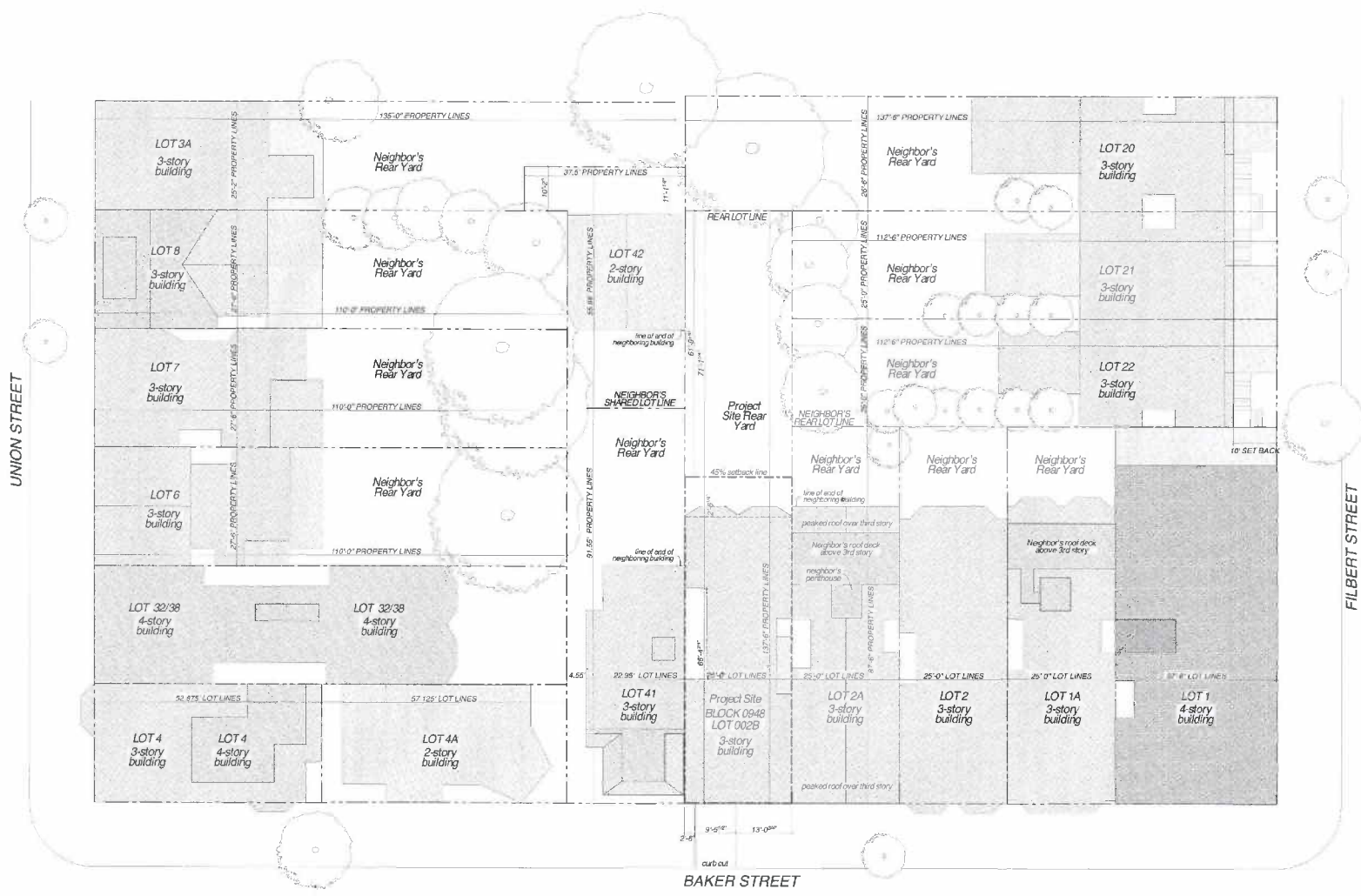
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
remodel  
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**Rick  
 Teed**

2735-2737  
**Baker St**  
 san francisco  
 9 4 1 2 3

April 14, 2012

Existing Site Plan  
 scale: 1/4" = 1'-0"  
**A2**



**Existing Site Plan of Project Address**  NORTH  
**& Adjacent Building Footprints**  
 Scale: 1" = 10'  


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**Rick  
 Teed**

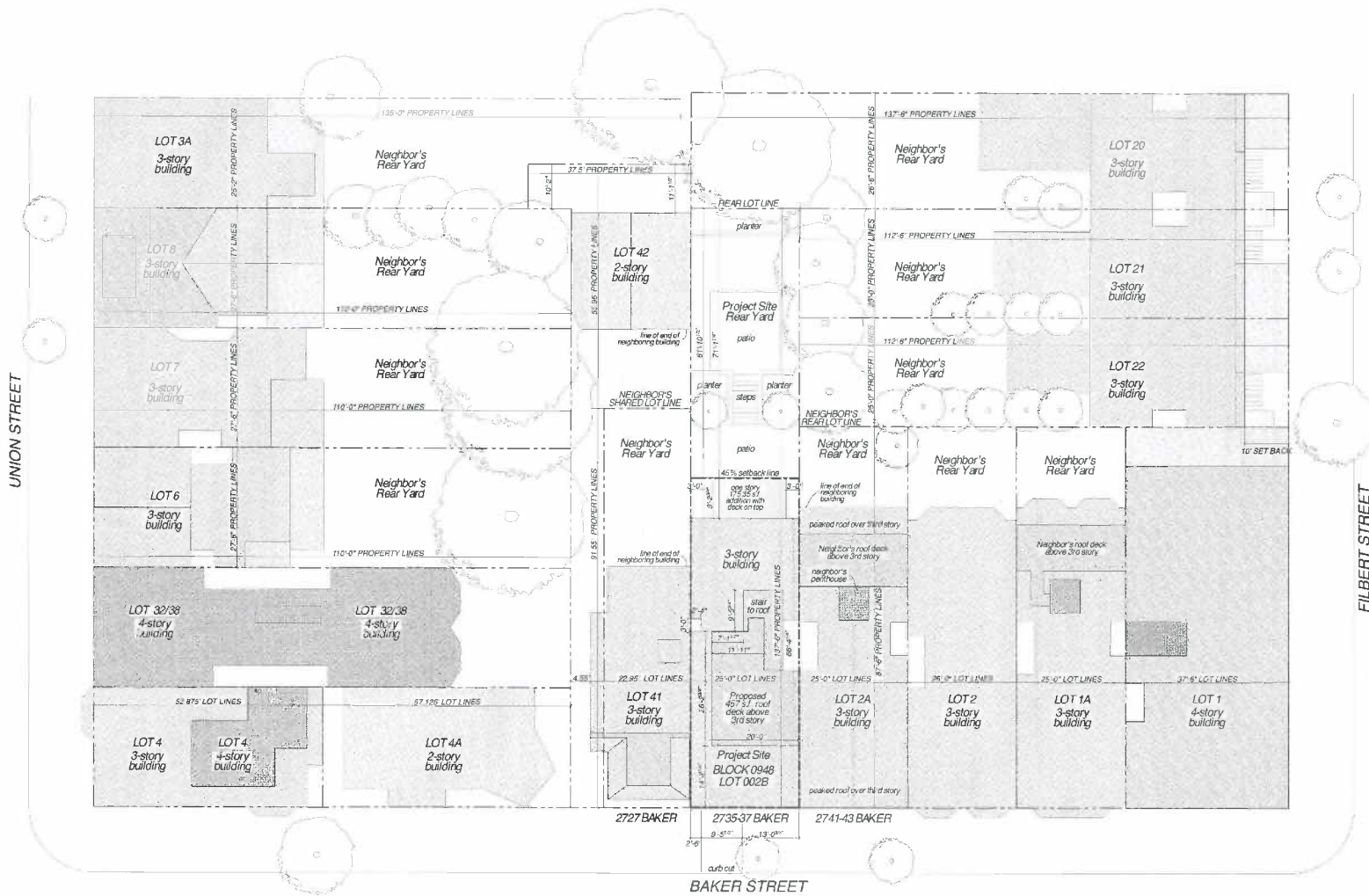
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 Baker St  
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April 14, 2012

Proposed Site  
 Plan

scale: 1/4" = 1'-0"

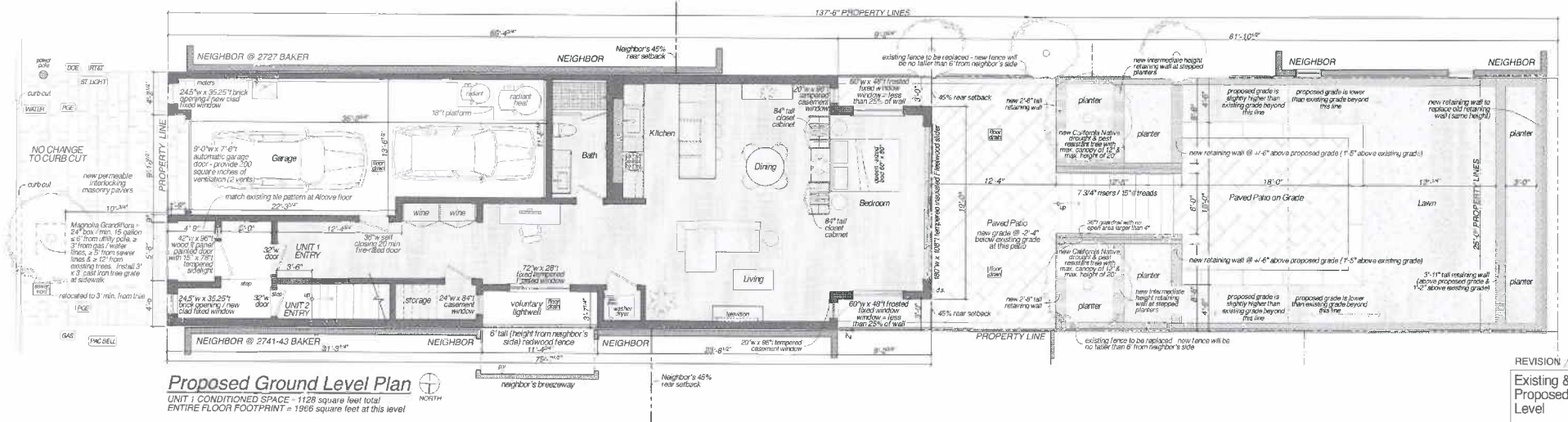
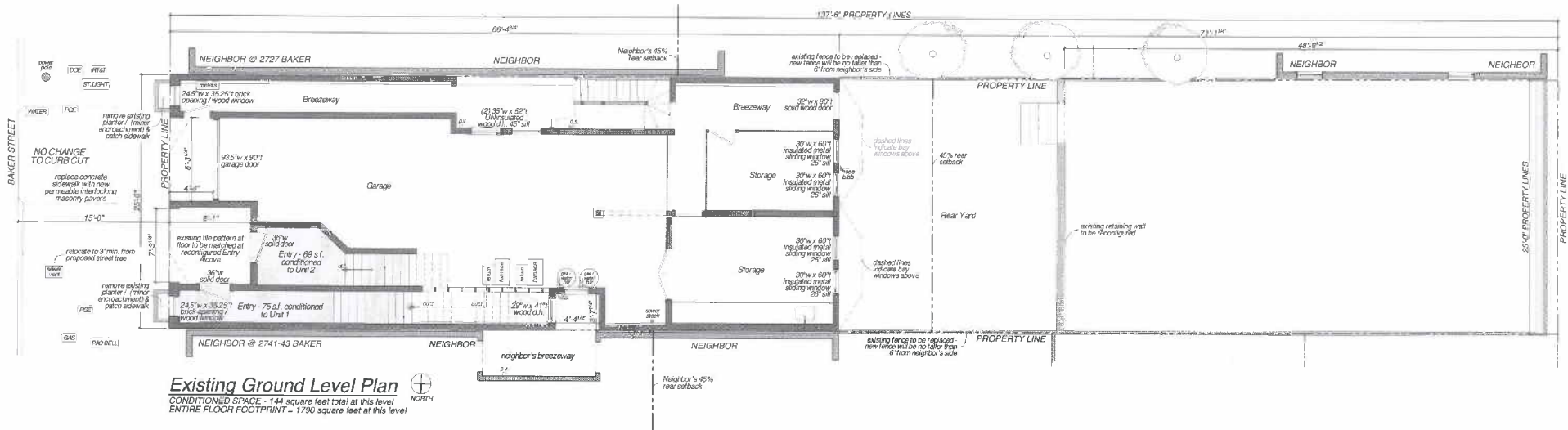
**A3**



**Proposed Site Plan of Project Address & Adjacent Building Footprints**

Scale: 1" = 10'

1 5 10



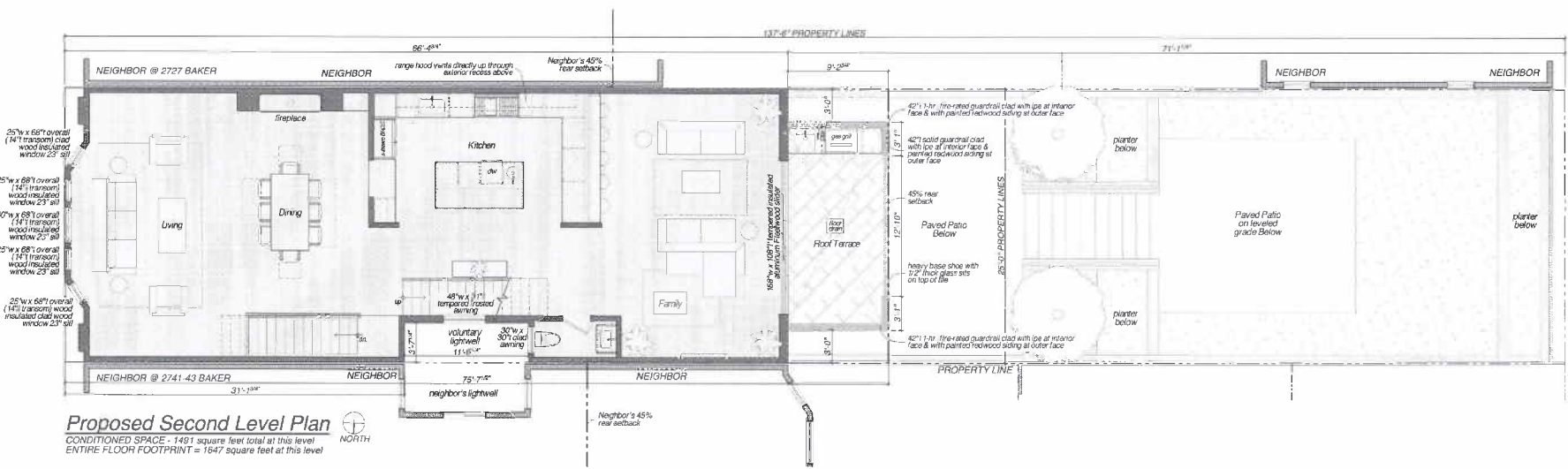
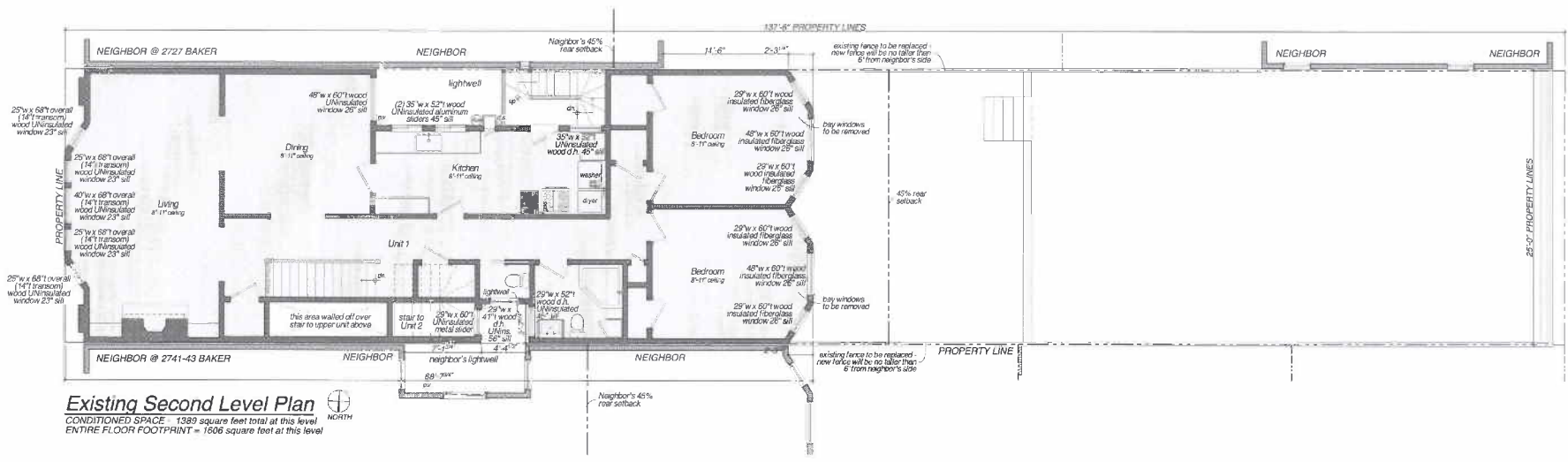
REVISION SITE  
 Existing & Proposed Ground Level  
 scale: 1/4" = 1'-0"  
**A4**

remodel  
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**Rick Teed**

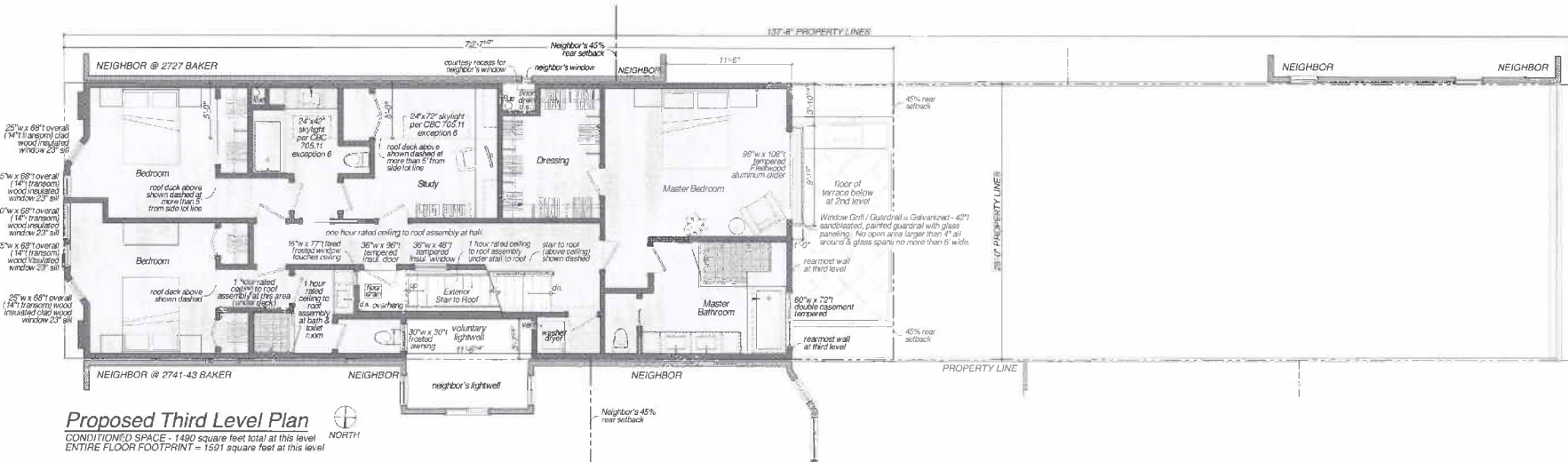
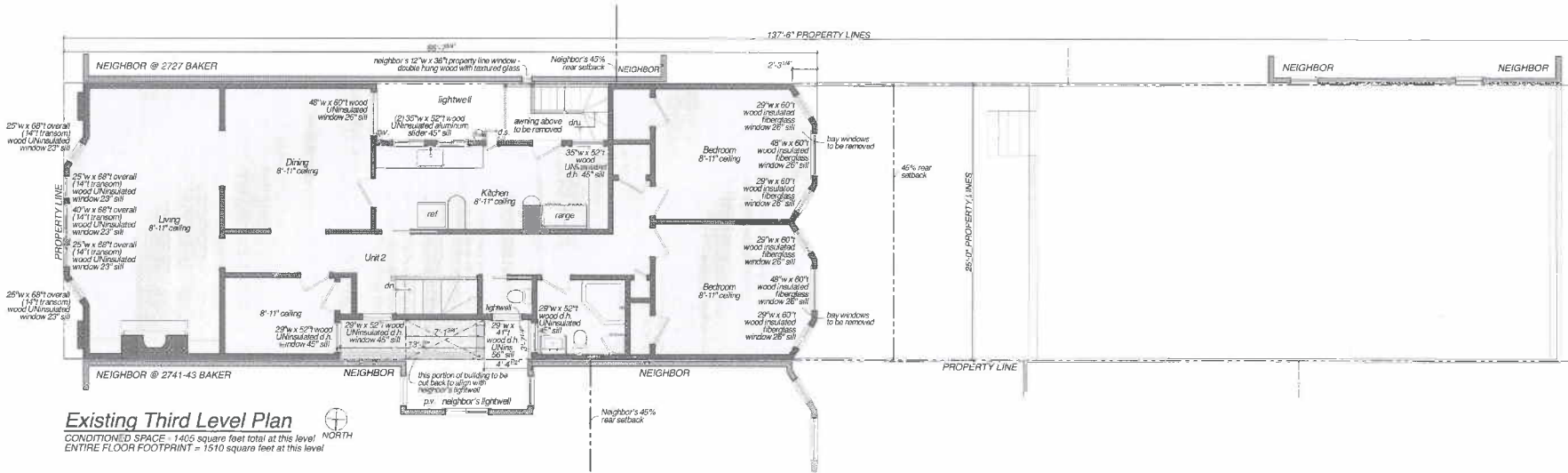
2735-2737  
**Baker St**  
 san francisco  
 9 4 3 2 3

April 25, 2012  
 REVISION  SITE

Existing &  
 Proposed Second  
 Level  
 scale: 1/4" = 1'-0"  
**A5**







remodel  
 addition  
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**Rick  
 Teed**

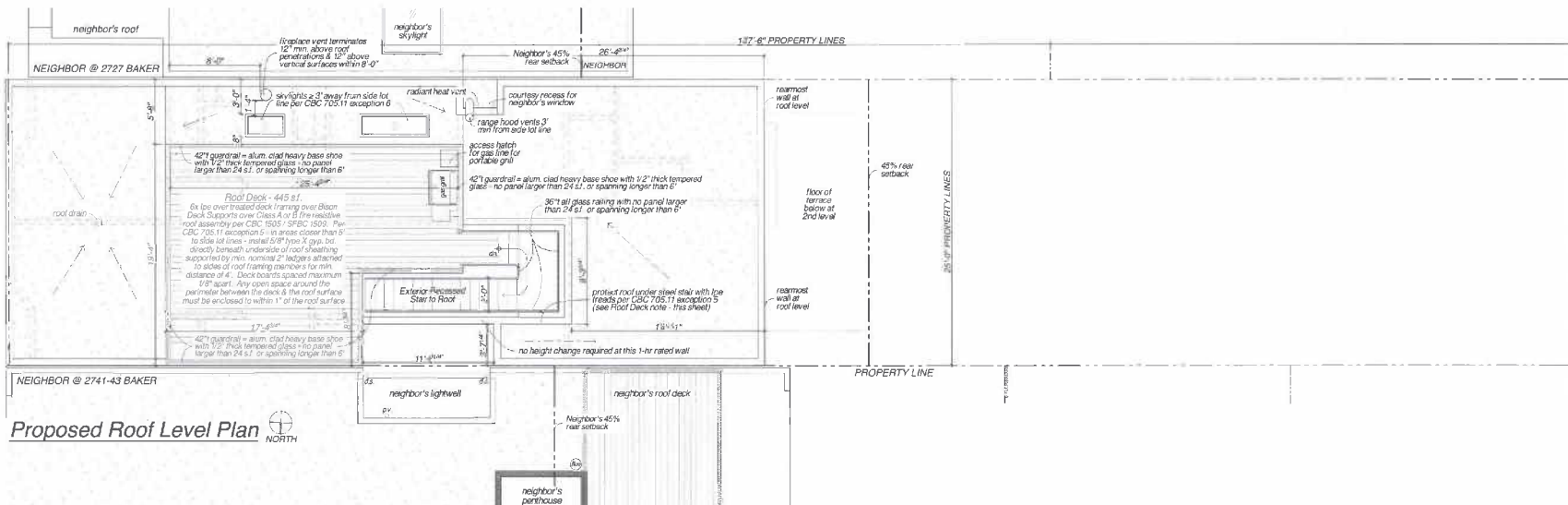
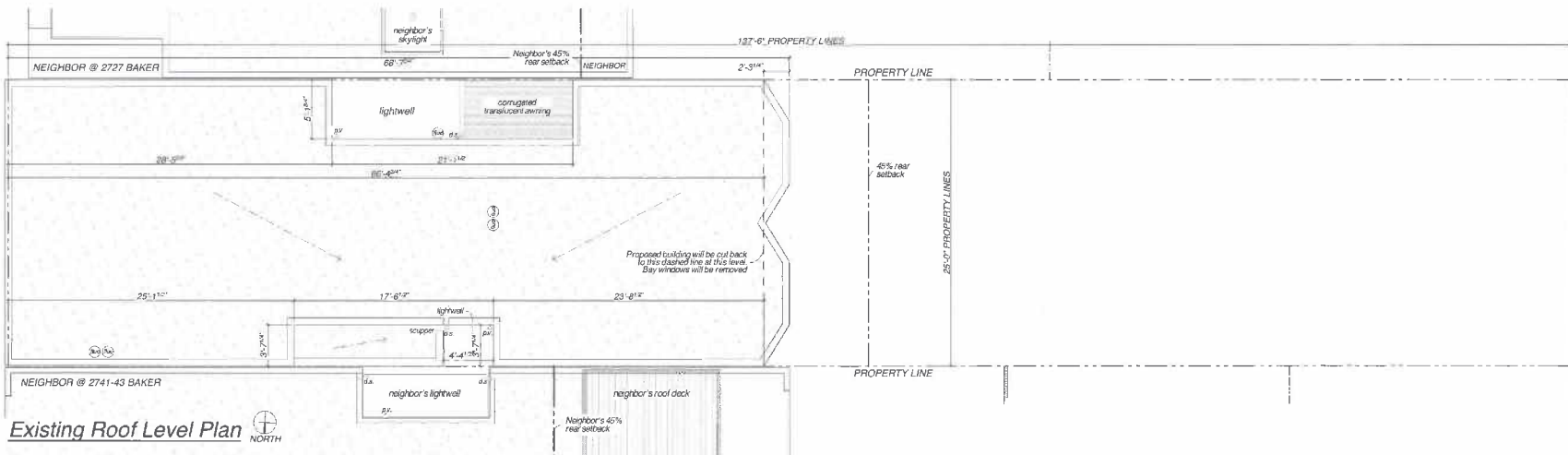
**2735-2737  
 Baker St  
 san francisco  
 9 4 1 2 3**

April 14, 2012

Existing &  
 Proposed Third  
 Level

scale: 1/4" = 1'-0"

**A6**



**Kelly Condon**  
 Licensed Architect, No. 10000  
 415-240-8328  
 www.kellycondonarchitect.com

remodel  
 addition  
 for  
**Rick  
 Teed**

**2735-2737  
 Baker St  
 san francisco  
 9 4 1 2 3**

April 14, 2012

Existing &  
 Proposed Roof  
 Level

scale: 1/4" = 1'-0"

**A7**



**Existing Front Elevation**

**NOTE:**  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

remodel  
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**Rick  
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2735-2737  
**Baker St**  
 san francisco  
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April 14, 2012

Existing Front  
 Elevation

scale: 1/4" = 1'-0"

**A8**



**Proposed Front Elevation**

**NOTE:**  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

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**Rick  
 Teed**

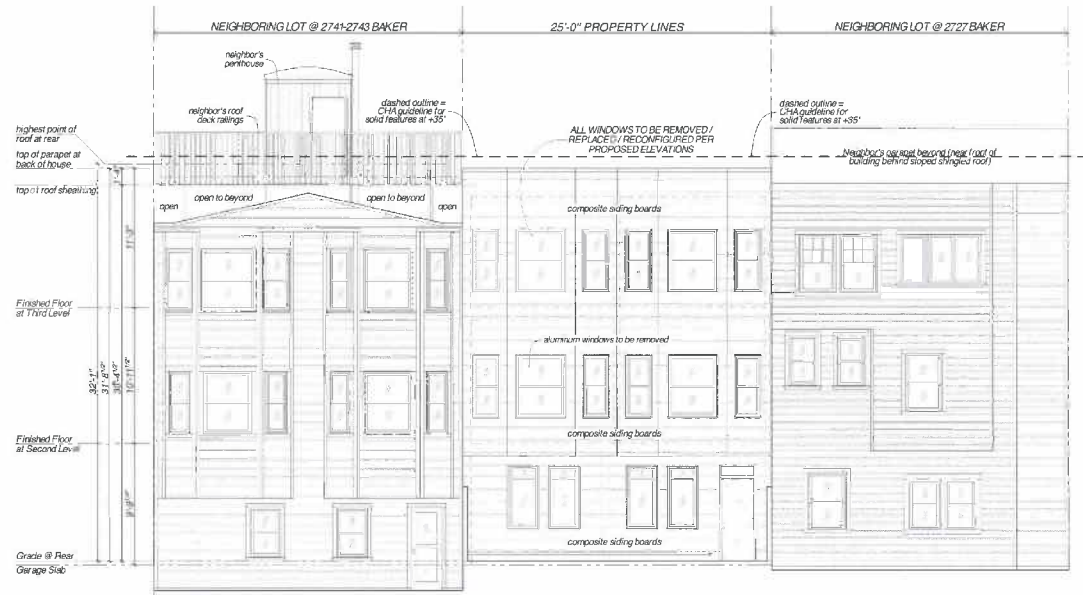
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 Baker St  
 san francisco  
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April 14, 2012

Proposed Front  
 Elevation

scale: 1/4" = 1'-0"

**A9**



**Existing Rear Elevation**

**NOTE:**  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows.

Model  
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**Rick  
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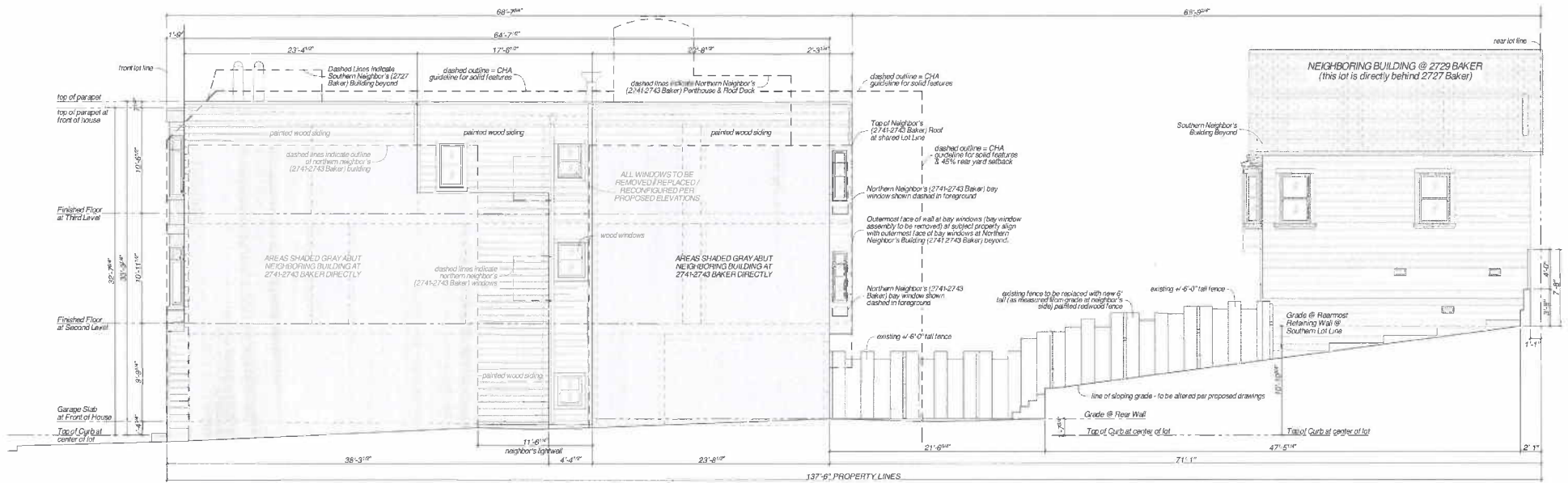
April 14, 2012

Existing Rear  
 Elevation

scale: 1/4" = 1'-0"

**A10**





**Existing North Facing Elevation**

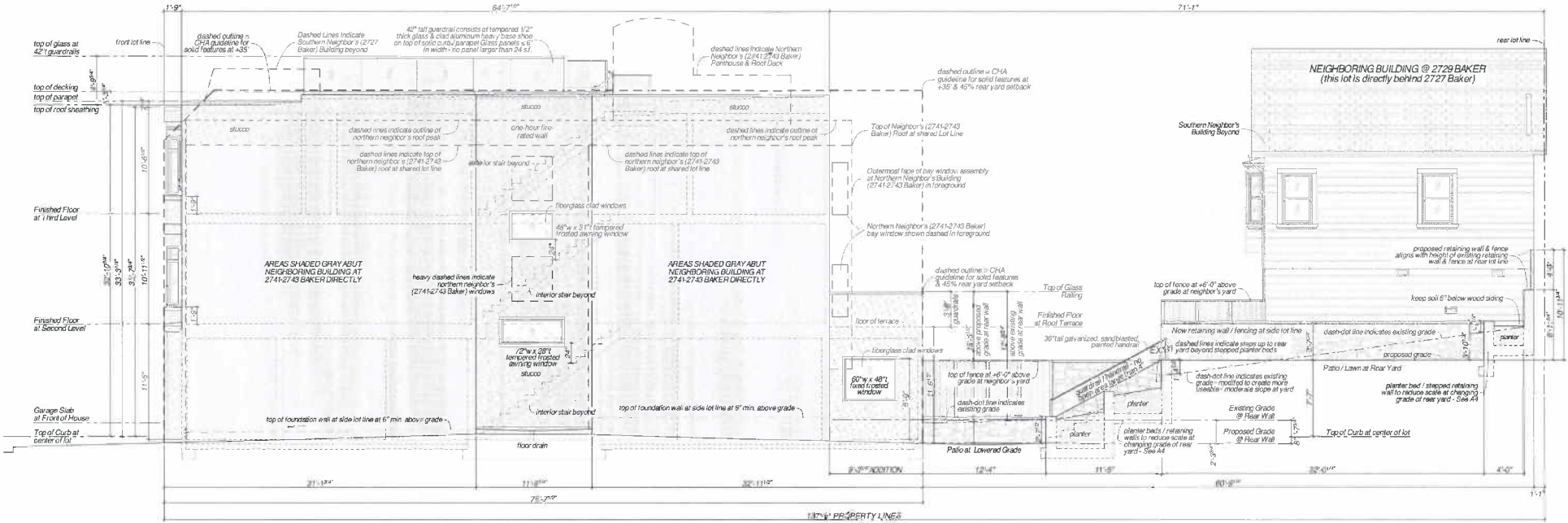
**NOTE:**  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

April 14, 2012

Existing North facing Elevation

scale: 1/4" = 1'-0"

**A12**

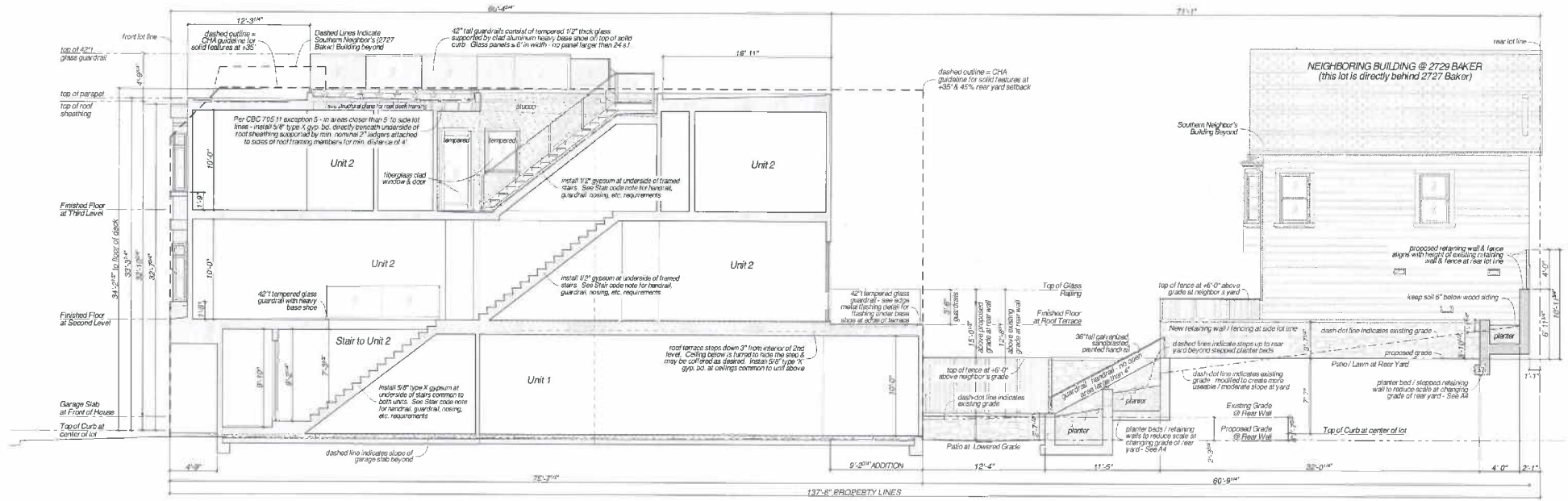


**Proposed North Facing Elevation**  
 All windows to be replaced with fiberglass clad wood windows  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

April 14, 2012

**Proposed North facing Elevation**  
 scale: 1/4" = 1'-0"  
**A13**





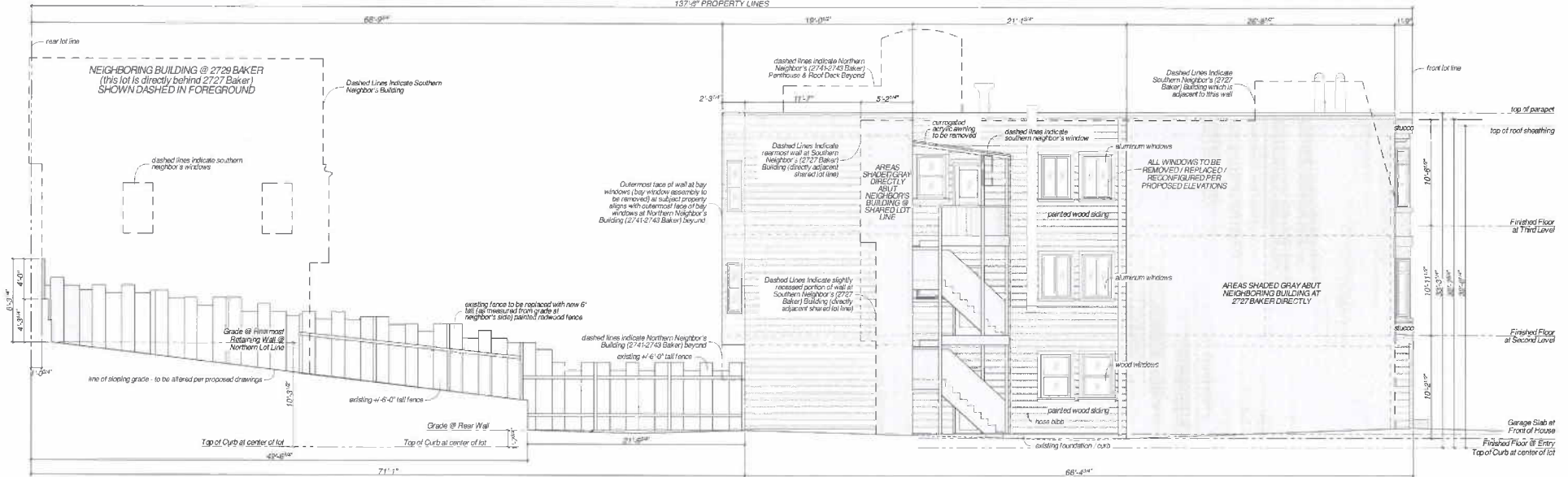
**Proposed Section Facing South**

NOTE:  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

April 14, 2012

Proposed Section facing South  
 scale: 1/4" = 1'-0"  
**A14**

137'-8" PROPERTY LINES

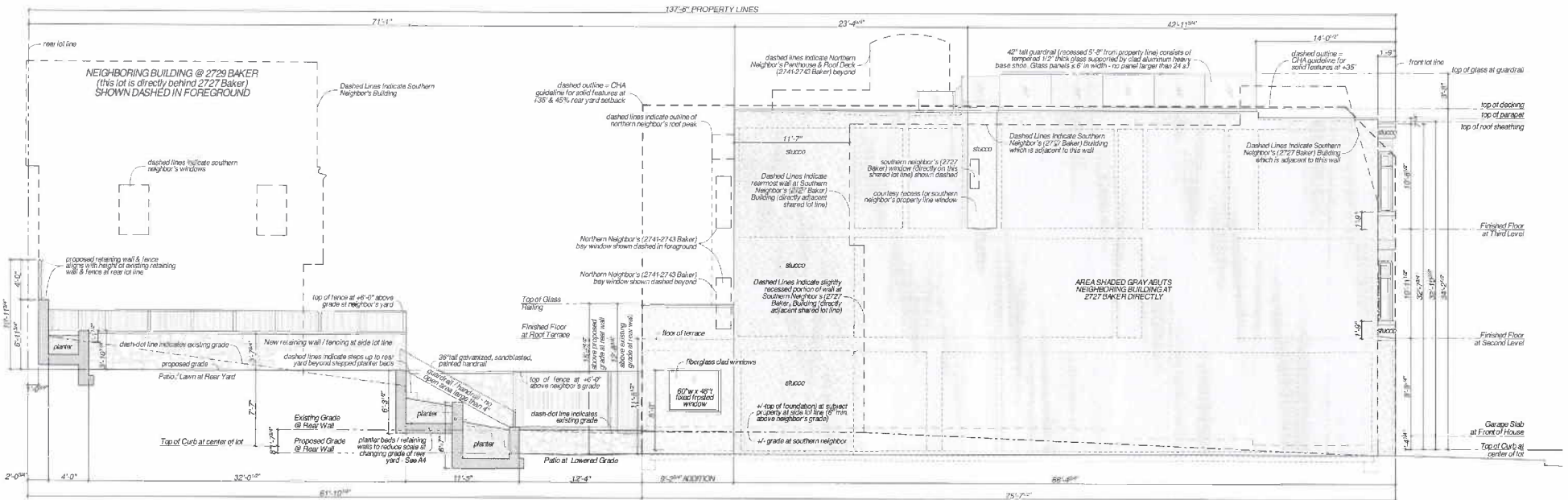


**Existing South Facing Elevation**

NOTE:  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fibreglass clad wood windows

April 14, 2012

Existing South facing Elevation  
 scale: 1/4" = 1'-0"  
**A15**

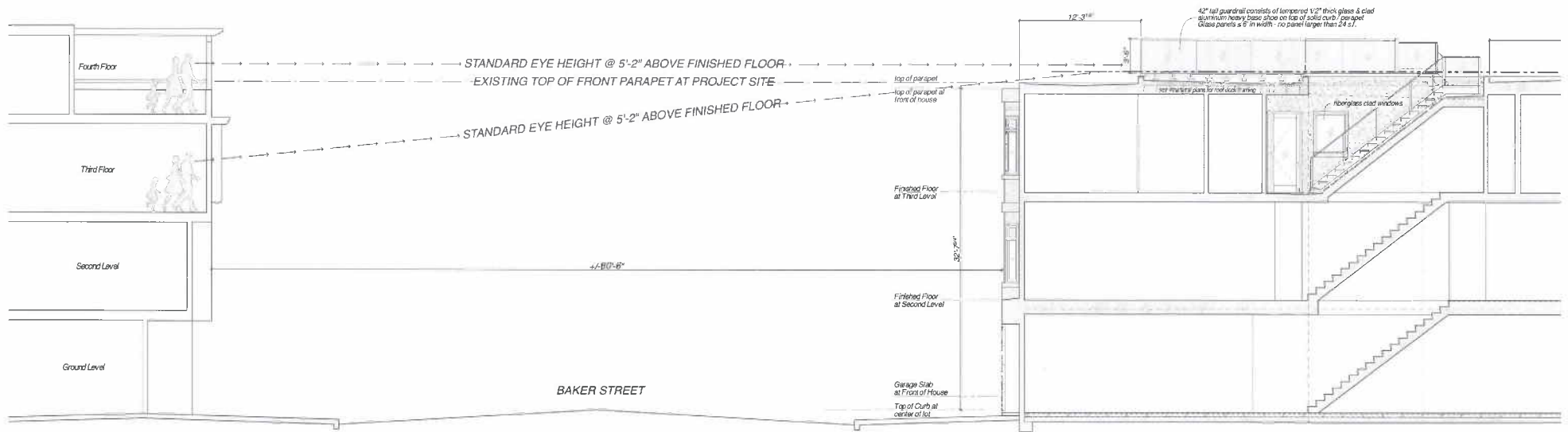


**Proposed South Facing Elevation**

NOTE:  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed / replaced / or reconfigured per Proposed Elevations with  
 fiber glass clad wood windows

April 14, 2012

Proposed South facing Elevation  
 scale: 1/4" = 1'-0"  
**A16**



**Sight Lines from Directly Across Baker Street - as measured from Neighbor's Eye Height at Block 0947 / Lot 020 (2728 Baker Street)**

NOTE:  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed, replaced & / or reconfigured per Proposed Elevations with  
 fiberglass clad wood windows.

April 14, 2012

Sight Lines

scale: 1/4" = 1'-0"

**A17**

**2735 BAKER – RESPONSES TO DR FILER COMMENTS**

**PERMIT# 2011-1027-7765 / CASE # 2012.0084.DDD**

**MOTION COMMENT #1**

**REDUCE DECK TO 350 S.F. & PULL EASTERN RAILING WESTWARD TO PROVIDE PRIVACY FOR D.R. FILER KEISER.**

The eastern railing has been pulled 5'-0" westward & the deck has been reduced to 335 s.f.

**MOTION COMMENT #2**

**PULL WALLS OF REAR ADDITION IN 6" MORE & INSTALL A PRIVACY SCREEN ON THE TERRACE RAILINGS TO PROVIDE PRIVACY FOR D.R. FILER KLAFTER.**

Done. We also agreed (per Mr. Klafter's request) in writing on sheet A1 of the drawings to limit our construction hours to 8 am to 6 pm Monday - Friday. No work on Saturday, Sunday or major holidays unless such work does not generate noise or nuisance to neighbors.

**MOTION COMMENT #3**

**ENSURE THAT REAR PATIO DESIGN IS UNOBTRUSIVE TO OPEN SPACE.**

There seems to have been a misunderstanding about the conditions of this patio area. Grade at this rear yard area is raised as an existing condition – not a proposed one. There are existing steps that lead up along the southern side of the yard to the higher rearmost yard area.

Our proposal is to relocate the steps to the center of the yard & to add tiers of retaining walls with planter beds rather than one higher retaining wall so that the transition from the lower yard to the higher rearmost portion of the yard is more moderate & visually pleasing.

We also proposed to level out the existing grade at the higher patio area simply to make the yard more useable. Right now – grade slopes 7.65° at the rearmost yard. This might not sound like much – but it's 13x the legally allowable slope of sidewalks from lot line to street in San Francisco. So – the proposal is essentially to average out the existing grade from front to back of a useable patio area. This is all still open space that will be landscaped & visually pleasing to anyone who can see it.

Since our previous hearing – I have revised the slope of the grassy area surrounding the proposed rearmost / highest patio to slope upward away from the patio at 7.65° so that it rises to the perimeter retaining walls (some of which are existing – to be replaced) faster – making them appear shorter in overall height.

Please note that ALL of these proposed landscape / hardscape features are lower than 3' above existing grade.

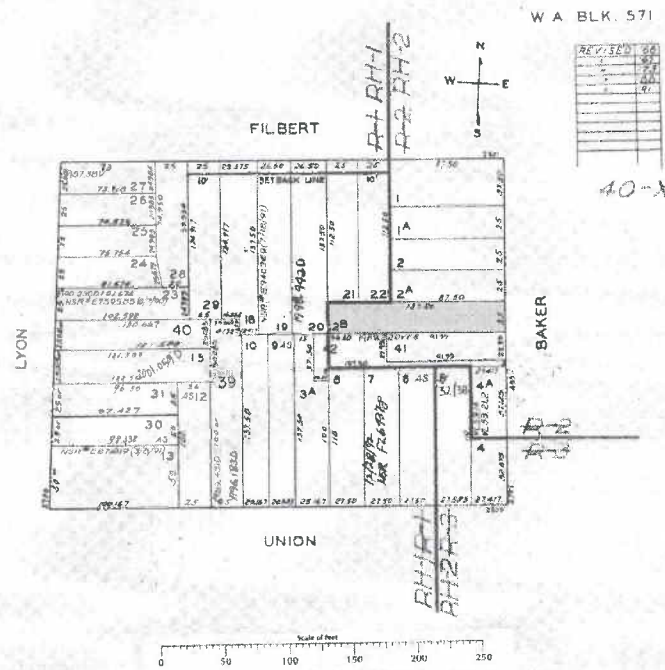
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JUN 07 2012

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
ADMINISTRATIVE SERVICES



948



**Location Map from Planning Department**  
 Not to Scale

**Planning Data** - planning dept use only

Entire Envelope	Existing	Addition	Proposed
Ground Level	1790 sf.	176 sf.	1966 sf.
Second Level	1606 sf.	41 sf.	1647 sf.
Third Level	1510 sf.	81 sf.	1591 sf.
Total	4906 sf.	298 sf.	5204 sf.

Addition = 6.07% of existing building envelope

**Building Data** - this table is for building dept use only

Conditioned Space	Existing	Renovated	Addition	Proposed
Ground Level	144 sf.	144 sf.	1068 sf.	1150 sf.
Second Level	1389 sf.	1389 sf.	102 sf.	1491 sf.
Third Level	1405 sf.	1405 sf.	85 sf.	1490 sf.
Total	2938 sf.	2938 sf.	1193 sf.	4131 sf.

Existing Lower Unit = 1389 sf. / Existing Upper Unit = 1405sf.  
 Proposed Lower Unit = 1150 sf. / Proposed Upper Unit = 3022 sf.

**NOTE REGARDING EXISTING SQUARE FOOTAGE:**  
 BOTH UNIT ENTRIES INCLUDE CONDITIONED SPACE AT GROUND LEVEL ENTRIES.  
 SECOND LEVEL INCLUDES UNIT 1 & A STAIR LEADING TO UNIT 2.  
 THIRD LEVEL INCLUDES UNIT 2 ONLY.

**Project Info**

Owner: Rick Teed Contact Phone 415-518-9115 Address: 2735-2737 Baker St. SF, CA  
 Block 0948 Lot 1002B Zoning: RH+2 Existing Occupancy: R3 / 2 UNITS Type: VB Built: 1915  
 Lot Size: 25' x 137.5' Height Limit: 40' / Cow Hollow Guidelines Height Limit for Solid Features = 35'

**Scope of Work** - per CBC 2010, 2010 CMC, 2008 California Energy Codes, SF Building Code & SF Amendments:

REMODEL 2 UNIT BUILDING & RE-DISTRIBUTE LOWER UNIT. NEW UNIT = 82.79% OF EXISTING CONDITIONED SPACE OF LOWER UNIT TO BE RE-DISTRIBUTED.  
 NO CHANGE TO CURB CUT.

Reconfigure / Replace exterior windows & doors throughout with insulated, double paned, energy efficient clad wood windows & painted aluminum sliding doors (rear) per Plans & Elevations  
 New latex based stucco at entire exterior.  
 New Insulated windows, doors, building insulation, 2008 Energy Code compliant electrical / lighting throughout.

TRAVEL DISTANCE FROM FURTHEST POINT TO EXIT STAIRS AT ALL LEVELS = LESS THAN 50'

**WORK HOURS:**

Construction Hours: 8 am to 6 pm Monday - Friday. No work on Saturday, Sunday or major holidays unless such work does not generate noise or nuisance to neighbors.

**ADDITIONS / SUBTRACTIONS TO ENVELOPE / VISIBLE EXTERIOR WORK:**

Addition: Infill at existing northern lightwell up to eastern most match line at northern neighbor's lightwell.  
 Addition: Infill southern lightwell up to top story & create courtesy recess at southern neighbor's side lot line window at this level.  
 Addition: Extend single story pop-out at lower level to 45% rear yard setback line & set in 3'-6" on each side per neighbor requests. Pop-out will have roof terrace on top with a frosted glass privacy screen at the northern railing installed to appease neighbor's privacy concern.  
 Addition: Stair to Roof & Roof Deck over top story.  
 Excavation: Replace & lower sidewalk at lower level to create new lower level living spaces with 10' ceilings.  
 Subtraction of Envelope: Remove Bay Windows at Rear of Building on Second & Third Levels.  
 Reconfigure: Move Front Door forward - reconfiguring recessed alcove area per plans & widen door / add side light.  
 Reconfigure: Move Garage door forward - but keep slight recessed alcove area per plans & widen door.  
 Relocate: Unit Entry doors & reconfigure stairs per plans.  
 Remove: Planters at Sidewalk (existing minor encroachment).  
 Reconfigure / Replace: Rear Yard Retaining Walls & Steps at rear yard & regrade to create paved areas per plans.  
 Plant: Voluntary Street Tree.  
 Repair: Voluntary repaving of Driveway with permeable interlocking masonry pavers.

**GROUND LEVEL / GARAGE:**

Will include:  
 Remove Furnaces, associated ductwork, water heaters & flues & install new Hydronic Water / Space Heating system at Garage.  
 New Intercom / Entry system / Mail Box at front door.  
 Redistributed Unit: (1) new Kitchen, (1) new full bathroom, (1) new Living room, (1) new bedroom, (1) new laundry, new storage & new wine cellar.  
 Reconfigured Interior Stairs to 2nd Level / upper unit.  
 Install 5/8" type X gypsum at walls common to garage & at ceilings common to separate unit above.  
 Reconfigure partitions / walls / windows per plans.

**SECOND LEVEL:**

Will include:  
 Removal of (1+ 1/2) Bathroom / reconfiguration into powder room, (1) new Kitchen, (1) Living room, (1) new fireplace at Living room, (1) Family room, (1) Dining room, new stair to upper level.  
 New Roof Terrace over new 12' pop out at rear of lower level - with fire-rated railings within 5' of side lot lines & glass railings facing rear yard.  
 Reconfigure partitions / walls per plans.

**THIRD LEVEL:**

Will include:  
 Removal of (1) Kitchen, (1) Bathroom, Complete Reconfiguration of Interior.  
 (3) full baths, (1) Laundry room, (1) Study, (3) Bedrooms.  
 Install 12" deep guardrail at Master exterior sliding glass door.  
 (1) new exterior steel stair with ipe treads leading to roof deck.  
 Reconfigure partitions / walls per plans.

**ROOF / ROOF DECK:**

(2) New skylights, New flues / vents, New built-up roofing entire roof, New MAX 350 s.f. roof deck with glass guardrails (fire-rated roof assembly).

**Drawing Index**

- A1: Project Info, Scope of Work, Lot Plan, Drawing Index
- A2: Existing Site Plan
- A3: Proposed Site Plan
- A4: Existing & Proposed Ground Level Plans
- A5: Existing & Proposed Second Level Plans
- A6: Existing & Proposed Third Level Plans
- A7: Existing & Proposed Roof Level Plans
- A8: Existing Front Elevation
- A9: Proposed Front Elevation
- A10: Existing Rear Elevation
- A11: Proposed Rear Elevation
- A12: Existing North facing Elevation
- A13: Proposed North facing Elevation
- A14: Proposed Section facing South
- A15: Existing South facing Elevation
- A16: Proposed South facing Elevation
- A17: Sight Lines on Baker Street
- A18: Window Specifications

remodel addition for Rick Teed

2735-2737 Baker St san francisco 9 4 2 3

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Project Info, Drawing Index, Scope of Work, Location Map scale: AS NOTED

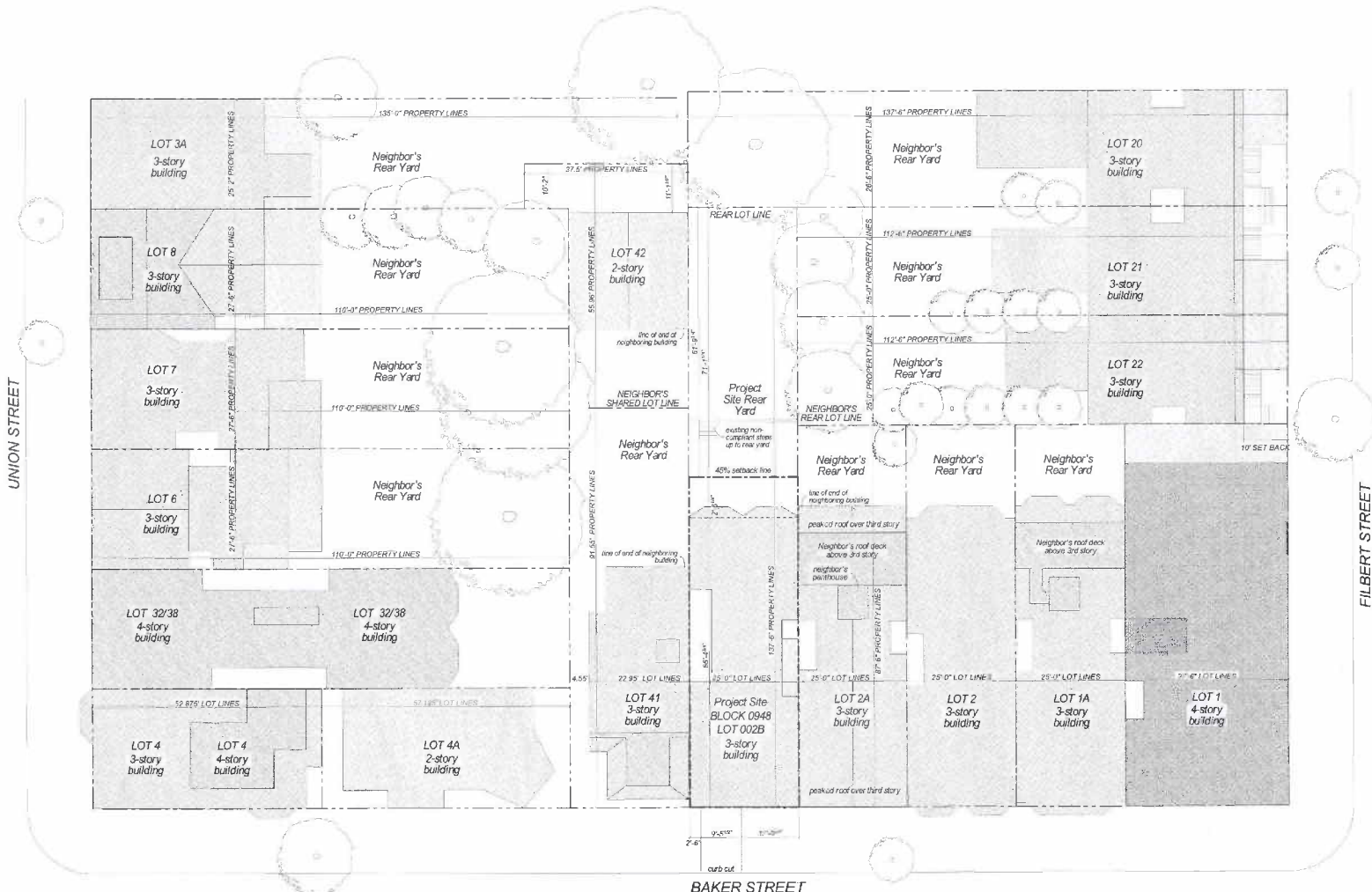
**A1**

*remodel addition* for **Rick Teed**

**2735-2737 Baker St**  
 san francisco  
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Existing Site Plan  
 scale: AS NOTED  
**A2**



**Existing Site Plan of Project Address & Adjacent Building Footprints**

Scale: 1" = 10'

NORTH



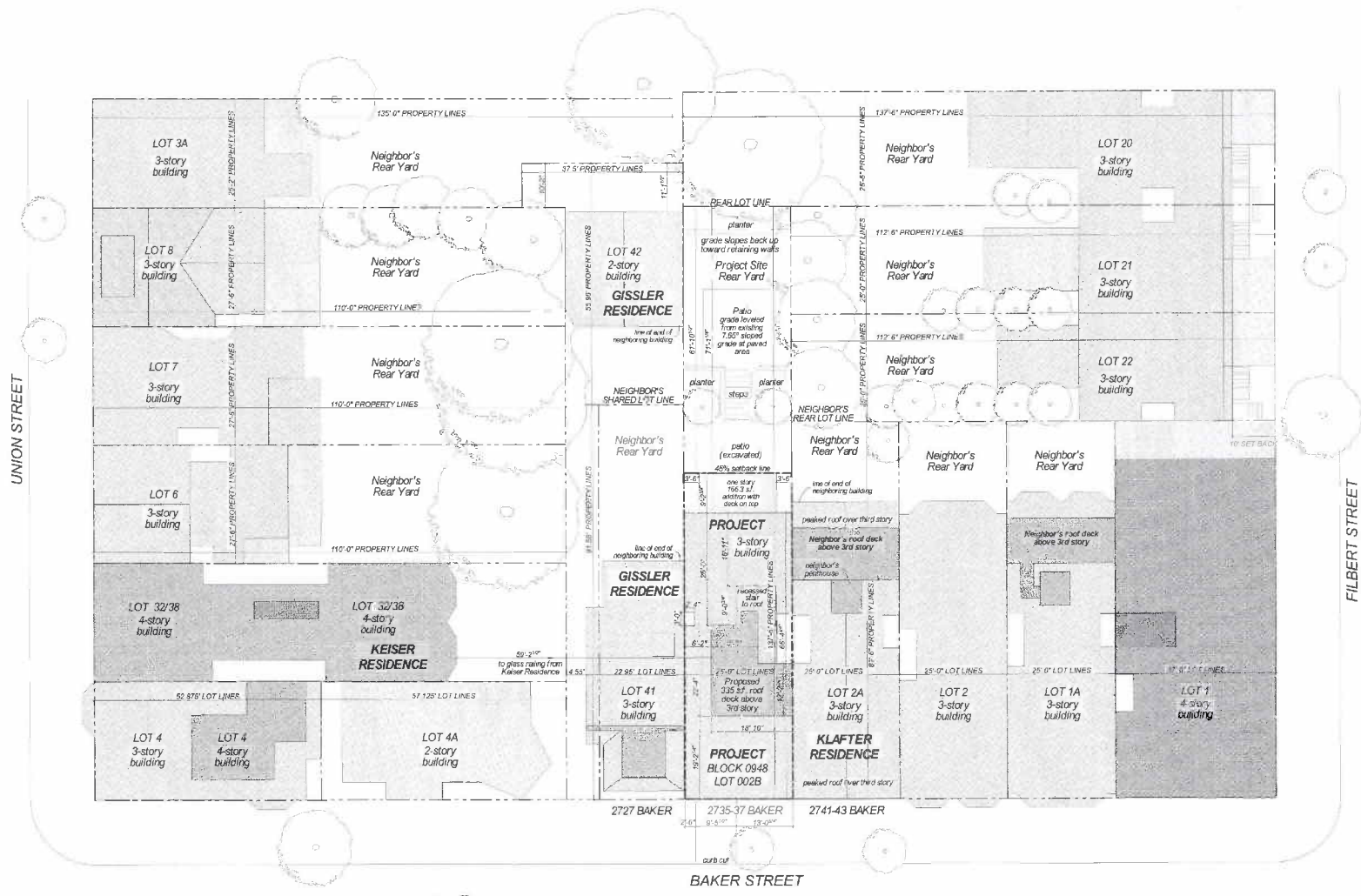
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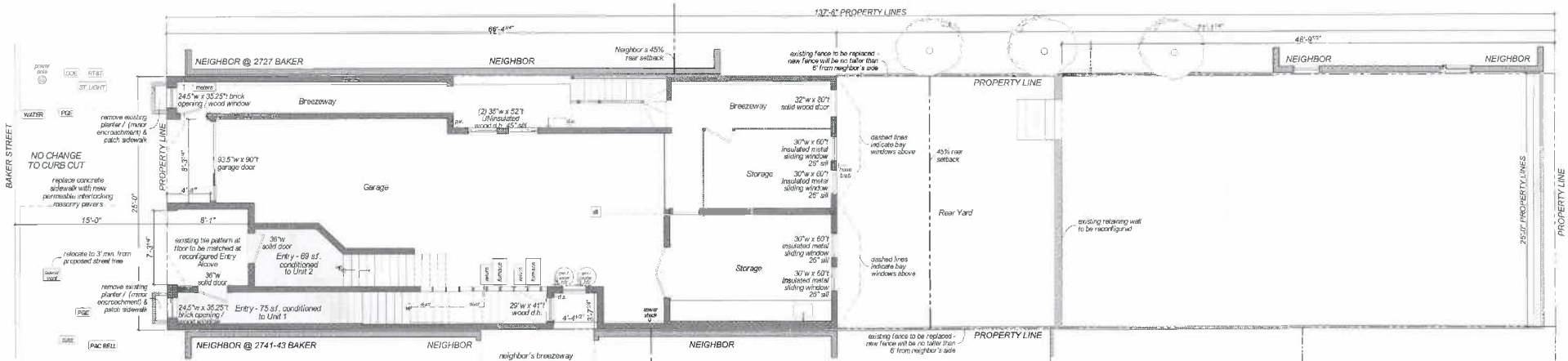
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Proposed Site Plan  
 scale: AS NOTED  
**A3**

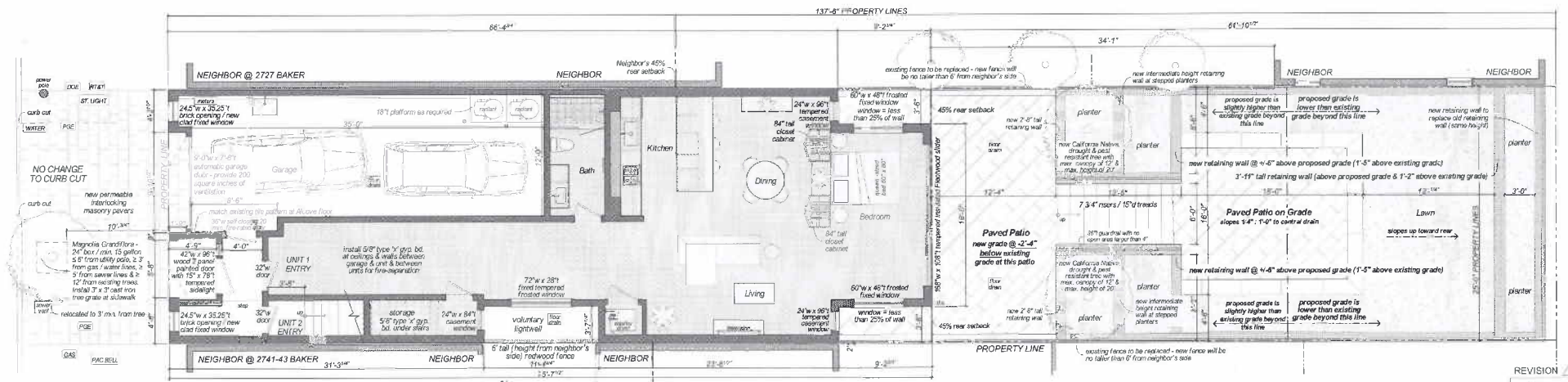


Proposed Site Plan of Project Address &  
Adjacent Building Footprints

Scale: 1" = 10'  
 1 5 10



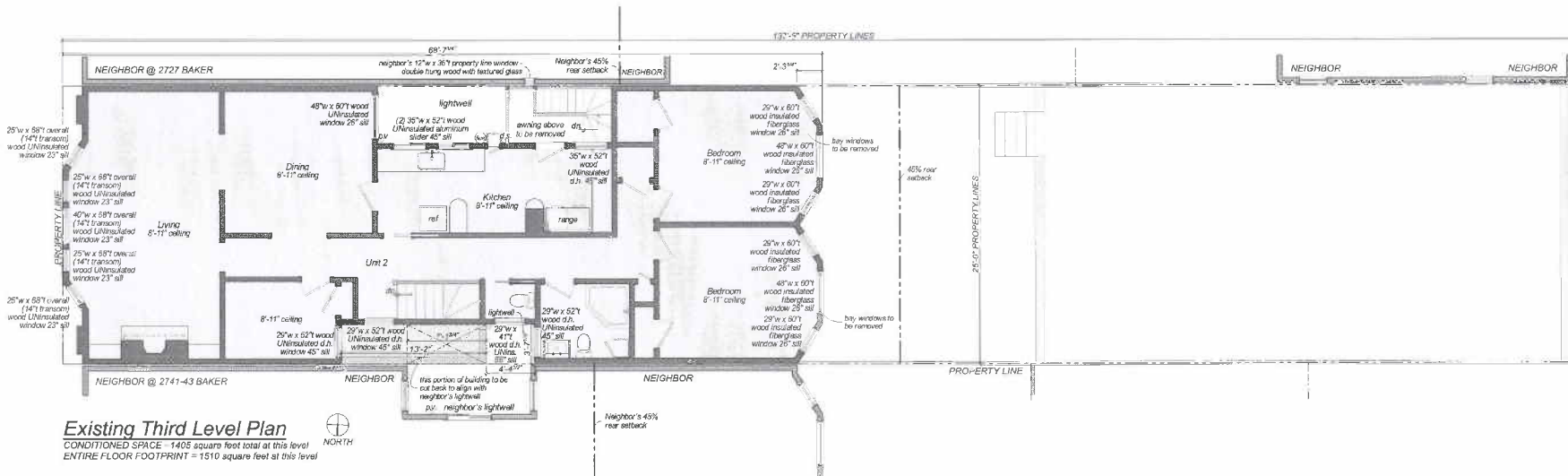
**Existing Ground Level Plan**  
 CONDITIONED SPACE = 144 square feet at this level  
 ENTIRE FLOOR FOOTPRINT = 1790 square feet at this level



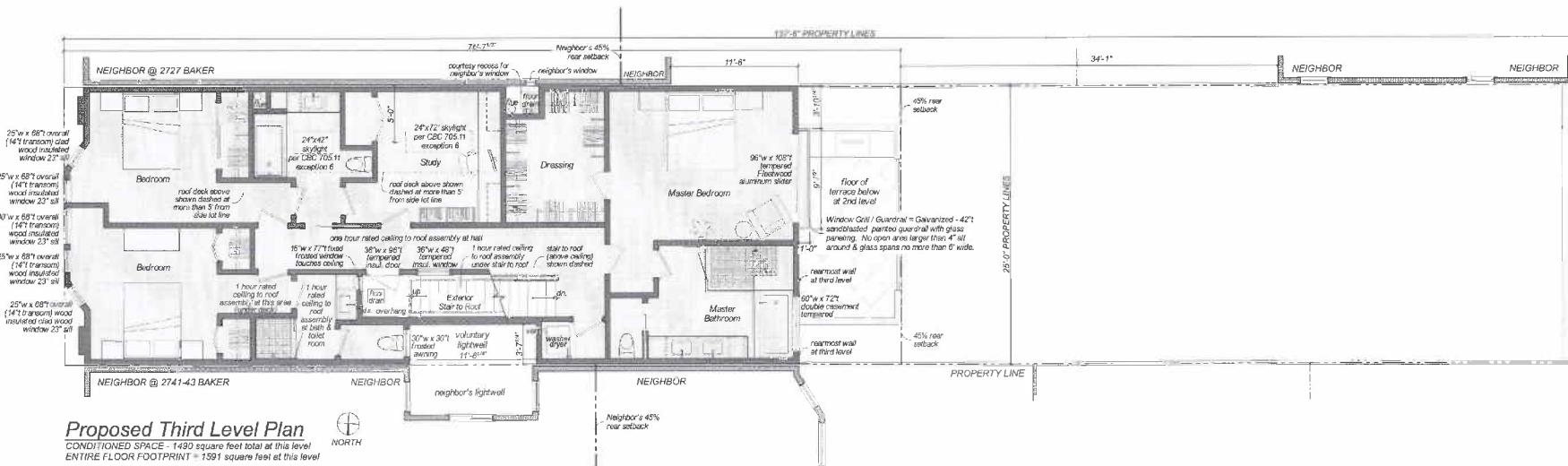
**Proposed Ground Level Plan**  
 UNIT 1 CONDITIONED SPACE = 1150 square feet total  
 ENTIRE FLOOR FOOTPRINT = 1966 square feet at this level

REVISION 1 SITE  
 Existing & Proposed Ground Level  
 scale: 1/4" = 1'-0"  
**A4**





**Existing Third Level Plan**  
 CONDITIONED SPACE = 1405 square feet total at this level  
 ENTIRE FLOOR FOOTPRINT = 1510 square feet at this level



**Proposed Third Level Plan**  
 CONDITIONED SPACE = 1490 square feet total at this level  
 ENTIRE FLOOR FOOTPRINT = 1591 square feet at this level

**KELLY CONDON**  
 ARCHITECT  
 415-240-8328  
 kellycondon@gmail.com

remodel  
 addition  
 for  
**Rick  
 Teed**

2735-2737  
**Baker St**  
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Existing & Proposed Third Level  
 scale: 1/4" = 1'-0"  
**A6**





**Existing Front Elevation**

NOTE:  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

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Existing Front  
 Elevation  
 scale: 1/4" = 1'-0"  
**A8**



**Proposed Front Elevation**

**NOTE:**  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

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Proposed Front  
 Elevation  
 scale: 1/4" = 1'-0"  
**A9**



**Existing Rear Elevation**

**NOTE:**  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

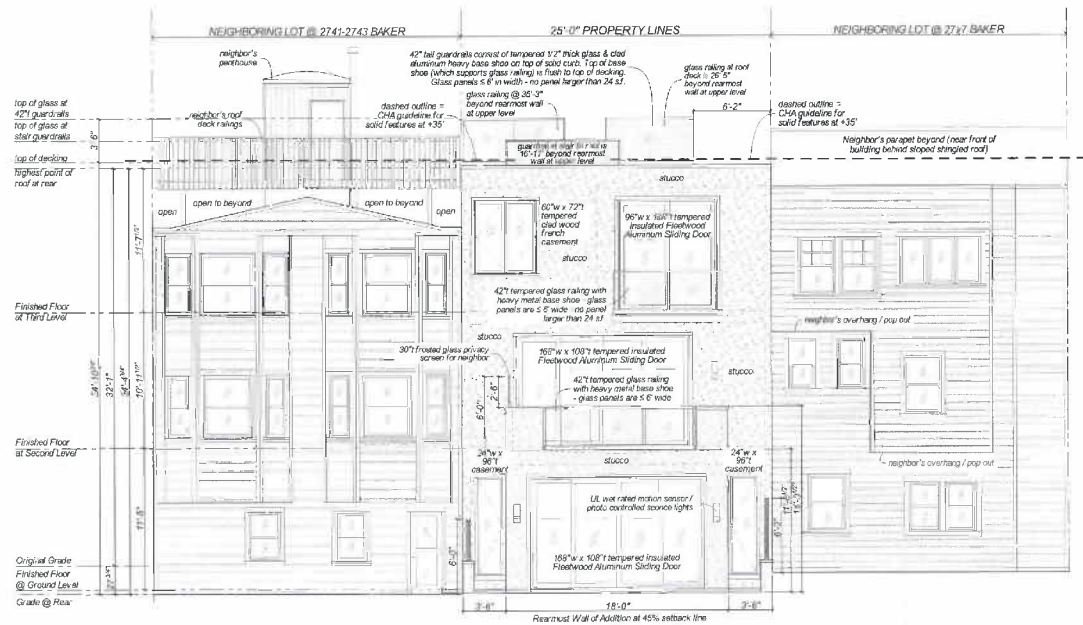
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**Teed**

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Existing Rear  
 Elevation  
 scale: 1/4" = 1'-0"  
**A10**





**Proposed Rear Elevation**

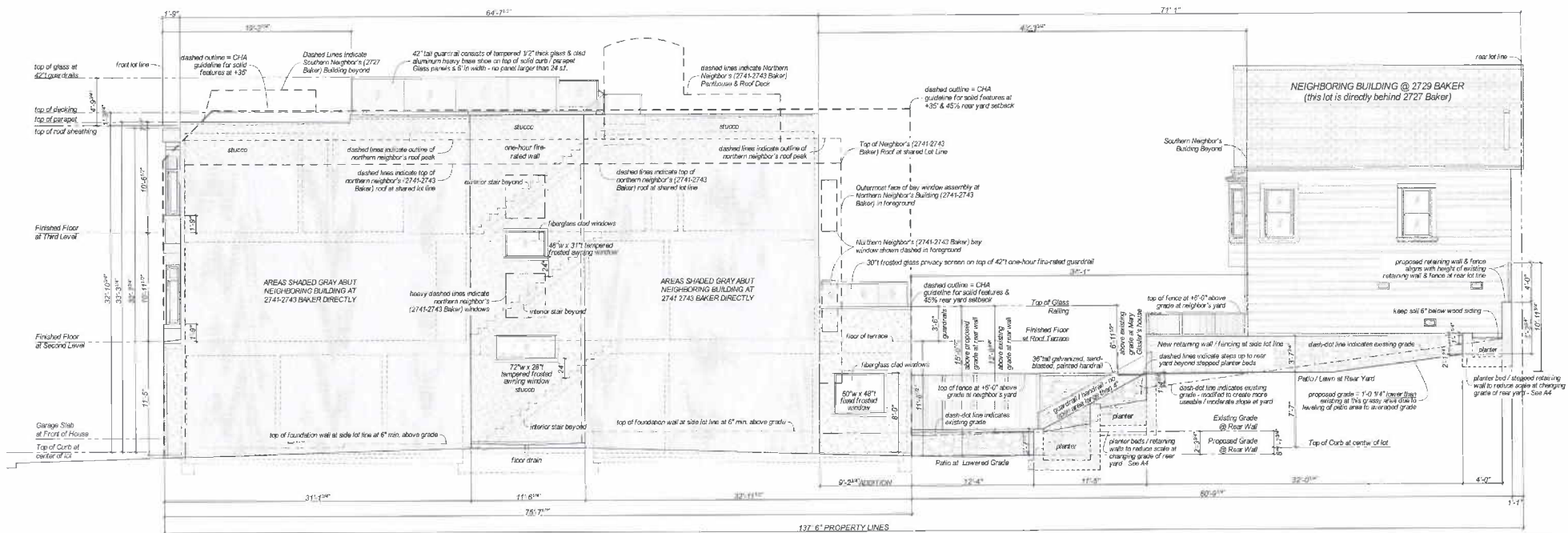
NOTE:  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiber glass clad wood windows

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Proposed Rear Elevation  
 scale: 1/4" = 1'-0"  
**A11**





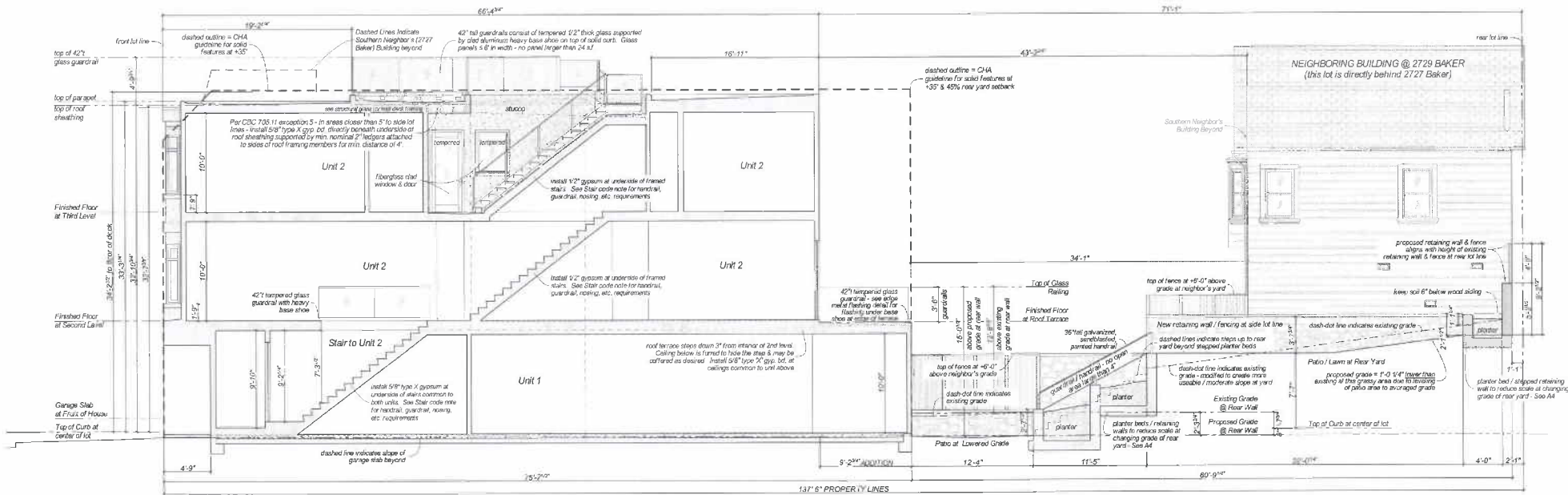
**Proposed North Facing Elevation**

NOTE:  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

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Proposed North facing Elevation  
 scale: 1/4" = 1'-0"  
**A13**



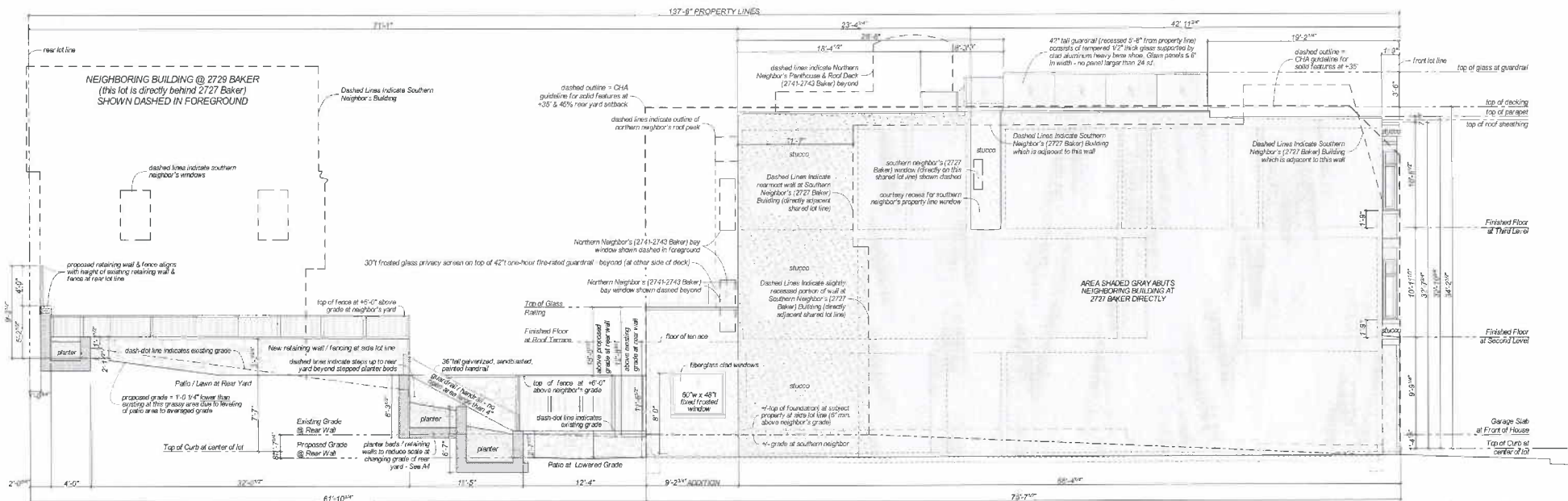


**Proposed Section Facing South**

NOTE:  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

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Proposed Section facing South  
 scale: 1/4" = 1'-0"  
**A15**

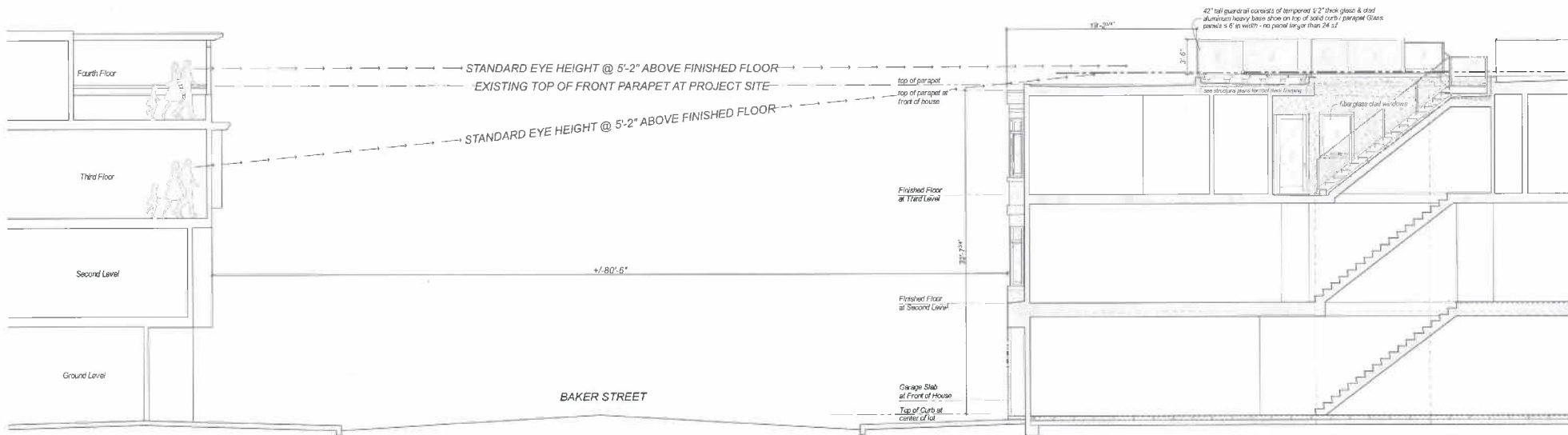


**Proposed South Facing Elevation**

NOTE:  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with fiberglass clad wood windows

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Proposed South facing Elevation  
 scale: 1/4" = 1'-0"  
**A16**



**Sight Lines from Directly Across Baker Street - as measured from Neighbor's Eye Height at Block 0947 / Lot 020 (2728 Baker Street)**

**NOTE:**  
 No panel of glass larger than 24 square feet in order to comply with bird safety standards  
 All windows to be removed / replaced & / or reconfigured per Proposed Elevations with  
 fiberglass clad wood windows

June 6, 2012  
 REVISION 2 SITE

Sight Lines  
 scale: 1/4" = 1'-0"  
**A17**