



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: DECEMBER 11, 2014

Date: December 4, 2014
Case No.: **2010.0401C**
Project Address: **625 Monterey Boulevard**
Zoning: NC-1 (Neighborhood Commercial Cluster)
32-X Height and Bulk District
Block/Lot: 3115/043 & 054
Project Applicant: Fred Ponce
ArcPath
300 Montgomery, #631
San Francisco, CA 94104
Project Owner: Natalie Mattei, Real Estate Manager
Safeway Inc.
5918 Stoneridge Mall Road
Pleasanton, CA 94588
Staff Contact: Marcelle Boudreaux – (415) 575-9140
marcelle.boudreaux@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The proposal is to expand an existing formula retail grocery store (d.b.a. Safeway) from 19,079 gross square feet (gsf) to 44,919gsf. The Safeway store is located in the middle of the block, on one large lot, with rooftop parking on portions above, and an adjacent lot to the east consists of surface parking to serve the store. The project seeks to merge these two lots into one large lot of approximately 36,187 square feet (sf), remove the surface parking lot, and expand the store into the area of the surface parking lot with a total of 300 linear feet of street frontage.

In its current configuration, the store's entry is oriented towards the surface parking and projects a blank wall to Monterey Boulevard. From the rooftop parking, pedestrians access the main level of the store via a stairwell located at the southeast corner. Loading occurs in the southern portion of the surface parking lot. In the expansion, the current floor that houses the grocery retail will be expanded east; the same level will include the loading area and some administrative space. With the expansion east into the surface parking lot, a basement level will be created to house production functions. All on-site vehicle parking will be consolidated on the rooftop. Some bicycle parking will be provided on the roof of the store; remaining bicycle parking will be provided at sidewalk near the main store entry. The store expansion would include a new off-street delivery truck loading dock accessible at ground level by a driveway at the eastern edge of the site off Monterey Boulevard. A rolling door can fully enclose the delivery truck to provide additional noise screening. 18-wheel truck deliveries are limited to four deliveries per day, at specific times, and other smaller trucks will make several deliveries per day.

The Safeway expansion project will incorporate a pharmacy, the first in the neighborhood commercial area, and new departments including meat and seafood, floral services, a bakery, and an organic produce section. Additionally, a Starbucks coffee kiosk (formula retail use) will be introduced as an accessory limited restaurant use inside the store. Outdoor seating at the front is proposed.

SITE DESCRIPTION AND PRESENT USE

The project is located on two lots on the south side of Monterey Boulevard, between Genessee and Foerster Streets; each parcel measures approximately slightly greater than 17,000 square feet. The topography in this area is varied. Monterey Boulevard experiences a lateral downslope in a west to east direction, and the block downslopes to the south. The subject property is located within the NC-1 (Neighborhood Commercial Cluster) District and the 32-X Height and Bulk District. The project is developed with a one-story grocery store building currently in operation, with rooftop parking and surface parking accessed from Monterey Boulevard. Pedestrians access the main level of the store from the rooftop parking via a circulation element located at the southeast corner of roofdeck parking area.

The location of this store meets the neighborhood commercial service radius of one-quarter to one-half mile, as defined in the General Plan. Safeway grocery has been serving the immediate neighborhoods for over 70 years.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Neighborhood Commercial Cluster District spans both sides of Monterey Boulevard for approximately three blocks between Ridgewood Avenue and Edna Street. A variety of neighborhood-serving commercial establishments are located within ground floor storefronts, including eating and drinking establishments, personal services, business and professional services, convenience stores, an auto service station and the subject general grocery retailer.

Buildings along Monterey Boulevard typically range from one- to two- stories-over-garage in height. Upper floors of buildings are generally occupied by residential units, and residential is interspersed within the NC-1 zoning district. Along Monterey Boulevard properties are zoned higher density as NC-1, RM-1 and RH-2. The surrounding residential neighborhoods are primarily zoned RH-1 (Residential House, One-Family), RH-2 (Residential House, Two-Family) and RH-1(D) (Residential House, One-Family Detached). The area around the Safeway is served by three MUNI bus lines and the regionally-serving Glen Park BART station at Diamond and Bosworth Streets approximately 1 mile to the east. The Monterey Boulevard on- and off-ramps from the I-280 are located approximately 1 mile to the east. The Sunnyside Elementary School is located two blocks south on Foerster Street. City College of San Francisco is approximately ½ mile to the south.

NC-1 Districts are intended to serve as local neighborhood shopping districts, providing convenience retail goods and services for the immediately surrounding neighborhoods primarily during daytime hours. These NC-1 Districts are characterized by their location in residential neighborhoods, often in outlying areas of the City. The commercial intensity of these districts varies. Many of these districts have the lowest intensity of commercial development in the City, generally consisting of small clusters with

three or more commercial establishments, commonly grouped around a corner; and in some cases short linear commercial strips with low-scale, interspersed mixed-use (residential-commercial) development.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 32 categorical exemption per State CEQA Guidelines Section 15332. On September 27, 2013, the Department certified the categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	November 21, 2014	November 19, 2014	22 days
Posted Notice	20 days	November 21, 2014	November 21, 2014	20 days
Mailed Notice	20 days	November 21, 2014	November 21, 2014	20 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

PUBLIC COMMENT

- The Department has received email comments and phone calls from 44 members of the public in support of the project. The Sunnyside Neighborhood Association has submitted a letter of support for the project, including extended hours of operation. The West of Twin Peaks Central Council, a resource of 20 neighborhood organizations, has submitted a letter of support.
- To date, the Department has received 5 emails that have concerns with specific portions of the project, but have not specifically objected to the project, including: proposed extension of hours; security and safety on the rooftop parking deck; security and access to adjacent property’s roof; general Safeway operations; and noise concerns with current loading.

ISSUES AND OTHER CONSIDERATIONS

- The proposal seeks to expand an existing formula retail Safeway grocery store, which has been serving the immediate neighborhood for over 70 years. The updated Safeway will provide a pharmacy, the first in the neighborhood commercial area, and new service departments including meat and seafood, floral services, a bakery, and an organic produce section, as well as upgraded delicatessen. Additionally, a Starbucks coffee kiosk (formula retail limited restaurant) will be introduced, for which a conditional use authorization is included in this request. The General Plan defines a service area for neighborhood commercial districts of approximately a one-quarter to one-half mile radius. The neighborhood commercial area is approximately three blocks long, and the ¼ mile radius extends beyond. The nearest grocery, the formula retail grocer Whole Foods, is .65 miles from the subject site.
- There are pending updates to the Formula Retail legislation. The analysis addresses some of these modifications. Safeway and Starbucks are both considered Formula retailers under existing

regulations, and continue to be considered as such under pending legislation. This Project would have required conditional use authorization for Formula Retail because Safeway's operations at the site pre-date Formula Retail legislation and its expansion requires the conditional use authorization to evaluate current neighborhood needs. An accessory use Formula Retail would require Conditional Use authorization. Both the general grocery and limited restaurant uses are considered uses that serve daily-serving needs. There is not an over-concentration of formula retail uses in the district.

- **Planned Unit Development Modifications.**
 - **Rear Yard.** Planning Code Section 710.12 and 134 states that the minimum rear yard depth shall be equal to 25 percent of the total depth of a lot in which it is situated, but in no case less than 15 feet, provided at grade and above. The project does not provide a rear yard of any dimension. The proposal is not modifying the location of mid-block open space at the project site; the interface between the development and its adjacent neighbors to the south will be modified.

The subject site sits in the middle of a block bordered on the east by Foerster Street, on west by Genessee Street and on the south by Hearst Avenue. Eleven properties fronting on Hearst Avenue border the southern property line of the project. The proposal modifies the interface between the rear yards of these eleven properties and the Safeway development in two ways. At the rear property line portion of the existing Safeway store, the concrete wall and fence configuration above the existing parking deck is proposed to be lowered approximately 8 feet. At the area where the surface parking lot exists, a concrete retaining wall ranging from approximately 6 to 9 feet above grade is topped with a fence approximately 10 feet in height. In the proposal, this concrete retaining wall will be topped with the new rear wall of the grocery store extension, approximately 27 feet tall; the existing property line fence, covered with landscaping, will remain. To the east of the subject site, the two adjacent properties sharing a rear yard will retain partial sunlight from the south. At the adjacent property to the west, there is an improvement in sunlight and air conditions.
 - **Parking Setback.** Section 145(c)(1) requires off-street parking to be set back at least 15 feet from any facade facing a street at least 30 feet in width on the floors above ground floor on a development lot. The project does not meet the full intent of the requirement as 15 parking spaces are provided within approximately 5 feet of the public right of way. This parking is designed to be screened with planters to be adequately landscaped and a screen element, both as features of the overall architecture. Mechanical features are either incorporated into the architecture, such as the pedestrian elevator to provide a visible and active element, or sited so as to be minimally visible from the street.
 - **Parking and Loading Entrances.** Section 145(c)(2) allows no more than one-third of the width or 20 feet, whichever is less, of any given street frontage of a new or altered structure facing and parallel to a street shall be devoted to parking and loading ingress and egress. The project would provide approximately 65 linear feet of street frontage devoted to parking and loading ingress and egress. As part of the existing development, three existing three lanes (one inbound and two outbound) for vehicles to access the

parking deck will remain. As part of the project, the three lanes will remain, however width of the driveway will be reduced approximately 5 feet and the inbound lane was downsized to 12 feet. The dedicated outbound left and right turn lanes remain necessary, however, because they enhance pedestrian safety and ADA access on the rooftop by decreasing queuing. The width of the loading door (approximately 28 feet) has been determined due to the 18-wheel truck-turning maneuver, reviewed in the environmental process and discussed further in the conditions of approval. To minimize the aesthetic implications for the street frontage devoted to loading, design of the loading door incorporates the color of the surrounding brick and soldier course brick will outline the entire loading element.

- Safeway is requesting hours of operation between 6 a.m. and 2 a.m. Permitted hours of operation in the district are 6 a.m. – 11 p.m. Safeway’s current operating hours are from 6 a.m. until 12 a.m. Safeway proposes to initially operate until 12 a.m., and until 2 a.m. in the future. Safeway entered into a Memorandum of Understanding (MOU) with the Sunnyside Neighborhood Association (SNA), which outlines steps between SNA and Safeway for operations between 12 a.m. and 2 a.m.
- Traffic and truck delivery routes have been studied and routes determined as per conditions of approval. Two 18-wheel truck delivery routes have been determined feasible; Safeway anticipates up to four 18-wheel truck deliveries and several other smaller “Coke and Pepsi” sized truck deliveries daily. The initial route on Monterey Boulevard is for a six-month trial period, after which steps will be taken to determine this as the official route, or steps will be taken to review and investigate the alternate the route on Genessee Street. This route is only applicable to 18-wheel truck deliveries.
- At the eastern side of the proposed elevation, the Department recommends the project sponsor provide a light-well of equal width and depth to match the existing light-well (above ground floor) of the adjacent three-story residential building to the east.
- The required parking for project is 39 parking spaces, and the number of spaces permitted as accessory is 59. The amount of spaces to be provided is 82 spaces (plus 1 car share space), which equates to 23 spaces above accessory. In 1970, during the construction of the current store, City Planning Commission Resolution Number 6622 authorized parking in excess of accessory amounts (73 total off-street parking spaces provided). The proposed increase in parking spaces represents only a 12% increase in spaces (from 73 to 82), which does not represent an intensification of the existing Resolution, per a Zoning Administrator interpretation of Planning Code Section 178(c) dating from March 2002, or intensification or enlargement of the existing store.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization 1) to allow lot merger for lot size in excess of 4,999 sf; 2) to allow non-residential use greater than 2,999 sf, 3) to allow hours of operation beyond 11 p.m.; 4) to allow expansion of existing formula retail general grocery use

(d.b.a. Safeway); 5) to allow establishment of formula retail limited restaurant use (d.b.a. Starbucks); and 6) to approve a Planned Unit Development with the requested modifications from the requirements of the Planning Code.

BASIS FOR RECOMMENDATION

- The project meets all applicable requirements of the Planning Code and General Plan.
- The project is desirable and necessary for, and compatible with the surrounding area as the primary use serves a daily neighborhood need.
- The business is a Formula Retail use that is being retained and expanded, and would serve the immediate and surrounding neighborhood. An accessory use formula retail limited restaurant is being introduced.

RECOMMENDATION: Approval with Conditions
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Attachments:

Block Book Map

Sanborn Map

Zoning Map

Aerial Photographs

Site Photo

Public Correspondence

Reduced Plans, including Project Sponsor submittal of 3-D renderings and context photos

Attachment Checklist

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | 3-D Renderings (new construction or significant addition) |
| <input checked="" type="checkbox"/> Sanborn Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Wireless Telecommunications Materials |
| <input type="checkbox"/> Context Photos | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> RF Report |
| | <input type="checkbox"/> Community Meeting Notice |
| | <input type="checkbox"/> Housing Documents |
| | <input type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |

Exhibits above marked with an "X" are included in this packet

MWB
Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Draft Motion

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Recommendation: **Approval with Conditions**

ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 303, 710.11, 710.21, 710.27, 703.4, OF THE PLANNING CODE TO ALLOW DEVELOPMENT OF A LOT LARGER THAN 4,999 SQUARE FEET, TO ALLOW DEVELOPMENT OF A NON-RESIDENTIAL USE LARGER THAN 2,999 SQUARE FEET, TO ALLOW OPERATING HOURS BEYOND 11 P.M., TO ALLOW EXPANSION OF EXISTING FORMULA RETAIL GENERAL GROCERY USE, TO ALLOW ESTABLISHMENT OF FORMULA RETAIL LIMITED RESTAURANT USE, AND TO ALLOW A PLANNED UNIT DEVELOPMENT PER PLANNING CODE SECTION 304, WITH SPECIAL EXCEPTIONS FROM PLANNING CODE SECTIONS 134 (REAR YARD); 145.1 (STREET FRONTAGE INCLUDING PARKING SETBACK AND PARKING AND LOADING ENTRANCES) WITHIN THE NC-1 (NEIGHBORHOOD COMMERCIAL CLUSTER) DISTRICT AND A 32-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On September 1, 2011, Fred Ponce (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code

Section(s) 303, 710.11, 710.21, 710.27, 703.4, and to allow for a Planned Unit Development per Planning Code Section 304, with special exceptions from Planning Code Sections 134 (rear yard); and 145.1 (street frontage, including parking setback and parking and loading entrances), for property located within the NC-1 (Neighborhood Commercial Cluster) District and a 32-X Height and Bulk District.

On December 11, 2014, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2010.0401C.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 32 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2010.0401C, subject to the conditions contained in "EXHIBIT A", of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the southern side of Monterey Boulevard, between Genessee and Foerster Streets, Block 3115, Lots 043 and 054. The project is located on two lots on the south side of Monterey Boulevard, between Genessee and Foerster Streets; each parcel measures approximately slightly greater than 17,000 square feet. The topography in this area is varied. Monterey Boulevard laterally downslopes in a west to east direction, and the block downslopes to the south. The subject property is located within the NC-1 (Neighborhood Commercial Cluster) District and the 32-X Height and Bulk District. The project is developed with a one-story grocery store building currently in operation, with rooftop parking and surface parking accessed from Monterey Boulevard. The store's current design is such that the entry is oriented towards the surface parking and projects a blank wall to Monterey Boulevard. Pedestrians access the main level of the store from the rooftop parking via a circulation element located at the southeast corner of roofdeck parking area.
3. **Surrounding Properties and Neighborhood.** The Neighborhood Commercial Cluster District spans both sides of Monterey Boulevard for approximately three blocks between Ridgewood Avenue and Edna Street. A variety of neighborhood-serving commercial establishments are located within ground floor storefronts, including eating and drinking establishments, personal

services, business and professional services, convenience stores, an auto service station and the subject general grocery retailer.

Buildings along Monterey Boulevard typically range from one- to two- stories-over-garage in height. Upper floors of buildings are generally occupied by residential units, and residential is interspersed within the NC-1 zoning district. Along Monterey Boulevard properties are zoned higher density as NC-1, RM-1 and RH-2. The surrounding residential neighborhoods are primarily zoned RH-1 (Residential House, One-Family), RH-2 (Residential House, Two-Family) and RH-1(D) (Residential House, One-Family Detached). The area around the Safeway is served by three MUNI bus lines and the regionally-serving Glen Park BART station at Diamond and Bosworth Streets approximately 1 mile to the east. The Monterey Boulevard on- and off-ramps from the I-280 are located approximately 1 mile to the east. The Sunnyside Elementary School is located two blocks south on Foerster Street. City College of San Francisco is approximately ½ mile to the south.

NC-1 Districts are intended to serve as local neighborhood shopping districts, providing convenience retail goods and services for the immediately surrounding neighborhoods primarily during daytime hours. These NC-1 Districts are characterized by their location in residential neighborhoods, often in outlying areas of the City. The commercial intensity of these districts varies. Many of these districts have the lowest intensity of commercial development in the City, generally consisting of small clusters with three or more commercial establishments, commonly grouped around a corner; and in some cases short linear commercial strips with low-scale, interspersed mixed-use (residential-commercial) development.

4. **Project Description.** The proposal is to expand an existing formula retail grocery store (d.b.a. Safeway) from 19,079 gross square feet (gsf) to 44,919gsf. The Safeway store is located in the middle of the block, on one large lot, with rooftop parking above, and an adjacent lot to the east consists of surface parking to serve the store. The project seeks to merge these two lots into one large lot of approximately 36,187 square feet (sf), remove the surface parking lot, and expand the store into the area of the surface parking lot with a total of 300 linear feet of street frontage.

In its current configuration, the store's entry is oriented towards the surface parking and projects a blank wall to Monterey Boulevard. From the rooftop parking, pedestrians access the main level of the store via a stairwell located at the southeast corner. Loading occurs in the southern portion of the surface parking lot. In the expansion, the current floor that houses the grocery retail will be expanded east; the same level will include the loading area and some administrative space. With the expansion east into the surface parking lot, a basement level will be created to house production functions. All on-site vehicle parking will be consolidated on the rooftop. Some bicycle parking will be provided on the roof of the store; remaining bicycle parking will be provided at sidewalk near the main store entry. The store expansion would include a new off-street delivery truck loading dock accessible at ground level by a driveway at the eastern edge of the site off Monterey Boulevard. A rolling door can fully enclose the delivery truck to provide additional noise screening. 18-wheel truck deliveries are limited to four deliveries per day, at specific times, and other smaller trucks will make several deliveries per day.

The Safeway expansion project will incorporate a pharmacy, the first in the neighborhood commercial area, and new departments including meat and seafood, floral services, a bakery, and an organic produce section. Additionally, a Starbucks coffee kiosk (formula retail use) will be introduced as an accessory limited restaurant use inside the store. Outdoor seating at the front is proposed.

5. **Public Comment.** The Department has received email comments and phone calls from 44 members of the public in support of the project. The Sunnyside Neighborhood Association has submitted a letter of support for the project, including extended hours of operation. The West of Twin Peaks Central Council, a resource of 20 neighborhood organizations, has submitted a letter of support. To date, the Department has received 5 emails that have concerns with specific portions of the project, but have not specifically objected to the project, including: proposed extension of hours; security and safety on the rooftop parking deck; security and access to adjacent property's roof; general Safeway operations; and noise concerns with current loading.

6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Lot Size.** Planning Code Section 710.11 permits lot sizes up to 4,999 square feet, with a Conditional Use Authorization required for lot sizes of 5,000 square feet and above, as defined by Planning Code Section 121.1.

The proposed lot size after the merger of the two existing lots is approximately 36,187 square feet, therefore requires conditional use authorization to proceed.

- B. **Use Size.** Planning Code Section 737.21 permits use sizes up to 2,999 square feet, with a Conditional Use Authorization required for use sizes of 3,000 square feet and above, as defined by Planning Code Section 790.130.

The proposed use size for the grocery store is 19,536 square feet, therefore requires conditional use authorization to proceed.

- C. **Floor Area Ratio.** Planning Code Section 737.21 restricts floor area ratio to 1.8 to 1.

65,136 gross square feet of non-residential use is permitted pursuant to this Section of the Code. The project would provide 44,919 gross square feet of non-residential use, which is within the permitted limits.

- D. **Streetscape and Pedestrian Improvements.** Planning Code Section 138.1 requires that the Project include streetscape and pedestrian improvements appropriate to the site in accordance with the Better Streets Plan, as well as the planting of street trees.

The conceptual plans include trees, bike racks and outdoor seating within the right-of-way along the Monterey Boulevard frontage. Improvements at three corners of the intersection of Monterey Boulevard and Foerster Street include: a bulb-out shall be constructed at the southwest corner of the

above-noted intersection; a bus bulb shall be constructed at the southeast corner of the above-noted intersection at the existing Muni bus stop, and the bus stop relocated; and a second bus bulb shall be constructed along the northern curb of Monterey Boulevard just west of Foerster Street at the existing Muni bus stop, and the bus stop relocated. In addition to these bulb outs, the western gap along Monterey Boulevard median, directly across from the Safeway rooftop parking driveway entrance, shall be narrowed from a width of approximately 80 feet to a width of approximately 50-60 feet, and landscaped accordingly.

The project is required to provide 15 street trees. Nine street trees currently exist. Due to site constraints of utilities and driveways, the project will result in 8 street trees on-site, which includes maintaining six existing street trees and planting two new trees. Project sponsor will be required to pay the in-lieu to satisfy the remaining street tree requirements. Project sponsor must obtain street tree removal permits from DPW. None of this should be construed to include the tree planting or removal on the street median at Monterey Boulevard.

Staff from the Planning Department and project sponsor have reviewed the streetscape plan extensively. Final plans will be determined upon technical review by appropriate City agencies. Project Sponsor will coordinate with Planning staff to refine details of required streetscape improvements during the building permit review to ensure compliance with Section 138.1 and Exhibit B.

- E. **Outdoor Activity.** Planning Code Section 710.24 states that an Outdoor Activity Area is permitted in the front, as defined by Planning Code Section 790.70.

An outdoor activity area (outdoor seating area) is a permitted activity. This is discussed as part of the Better Streets Plan and will be further refined. No Planning Commission action is required to establish an outdoor activity area in front.

- F. **Hours of Operation.** Planning Code Section 710.27 permits operation by-right from 6 a.m. to 11 p.m. Operation between the hours of 11 p.m. to 2 a.m is allowed through conditional use authorization only.

The Sponsor seeks to operate beyond the permitted hours of operation for the Zoning District. The proposed hours of operation for Safeway are 6 a.m. to 2 a.m. daily. Initially, the store plans operations until 12 a.m., with future operating hours until 2 a.m. Safeway has entered into a Memorandum of Understanding (MOU) with the Sunnyside Neighborhood Association (SNA) which outlines steps between the SNA and Safeway for operations between 12 a.m. and 2 a.m.

- G. **Parking.** Sections 710.22 and 151 of the Planning Code require off-street parking for every 500 square-feet of occupied floor area below 20,000 square feet. Parking spaces provided over accessory amounts (150% of required parking spaces) require Conditional Use authorization as a principal use.

The required parking for project is 39 parking spaces. The number of spaces permitted as accessory is 59. The amount of spaces to be provided is 82 spaces (plus 1 car share space), which equates to 23

spaces above accessory. Pursuant to Section 151.1, car share parking spaces are not credited toward the total parking permitted as accessory.

In 1970, during the construction of the current store, City Planning Commission Resolution Number 6622 authorized parking in excess of accessory amounts (73 total off-street parking spaces provided; 36 off-street spaces required) to include the rooftop and surface parking. Zoning district at the time was C-1, and has been modified to NC-1. The parking use has been in continuous operation since that time. A Zoning Administrator interpretation of Planning Code Section 178(c) dating from March 2002 states that if the parking spaces do not increase more than 25% from amount authorized under the Conditional Use, this is not considered an intensification or enlargement of the existing Conditional Use. The proposed increase in parking spaces represents only a 12% increase in spaces (from 73 to 82). The project involves moving the surface parking to rooftop parking, and retaining the existing portion of existing store with parking. The accessory parking (58 spaces) will be provided on the rooftop at the eastern end and the parking in excess of accessory amounts (25 spaces) will be provided on the rooftop on the western end.

- H. **Off-Street Loading.** Planning Code Section 710.23 requires one loading space for retail uses between 10,001 and 60,000 gross square feet.

The project provides one off-street, completely internal loading space accessible from Monterey Boulevard. One loading space will be provided curb-side. Two delivery routes have been studied for the 18-wheel delivery trucks, as discussed in the additional conditions of approval. On the Monterey Boulevard Delivery Route, delivery times are limited to arrive and depart during the hours of 10am to 3pm, and 7pm to 2am. If determined feasible, truck deliveries on the Genessee Street Delivery Route should occur only between the hours of 9am to 9pm.

- I. **Active Street Frontages.** Section 145.1 requires active uses to be located at the ground-floor of the Project, with the exception of space allowed for parking, building egress, and access to mechanical systems. Active uses may include commercial uses with transparency along the sidewalk.

Active uses shall be provided within the first 25 feet of building depth on the ground floor. Frontages with active uses must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The expansion portion of the building will be in full compliance with the fenestration requirement, with new construction having 62% transparency. The existing building will be punctuated with new windows allowing for 42% transparency. The existing store will have the maximum amount of windows feasible, with the remaining portion in brick due to existing structural columns, fire exiting and utility connections. The degree to which the existing building is noncompliant with the new code section will be reduced, in compliance with Planning Code Section 188(a).

Due to the lateral grade change at the street, a portion of the parking is at ground level. At the northwestern section of the site, bicycle parking, the pedestrian elevator and stairwell are sited adjacent to the vehicle driveway accessible from Monterey Boulevard. The elevator and stairwell enclosures are integrated into the overall architectural scheme, and form a portion of the east façade design –

transparent where appropriate and designed with a mural reflective of the neighborhood. At this area, parking is setback approximately 50 feet from the façade facing a street.

J. **Signage.** Any proposed signage will be subject to the review and approval of the Planning Department per Article 6 of the Planning Code.

7. **Planning Code Exceptions: Planning Code Section 304** allows exceptions from the Code for larger development sites. The Commission finds that the following exceptions are being requested for the project.

1. **Rear Yard.** Planning Code Section 710.12 and 134 states that the minimum rear yard depth shall be equal to 25 percent of the total depth of a lot in which it is situated, but in no case less than 15 feet, provided at grade and above.

The project does not provide a rear yard of any dimension. The proposal is not modifying the location of mid-block open space at the project site; the interface between the development and its adjacent neighbors to the south will be modified.

The subject site sits in the middle of a block bordered on the east by Foerster Street, on west by Gennessee Street and on the south by Hearst Avenue. Eleven properties fronting on Hearst Avenue border the southern property line of the project. The proposal modifies the interface between the rear yards of these eleven properties and the Safeway development in two ways. At the rear property line portion of the existing Safeway store, the concrete wall and fence configuration above the existing parking deck is proposed to be lowered approximately 8 feet. At the area where the surface parking lot exists, a concrete retaining wall ranging from approximately 6 to 9 feet above grade is topped with a fence approximately 10 feet in height. In the proposal, this concrete retaining wall will be topped with the new rear wall of the grocery store extension, approximately 27 feet tall; the existing property line fence, covered with landscaping, will remain. To the east of the subject site, the two adjacent properties sharing a rear yard will retain partial sunlight from the south. At the adjacent property to the west, there is an improvement in sunlight and air conditions.

2. **Street Frontage.**

i. Section 145(c)(1) requires off-street parking to be set back at least 15 feet from any facade facing a street at least 30 feet in width on the floors above ground floor on a development lot.

The project does not meet the fully meet the requirement as 15 parking spaces are provided within approximately 5 feet of the public right of way. This parking is designed to be screened with a low-wall with planters to be adequately landscaped and a screen element above, both integrated as features of the overall architecture. Mechanical features are either incorporated into the architecture, such as the pedestrian elevator to provide a visible and active element, or sited so as to be minimally visible from the street.

- ii. Section 145(c)(2) allows no more than one-third of the width or 20 feet, whichever is less, of any given street frontage of an altered structure facing and parallel to a street shall be devoted to parking and loading ingress and egress. The parking deck ingress/egress is approximately 36 feet.

The project would provide approximately 65 linear feet of street frontage devoted to parking and loading ingress and egress. As part of the existing development, three existing three lanes (one inbound and two outbound) for vehicles to access the parking deck will remain. As part of the project, the three lanes will remain, however width of the driveway will be reduced approximately 5 feet and the inbound lane was downsized to 12 feet. The dedicated outbound left and right turn lanes remain necessary, however, because they enhance pedestrian safety and ADA access on the rooftop by decreasing queuing. The width of the loading door (approximately 28 feet) has been determined due to the 18-wheel truck-turning maneuver, reviewed in the environmental process and discussed further in the conditions of approval. To minimize the aesthetic implications for the street frontage devoted to loading, design of the loading door incorporates the color of the surrounding brick and soldier course brick will outline the entire loading element.

8. **Planning Code Section 303(c)** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The proposal is to retain and expand an existing general grocery store use that has existed at this site since 1943, and is the only general grocery retailer in the district or within .65 miles. Safeway is a neighborhood serving retail use, which satisfies daily-serving needs. The project is necessary and desirable. The General Plan defines a service area for neighborhood commercial districts of approximately a one-quarter to one-half mile radius.

The proposal does not exceed the height limit for the district. The project has been designed in discrete elements to respect the scale of development in the nearby commercial corridor, interspersed with residential uses, on Monterey Boulevard. Further, the reconfigured Safeway orients the entry and its "face" to the pedestrian by locating the entry on Monterey Boulevard and adding transparent glazing along the street, adding visual interest to the building. Traffic calming improvements, including corner bulb-outs and transit bulb-outs will enhance the safety as traffic by foot and car increases following the expansion.

Expanding the existing store into its adjacent lot, currently used as a surface parking lot, will not displace any existing commercial tenants at the site. Safeway proposes expanding its service departments, including adding a pharmacy, meat and seafood, floral services, a bakery, an organic produce section, and a formula retail coffee kiosk. It is unlikely that the expanded general grocery use will foreclose on the location of other needed neighborhood-serving uses, as these diverse uses have co-

existed for some time together, and none of the expanded service departments are individually provided in the neighborhood commercial district.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

This building's design is compatible with the commercial district's scale, height and setback. The height limit for the district is 32 feet, and the project does not exceed this limit.

The proposed street frontage is approximately 300 linear feet, on a lot with lateral grade change. To address this topographical change, the building steps down in segments of almost continuous commercial frontage at the street level, with exception for parking and loading ingress and egress. Most of the district is comprised of lots approximately 25-30 feet. The project is designed as discrete elements to reflect the smaller commercial storefronts and residential buildings common in the District, and active uses provided at street frontage, where feasible. This is reinforced by selection of different materials or emphasis on specific elements at these discrete segments. Materials selection is high-quality and is reflective of the mixed architectural heritage in the district.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The project site is much larger than the average lot in the subject NC-1 district; however the proposal seeks to better integrate the existing building with the street and the blockface. The project is located on Monterey Boulevard. Traffic calming and pedestrian safety improvements include a variety of sidewalk bulb-outs and transit bulb-outs at three corners at the intersection of Monterey Boulevard and Foerster Streets. The project includes a truck delivery dock that function internally and a loading zone, both to minimize impacts on Monterey Boulevard traffic; 18-wheel truck delivery is subject to conditions of delivery route and hours of delivery to minimize impacts to commuter traffic and pedestrians, per conditions of approval in Exhibit A. Adequate parking spaces are provided on the rooftop parking deck.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The loading dock is a source of many offensive emissions such as noise and odor. Along with noises associated with the off-loading of inventory, the loading dock is the location for trash removal, which often produces odors. The new design incorporates an interior dock, so these problems can be maintained within the building envelope. Venting is designed so odors are not

directed at any surrounding residences. The proposed use shall work to limit emissions such as noise and odor, per conditions of approval outlined in Exhibit A.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposed use is required to maintain adequate landscaping to screen the parking on the rooftop level, further outlined in conditions of approval in Exhibit A. Lighting shall be adequate to maintain safety and security on the site, but not be a nuisance to adjacent residential uses, per conditions of approval in Exhibit A. The Department shall review all signs proposed for the new business in accordance with Article 6 of the Planning Code.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purposes of the Neighborhood Commercial Cluster District in that the intended commercial use is located at the ground floor and below, and will serve daily-needs serving products to the immediately surrounding neighborhoods.

- 9. **Planned Unit Development.** Planning Code Section 304 establishes criteria and limitations for the authorization of PUD's over and above those applicable to Conditional Uses in general and contained in Section 303 and elsewhere in the Code. In cases of projects that exhibit outstanding overall design and are complementary to the design and values of the surrounding area, such projects may merit modification of certain Code requirements. On balance, the Project complies with said criteria in that it:

- i. Affirmatively promotes applicable objectives and policies of the General Plan;

See discussion under Item #13.

- ii. Provides off-street parking adequate for the occupancy proposed;

The requested number of parking spaces will adequately address the parking needs of the project, which by its nature and function attracts more drivers than other uses commonly found in NC-1 districts.

- iii. Provides open space usable by the occupants and, where appropriate, by the general public, at least equal to the open space required by this Code;

The project does not include a residential use; therefore, there are no open space requirements.

- iv. Be limited in dwelling unit density to less than the density that would be allowed by Article 2 of this Code for a district permitting a greater density, so that the Planned Unit Development will not be substantially equivalent to a reclassification of property;

The project does not include a residential use; therefore, there density limits do not apply.

- v. Under no circumstances be excepted from any height limit established by Article 2.5 of this Code, unless such exception is explicitly authorized by the terms of this Code. In the absence of such an explicit authorization, exceptions from the provisions of this Code with respect to height shall be confined to minor deviations from the provisions for measurement of height in Sections 260 and 261 of this Code, and no such deviation shall depart from the purposes or intent of those sections;

The project complies with the applicable height limitations for the property.

- vi. In NC Districts, be limited in gross floor area to that allowed under the floor area ratio limit permitted for the district in Section 124 and Article 7 of this Code;

The project does not exceed the permitted floor area ratio for the NC-1 district.

- vii. In NC Districts, not violate the use limitations by story set forth in Article 7 of this Code;

The project does not violate any use limitations by story set forth in Article 7.

- viii. Provide street trees as per the requirements of Section 138.1 of the Code;

Because of the extensive underground utilities at the sidewalk, the project cannot comply with the required number of street trees or trenching for the project. However, as permitted by Section 138.1, the necessary waivers will be requested from the Department of Public Works and the Zoning Administrator. In-lieu fees may be required to be paid for street trees that cannot be planted.

- ix. Provide landscaping and permeable surfaces in any required setbacks in accordance with Section 132 (g) and (h).

No front setbacks are required; therefore, these Planning Code sections are not applicable.

10. **Section 121.1 Findings.** In addition to the criteria of Section 303(c) of this Code, the Planning Commission has considered the extent to which the following criteria are met for a project site exceeding 4,999 square feet in the Neighborhood Commercial Cluster zoning district:

- A. The mass and façade of the proposed structure are compatible with the existing scale of the district.

This building's design is compatible with the commercial district's scale, height and setback. The height limits is 32 feet, and the project does not exceed this limit.

The proposed street frontage is approximately 300 linear feet, on a lot with lateral grade change. To address this topographical change, the building steps down in segments of almost continuous commercial frontage at the street level, with exception for parking and loading ingress and egress. Most of the district is comprised of lots approximately 25-30 feet. The project is designed as discrete elements to reflect the smaller commercial storefronts and residential buildings common in the District, and active uses provided at street frontage, where feasible. This is reinforced by selection of different materials or emphasis on specific elements at these discrete segments. Loading entrance is minimized as much as possible with high quality material, color to match surrounding brick and brick soldier course surrounding the door.

- B. The façade of the proposed structure is compatible with design features of adjacent facades that contribute to the positive visual quality of the district.

The architectural character of the District is varied. There are examples of traditional commercial storefront design, and the project calls out that architectural detailing, specifically through the bulkhead and pilaster storefront system, with glazing setback from the façade. The store entry is defined through distinct use of material and an awning further identifies its location. Where feasible, transparent glazing is provided for view into the active commercial use and transparent glazing is utilized at the circulation component that safely connects pedestrians from the rooftop parking into the store level.

11. **Section 121.2 Findings.** In addition to the criteria of Section 303(c) of this Code, the Planning Commission has considered the extent to which the following criteria are met for a non-residential use exceeding 2,999 square feet (the 19,536 square foot medium-sized commercial space, limited to a general grocery store with pharmacy):

1. The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

The General Plan defines a service area for neighborhood commercial districts of approximately a one-quarter to one-half mile radius. This general grocery use has existed at this site since 1943, and is the only general grocery retailer in the district or within .65 miles. The expansion will not displace any existing commercial tenants at the site. It is unlikely that the expanded general grocery use will foreclose on the location of other needed neighborhood-serving uses, as these diverse uses have co-existed for some time together. It is possible that the expanded and upgraded store can provide more patrons for surrounding establishments, resulting in a positive economic multiplier for the surrounding commercial district.

2. The building in which the use is to be located is designed in discrete elements which respect the scale of the development in the district.
The project has been designed in discrete elements to respect the scale of development in the nearby commercial corridor, interspersed with residential uses, on Monterey Boulevard. Further, the reconfigured Safeway orients the entry and its "face" to the pedestrian by locating the entry on Monterey Boulevard and adding transparent glazing along the street, adding visual interest to the building.
12. **Planning Code Section 303(i)** provides additional criteria for the Planning Commission to consider when considering any discretionary review pursuant Section 703.3 and 703.4, Formula Retail Uses:

1. The existing concentrations of formula retail uses within the Neighborhood Commercial Cluster (NC-1) district.

The existing general grocery store (d.b.a. Safeway) has existed at this site since 1943. Circa 1970, the store's location was shifted within the overall property site and was enlarged. The current proposal seeks to upgrade and expand the Safeway to meet current Code standards, as well as expand grocery departments and include a pharmacy. These are daily-need serving uses that benefit the immediately surrounding neighborhoods. The grocery store has been serving the neighborhood for over 70 years. Within the NC-1 district, there are approximately 35 commercial storefronts, including the project. These are primarily "mom and pop" type establishments. For reference, the ¼-mile radius extends beyond the neighborhood commercial area.

The nearest formula retail grocery stores are the new Whole Foods at 1150 Ocean Avenue, approximately .65 miles; another Safeway at 4950 Mission Street, approximately 1 mile away; and another Safeway at the Diamond Heights Shopping Center, approximately 1.1 miles away. Under pending legislative changes for reviewing Formula Retail uses, similar retail uses within the vicinity are to be evaluated. Other independent grocery retailers include Mollie Stone's, 635 Portola Drive, .9 miles away, and Canyon Market at 2815 Diamond Street, .85 miles away. However, within the subject NC-1 district, no other grocers exist.

A formula retail limited restaurant coffee service (d.b.a. Starbucks) is proposed as a 260 square foot kiosk accessory use inside the Safeway store. Thus, one new formula retail use will be introduced in the district. This kiosk is not intended to be a full coffee shop/café; outdoor seating is proposed for the entire Safeway store, thus patrons can consume their Starbucks purchases or other deli purchases in the outdoor seating area. The nearest formula retail limited restaurant coffee shop/café is a Starbucks, 675 Portola Drive, approximately .9 miles away. The Safeway at Diamond Heights Shopping Center provides a similar in-store Starbucks kiosk, and is located 1.1 miles from the district. Under pending legislative changes for reviewing Formula Retail uses, similar retail uses within the vicinity are to be evaluated. Several independent limited restaurant coffee shop/cafes are located in the Ocean Avenue neighborhood commercial area, including Fog Lifter Café at 1901 Ocean Avenue and Java on Ocean at 1700 Ocean Avenue, approximately .65

miles away. South of I-280, Tasty Coffee at 1818 San Jose Avenue is an independently owned limited restaurant café approximately ½ mile away. Approximately ¾ mile east on Monterey Boulevard, independently owned Cup limited restaurant coffee shop is located outside the district at 6 Monterey Boulevard. In the Glen Park neighborhood commercial area, one independent limited restaurant coffee shop/café, Bello Coffee at 2885 Diamond Street is located approximately .9 miles away; in that same neighborhood commercial area, inside the Canyon Market at 2815 Diamond Street, the store operates its own coffee kiosk.

Under existing legislation, the current proposal does not represent an over-concentration of formula retail within the subject NC-1 district, as the only formula retail is the proposed continuation of Safeway and introduction of Starbucks. Under pending legislative changes for Formula Retail uses, a land use category that had not previously been considered under formula retail controls, "Business and Professional Services", will henceforth be evaluated under the new legislation. In this NC-1 district, two existing commercial uses, State Farm Insurance and Edward Jones Investments, would add additional formula retail uses to the district in the business and professional services land use category. Thus, four (three principal and one accessory) Formula Retail uses out of 35 commercial establishments (11%) would not be considered an over-concentration. As shown, there is also not an overabundance of grocery or limited restaurant coffee shop uses.

2. The availability of other similar retail uses within the Neighborhood Commercial Cluster (NC-1) district.

There are no other general grocery retailers in the district. There are two small neighborhood convenience stores, Kwik and Convenient at 600 Monterey Boulevard within the subject NC-1 district, and Monterey Deli at 499 Monterey Boulevard, outside the zoning district but .2 miles away from the site. These stores do not provide the full array of grocery commodity and non-commodity goods.

No pharmacies are located in this NC-1 district. The nearest pharmacy options are formula retailers such as Walgreen's and CVS, the nearest located approximately .65 miles away in the Ocean Avenue neighborhood commercial district (Walgreens and CVS), .9 miles away on Portola Drive (Walgreens and CVS), and 1 mile away (pharmacy inside a Safeway at 4950 Mission Street).

Within the subject NC-1 district, there is one coffee shop/café that provides the full convivial function with seating, Railroad Espresso at 705 Monterey Boulevard.

3. The compatibility of the proposed formula retail use with the existing architectural and aesthetic character of the Neighborhood Commercial Cluster (NC-1) district.

This building's design is compatible with the commercial district's scale, height and setback. The architectural character of the District is varied. There are examples of traditional commercial storefront design, and the project calls out that architectural detailing, specifically through the bulkhead and pilaster storefront system, with glazing setback from the façade. The store entry is

defined through distinct use of material and an awning further identifies its location. Where feasible, transparent glazing is provided for view into the active commercial use and transparent glazing is utilized at the circulation component that safely connects pedestrians from the rooftop parking into the store level. The linear façade is architecturally broken into discrete segments, and is reinforced by selection of different materials or emphasis on specific elements at these discrete segments.

4. The existing retail vacancy rates within the Neighborhood Commercial Cluster (NC-1) district.

There is currently 1 vacancy, out of 35 commercial spaces, amounting to a nominal 2% vacancy rate. Because the project is expanding an existing long-standing formula retail grocery store use, no non-formula retail establishments are being replaced. The Starbucks kiosk is an accessory formula retail use that will not displace an existing retailer.

5. The existing mix of Citywide-serving retail uses and neighborhood-serving retail uses within the Neighborhood Commercial Cluster (NC-1) district.

The district was originally designed to be and functions as a small neighborhood commercial area. Surrounding uses include eating and drinking establishments, personal services such as salons, dentist and yoga studio; business and professional services, such as real estate offices, insurance agents; convenience stores; and an auto service station. Most establishments cater to the immediate neighborhoods surrounding the district.

13. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposed development seeks to retain a business which provides desirable, daily-need serving goods and services to the surrounding neighborhoods. Further, the Project Site is located within a Neighborhood Commercial District and is thus consistent with activities in the commercial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The Project will retain and continue a neighborhood-serving business offering groceries and necessary household products.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

The Project will retain a neighborhood-serving retail grocery store use, and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood. This building's design is compatible with the commercial district's scale, height and setback. The proposal includes continuous commercial frontage at the street level, designed as discrete elements to reflect the smaller commercial storefronts and residential buildings common in the District, and active uses are provided at street frontage, where feasible. Adequate off-street parking and loading spaces have been provided.

14. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposed development seeks to retain a business which provides desirable, daily-need serving goods and services to the surrounding neighborhoods. The enlargement of the store will result in an increase of employment opportunities for the overall community. Due to its location in an existing

neighborhood commercial district, the enhancement of the Safeway store could generate more customers, which could provide more business for the surrounding commercial establishments.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No existing housing will be removed as part of the Project. The proposal expands within footprint of the existing store and adjacent surface parking lot. The architectural character and landscaping of the store is intended to be in context of the surrounding structures on Monterey Boulevard and seeks to respect the adjacent residences. Signage and lighting has been carefully designed to consider the proximity of the store to adjacent homes and retail businesses.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing will be removed for this Project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Major Environmental Analysis group in the Planning Department has considered effects of this expansion on commuter traffic and MUNI service on Monterey Boulevard, especially at peak times. Adequate off-street parking and loading spaces have been provided on-site. Conditions for truck delivery routes, traffic calming and queue abatement are included as conditions of approval.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The renovation of the Safeway building includes the seismic upgrading of portions of the existing structure to remain. The expansion will be built to current seismic Building Codes. Additionally, the renovated structure will contain all necessary life safety alert devices, including fire alarm annunciators and visual strobes for the hearing impaired. Bringing the existing building up to all current codes provides customers with the best possible environment during an earthquake event.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the Project site.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative impact on existing parks and open spaces. The Project does not have an impact on open spaces.

15. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

16. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2010.0401C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated November 26, 2014, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on December 11, 2014.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: December 11, 2014

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow lot merger for lot size in excess of 4,999 sf, to allow non-residential use greater than 2,999 sf, to allow hours of operation beyond 11 p.m., to allow expansion of existing formula retail general grocery use(d.b.a. Safeway), to allow establishment of formula retail use (d.b.a. Starbucks), and to approve a Planned Unit Development with the requested modifications of the Planning Code regulations regarding rear yard, and street frontage including parking setback, and parking and loading entrances, for the expansion of an existing Safeway located at 625 Monterey Boulevard, Block 3115, Lots 054 and 043, pursuant to Planning Code Section(s) **303, 710.11, 710.21, 710.27, 703.4 and 304** within the **NC-1 (Neighborhood Commercial Cluster)** District and a **32-X** Height and Bulk District; in general conformance with plans, dated November 26, 2014, and stamped "EXHIBIT B" included in the docket for Case No. **2010.0401C** and subject to conditions of approval reviewed and approved by the Commission on **December 11, 2014** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **December 11, 2014** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

PERFORMANCE

Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Diligent pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Conditions of Approval, Compliance, Monitoring, and Reporting

1. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code

Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

3. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

4. **Final Design.** The Project Sponsor shall continue to work with Planning Department on the building design. A matching lightwell shall be provided at the eastern elevation adjacent to the three-story residential building with existing lightwell. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

5. **Lighting Plan.** The Project Sponsor shall submit an exterior lighting plan to the Planning Department prior to Planning Department approval of the building / site permit application.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

6. **Noise.** Plans submitted with the building permit application for the approved project shall incorporate acoustical insulation and other sound proofing measures to control noise.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

7. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other

standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

8. **Streetscape Plan.** Pursuant to Planning Code Section 138.1, the Project Sponsor shall continue to work with Planning Department staff, in consultation with other City agencies, to refine the design and programming of the Streetscape Plan so that the plan generally meets the standards of the Better Streets Plan and all applicable City standards. The Project Sponsor shall complete final design of all required street improvements, including procurement of relevant City permits, prior to issuance of first architectural addenda, and shall complete construction of all required street improvements prior to issuance of first temporary certificate of occupancy.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

9. **Street Trees.** Pursuant to Planning Code Section 138.1 (formerly 143), the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works (DPW). In any case in which DPW cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of such tree on the lot itself is also impractical, the requirements of this Section 428 may be modified or waived by the Zoning Administrator to the extent necessary.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

10. **Landscaping, Screening of Parking and Vehicular Use Areas.** Pursuant to Planning Code Section 142, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating the screening of parking and vehicle use areas not within a building. The design and location of the screening and design of any fencing shall be as approved by the Planning Department. The size and species of plant materials shall be as approved by the Department of Public Works. Landscaping shall be maintained and replaced as necessary.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

11. **Odor Control Unit.** In order to ensure any significant noxious or offensive odors are prevented from escaping the premises once the project is operational, the building permit application to implement the project shall include air cleaning, venting or odor control equipment details and manufacturer specifications on the plans. Odor control ducting shall not be applied to the primary façade of the building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

12. **Transformer Vault.** The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Planning Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:
- a. On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
 - b. On-site, in a driveway, underground;
 - c. On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;
 - d. Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding effects on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
 - e. Public right-of-way, underground; and based on Better Streets Plan guidelines;
 - f. Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
 - g. On-site, in a ground floor façade (the least desirable location).

Unless otherwise specified by the Planning Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

PARKING AND TRAFFIC

13. **Car Share.** Pursuant to Planning Code Section 166, no fewer than **one (1)** car share space shall be made available, at no cost, to a certified car share organization for the purposes of providing car share services for its service subscribers.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

14. **Bicycle Parking.** Pursuant to Planning Code Sections 155.1 and 155.4., the Project shall provide no fewer than **4** (four) Class 1 or **9** (nine) Class 2 bicycle parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

15. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

16. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

17. **Transit Impact Development Fee.** Pursuant to Planning Code Section 411, the Project Sponsor shall pay the Transit Impact Development Fee (TIDF) as required by and based on drawings submitted with the Building Permit Application. Prior to the issuance of a temporary certificate of occupancy, the Project Sponsor shall provide the Planning Director with certification that the fee has been paid.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

OPERATION

18. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>

19. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

20. **Odor Control.** While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.

For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), www.baaqmd.gov and Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

21. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.
For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org
For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org
For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, www.sf-police.org
22. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
23. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, including at the rooftop parking area, but shall in no case be directed so as to constitute a nuisance to any surrounding property.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
24. **Hours of Operation.** The subject establishment is limited to the following hours of operation: 6 a.m. –2 a.m. daily.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
25. **Lighting and Security Measures.** The subject establishment shall enact lighting and safety measures at street level and at the rooftop parking area at late night hours as may reasonably be necessary for the safety of customers.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Additional Conditions of Approval

1. **Monterey Boulevard Delivery Route Trial and Gennessee Street Delivery Route Contingency Plan.** Delivery routes for Safeway's 18-wheel trucks traveling from southbound Interstate 280 to Safeway Store #0759 have been explored. Two routes have been identified as potentially feasible: one along westbound Monterey Boulevard ("Monterey Boulevard Delivery Route"), and the other along northbound Gennessee Street and eastbound Monterey Boulevard ("Gennessee Street Delivery Route"). The Monterey Boulevard Delivery Route includes access to the store's off-street loading dock via westbound Monterey Boulevard directly from Interstate 280. Trucks that approach from westbound Monterey Boulevard would perform a "swoop" maneuver into eastbound Monterey Boulevard traffic lanes in order to back into the off-street loading dock on the site. To ensure that this delivery route would result in minimal effects on local circulation, a six month trial testing this delivery route shall be undertaken as described below under "Monterey Boulevard Delivery Route Trial". This condition of approval is required for all 18-wheel delivery trucks whose destination is Safeway Store #0759 located at 625 Monterey Boulevard.

Implementation of either delivery route shall require improvements to the existing roadway (see Site Plans, Exhibit B). The Monterey Boulevard central median currently separates eastbound and westbound traffic on Monterey Boulevard, with two travel lanes on each side. Between Gennessee and Foerster Streets, there are two gaps in the median that divide it into three segments. The two existing median gaps (western and eastern) correspond with two of the three existing driveways that currently provide vehicle access to the project site. The improvements generally involve the narrowing and closing of the existing Monterey Boulevard central median gaps and the construction of curb extensions at the intersection of Monterey Boulevard and Foerster Street. These improvements are further described on in the Streetscape Improvements findings section.

The parameters of the trial are as follows: To minimize the potential disruptions to intersection operations and safety, Safeway shall schedule deliveries using 18-wheel trucks to Safeway Store #0759 to arrive and depart during the hours of 10am to 3pm, and 7pm to 2am on the Monterey Boulevard Delivery Route.

The trial shall include the closure of the eastern median gap with a median island that is mountable by 18-wheel trucks (see Site Plans, Exhibit B). The median island shall be raised and differentiated from the roadway with paving materials. Repairs to the mountable median section shall be the responsibility of Safeway.

The 18-wheel trucks, estimated at up to four trucks per day, would access the proposed off-street loading dock of Safeway Store #0759 from westbound Monterey Boulevard. Trucks that approach from westbound Monterey Boulevard would perform a "swoop" maneuver into eastbound Monterey Boulevard traffic lanes in order to back into the off-street loading dock on the site. A loading dock manager shall assist trucks to maneuver into the loading dock.

The deliveries along this route shall commence two months prior to the opening of the remodeled store and construction of the traffic calming improvements, and will continue for six months. During the trial period, the Planning Director/Zoning Administrator, or his or her designee, shall collect input from the public and project sponsor (i.e., nearby residents, Safeway management, SFMTA staff and other interested parties such as the Sunnyside Neighborhood Association). If the Planning Director/Zoning Administrator, or his or her designee, concludes that the trial has been successful, the Monterey Boulevard Delivery Route shall be made the permanent delivery route for 18-wheel delivery trucks to Safeway Store #0759 at 625 Monterey Boulevard.

If the Planning Director/Zoning Administrator, or his or her designee, concludes that the Monterey Boulevard Delivery Route creates hazardous conditions or is not operationally successful, the trial shall be terminated and the Department shall notify the project sponsor in writing that the trial has failed. Upon request, the project sponsor shall hire a qualified transportation consultant to evaluate the loading conditions at the site for no less than seven days. The consultant shall prepare a loading conditions monitoring report to be submitted to the Department for review. If the Department determines that a hazardous loading condition does exist, the project sponsor shall have 90 days from the date of the written determination to implement the loading contingency plan, as follows. The trial may be terminated before the conclusion of the six-month period.

Genessee Street Delivery Route Contingency Plan. The loading contingency plan shall include the change in delivery route for 18-wheel trucks from the Monterey Boulevard Delivery Route to the Genessee Street Delivery Route. The Genessee Street Delivery Route involves access to the store's off-street loading dock via eastbound Monterey Boulevard. As such, all 18-wheel trucks bound for delivery at Safeway Store #0759 would access eastbound Monterey Boulevard via northbound Phelan Avenue, eastbound Judson Avenue and northbound Genessee Street. Deliveries using 18-wheel trucks shall occur on the Genessee Street Delivery Route only between the hours of 9am to 9pm.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

- 2. Queue Abatement Condition Of Approval.** Vehicles queues in the public right-of-way create a nuisance and a potentially hazardous condition for pedestrians, bicyclists, transit, and other motorists. Vehicle queues can be created by one or more factors. The most common queuing factor is locations where unconstrained parking demand exceeds the supply of a facility, and vehicles must queue as they wait for a space to become available. The queue may spill back across the sidewalk and/or into the street. This phenomenon is observed at several supermarkets and other retail locations in the city. Queues can also form if cars are not able to cross the sidewalk, due to high pedestrian volumes. Vehicles unable to enter the parking facility can form a queue that blocks the travel lane. Vehicles unable to exit a parking facility can form a queue that spills back inside the facility. Queues inside a parking facility generally would not be a concern of the Planning Department (unless the queue was to spill out into the sidewalk or street). The following condition of approval would be required for any new off-street parking facility with more than 20 parking spaces (excluding loading and car-share spaces).

It shall be the responsibility of the owner/operator of any off-street parking facility with more than 20 parking spaces (excluding loading and car-share spaces) to ensure that recurring vehicle queues do not occur on the public right-of-way. A vehicle queue is defined as one or more vehicles (destined to the parking facility) blocking any portion of any public street, alley or sidewalk for a consecutive period of three minutes or longer on a daily or weekly basis.

If a recurring queue occurs, the owner/operator of the parking facility shall employ abatement methods as needed to abate the queue. Appropriate abatement methods will vary depending on the characteristics and causes of the recurring queue, as well as the characteristics of the parking facility, the street(s) to which the facility connects, and the associated land uses (if applicable).

Suggested abatement methods include but are not limited to the following: redesign of facility to improve vehicle circulation and/or on-site queue capacity; employment of parking attendants; installation of LOT FULL signs with active management by parking attendants; use of valet parking or other space-efficient parking techniques; use of off-site parking facilities or shared parking with nearby uses; use of parking occupancy sensors and signage directing drivers to available spaces; travel demand management strategies such as additional bicycle parking, customer shuttles, delivery services; and/or parking demand management strategies such as parking time limits, paid parking, time-of-day parking surcharge, or validated parking.

If the Planning Director, or his or her designee, suspects that a recurring queue is present, the Department shall notify the property owner in writing. Upon request, the owner/operator shall hire a qualified transportation consultant to evaluate the conditions at the site for no less than seven days. The consultant shall prepare a monitoring report to be submitted to the Department for review. If the Department determines that a recurring queue does exist, the facility owner/operator shall have 90 days from the date of the written determination to abate the queue.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination Exemption from Environmental Review

Case No.: 2010.0401E
 Project Title: 625 Monterey Boulevard, Safeway Store #0759
 Zoning: NC-1 (Neighborhood Commercial Cluster District)
 32-X Height and Bulk District
 Block/Lot: 3115/043 and 054
 Lot Size: 17,238 square feet (Lot 043) and 17,839 square feet (Lot 054), for a total
 of 35,077 square feet
 Project Sponsor: Natalie Mattei, Safeway, Inc.
 (925) 467-3063
 Staff Contact: Andrea Contreras – (415) 575-9044
 andrea.contreras@sfgov.org

1650 Mission St.
 Suite 400
 San Francisco,
 CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
 Information:
415.558.6377

PROJECT DESCRIPTION:

The project site is located along the south side of Monterey Boulevard in the Outer Mission neighborhood of San Francisco, on a portion of the block bounded by Monterey Boulevard to the north, Foerster Street to the east, Hearst Avenue to the south, and Genessee Street to the west. The project sponsor proposes to merge Lots 042 and 054 in order to seismically upgrade and expand the existing grocery store on Monterey Boulevard from approximately 21,000 square feet (sf) to 39,000 sf for a net addition of 18,000 sf

[Continued on next page.]

EXEMPT STATUS:

Categorical Exemption, Class 32 [State CEQA Guidelines Section 15332]

REMARKS:

See next page.

DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.



Sarah Jones
 Environmental Review Officer

September 27, 2013
 Date

cc: Natalie Mattei, Project Sponsor
 Jessica Look, Current Planner
 Virna Byrd, M.D.F.

Supervisor Norman Yee, District 7 (via Clerk of the Board)
 Distribution List

PROJECT DESCRIPTION (continued):

The expanded ground floor would include 33,817 sf of retail use. The project would include a new 6,905 sf basement for storage, food preparation, and administrative uses. There are currently two parking lots on the project site, an existing surface parking lot on the eastern half of the site providing 35 parking spaces and an existing rooftop parking lot on the western half of the site providing 27 parking spaces above the existing Safeway store. There are three existing driveways along the project site's northern perimeter that allow vehicular and delivery truck access to the store's parking lots from Monterey Boulevard. Two of the driveways allow access to the surface parking lot, and one driveway allows access to the rooftop parking lot. The proposed project includes the removal of the existing surface parking lot and expansion of the rooftop parking structure. Rooftop parking would be accessible from the driveway at the western end of the project site. The proposed rooftop parking lot would accommodate up to 92 off-street vehicular parking spaces.

Currently, the store's loading dock is located along the southern perimeter of the project site. At present, delivery trucks delivery access the loading dock by using the middle driveway to drive across the surface parking lot. The store expansion would include closure of the existing loading dock and middle driveway and construction of a new delivery truck loading dock accessible at ground level by the driveway at the eastern edge of the site. The southern side of Monterey Boulevard between the western and eastern driveways are proposed to be converted from on-street parking to a yellow curb commercial loading zone to facilitate loading of multiple delivery trucks.

Delivery Route Trial and Contingency Plan:

Delivery routes for Safeway's 18-wheel trucks traveling from southbound Interstate 280 to Safeway Store #0759 have been explored and two routes have been identified as potentially feasible. One route directs trucks to access the Safeway store from westbound Monterey Boulevard ("Monterey Boulevard Delivery Route"), and the other route directs trucks to access the store from eastbound Monterey, requiring travel along northbound Genessee Street ("Genessee Street Delivery Route"). To ensure that the Monterey Boulevard Delivery Route would result in minimal effects on local circulation, a six-month trial testing this delivery route would be undertaken as described on page 5, under "Loading." If the Planning Director/Zoning Administrator, or his or her designee, concludes that the Monterey Boulevard Delivery Route trial creates hazardous conditions or is not operationally successful, the loading contingency plan ("Genessee Street Delivery Route") would be implemented.

Traffic Calming Improvements

The project includes an outdoor seating component, a new sidewalk, and new street trees along the edge of the site as required under the Better Streets Plan. Curb extensions at the corners of Monterey Boulevard and Foerster Street, and central median improvements along Monterey Boulevard are recommended and described further on page 7 in "Traffic".

The project site is located within a Neighborhood Commercial Cluster (NC-1) Zoning District and a 32-X Height and Bulk district. The project sponsor also proposes to expand the current store operating hours from 18 hours per day (6:00 a.m. to 12:00 a.m.) to 24 hours.

APPROVAL ACTION

Pursuant to Section 31.04 of the San Francisco Administrative Code, the first project approval relying on this exemption by a City decision-making body at a noticed public hearing would be the approval of a conditional use authorization by the San Francisco Planning Commission.

REMARKS (continued):

California Environmental Quality Act (CEQA) State Guidelines Section 15332, or Class 32, provides an exemption from environmental review for in-fill development projects which meet the following conditions:

- a) *The project is consistent with applicable general plan designations and policies as well as with applicable zoning designations.*

The project would require Conditional Use authorization and variances from the Planning Code. The project would require Conditional Use authorization for lot development of over 4,999 sf per Planning Code Section 710.11, for commercial use greater than 5,000 sf per Section 710.21, for hours of operation after 11:00 p.m per Section 710.27, and for Formula Retail Use per Section 703.3. Variances would be required from Planning Code Sections 710.12 and 134 for rear yard requirement; Sections 145.1(c)(1),(2), and(6) for above-grade parking setback, parking and loading entrances, and transparency and fenestration of street frontage; Section 155.4(e) for bicycle parking spaces; Section 156 for parking lot requirements; Section 166 for car-sharing requirements; and Section 155.4(e) for bicycle parking requirements. The project as proposed would also need a variance from Section 204.5 for parking and loading as accessory uses. However, all Conditional Use authorizations and variances are allowable with decision-maker approval under the Planning Code.

The proposed project would be consistent with the *San Francisco General Plan* and with applicable zoning designations. The site is located within a Neighborhood Commercial District (NC-1) where commercial uses are permitted. The project is consistent with the objectives and policies of the General Plan and with the zoning, and height and bulk districts in which it is located.

- b) *The development occurs within city limits on a site of less than five acres surrounded by urban uses.*

The 0.80-acre (35,077 sf.) project site is located within a fully developed area of San Francisco. The surrounding area is fully developed with residential, commercial, and retail uses. The proposed project, therefore, would be properly characterized as in-fill development completely surrounded by urban uses.

- c) *The project site has no habitat for endangered, rare or threatened species.*

The project site is located within a densely developed urban area; with mostly impervious surface coverage with no sensitive vegetation, and that does not provide habitat for endangered, rare, or threatened species. The project site is currently developed as a retail grocery store. There are currently

eleven street trees adjacent to the project site and five trees located in the at-grade parking lot along the eastern property line. The project would involve removal of three sidewalk trees and all five on-site trees.

If the Monterey Boulevard Delivery Route is implemented, three trees planted in the median north of the off-street loading dock driveway would also be removed. The trees proposed for removal are not sensitive species and do not provide habitat for endangered, rare or threatened species.

- d) *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.*

Traffic:

The project site is located on the south side of Monterey Boulevard on the block bounded by Monterey Boulevard to the north, Foerster Street to the east, Hearst Avenue to the south, and Genessee Street to the west. The proposed project would expand the commercial use on site by approximately 18,000 sf, from approximately 21,000 sf to approximately 39,000 sf, and would extend operating hours from 18 hours to 24 hours per day.

To illustrate existing traffic conditions, Sunday and weekday peak hour (4:30 PM to 5:30 PM and 4:00 PM to 6:00 PM, respectively) traffic models were developed for the length of Monterey Boulevard from Genessee Street to Foerster Street including the Safeway driveways. Vehicle counts were collected at Safeway's driveways to determine the trip generation specific to the store on Monterey Boulevard. In order not to overestimate the number of new vehicle trips associated with the proposed expansion, trip generation rates were derived for the Monterey Boulevard Safeway using the driveway counts and the existing store's gross square footage. The existing Safeway store generates approximately 288 vehicle trips on Sunday during the peak hour, and approximately 302 vehicle trips on the weekday during the peak hour.¹

Increases in trips generated by the proposed project were projected based on the driveway vehicle counts collected at the existing on-site driveways to determine trip generation specific to the project site. The proportional growth in trips with the proposed development was added to the counts collected at the existing Safeway store driveways to develop the total vehicular volumes with the store expansion. The following net new peak hour traffic vehicle trips were identified: Sunday peak hour: 237 vehicle trips; weekday peak hour: 247 vehicle trips. Pass-by vehicle trips (trips attracted to the project site as an interim stop on the way to an ultimate destination which change travel patterns but do not add new vehicle trips) have been estimated to account for approximately 36 percent of these new trips, although the pass-by trip percentage can range between nine and 57 percent. Upon construction, the proposed Safeway store would attract up to 525 vehicle trips in the Sunday peak hour and 549 vehicle trips in the weekday peak hour. Vehicles would access the project site via one consolidated customer driveway located at the

¹ Eric Wolmeldorff, Fehr & Peers, *Proposed Monterey Boulevard Safeway*, February 9, 2011. This document is available for public review as part of Case No. 2010.0401E at 1650 Mission Street, Suite 400, San Francisco Planning Department, CA, 94103.

western end of the project site off Monterey Boulevard. Based on knowledge of existing travel patterns and the results of traffic counts conducted for the site, vehicle trip distribution related to arrival at the store is approximately 50 percent traveling from the east and 50 percent from the west. Ten percent of trips related to store departures travel to the west through the intersection of Monterey Boulevard and Genessee Street, and 90 percent of store departure trips travel to the east through the intersection of Monterey Boulevard and Foerster Street.

Trips generated by the proposed store expansion were added to the roadway network to see how new customer trips would affect local traffic circulation. The level of service (LOS) at the adjacent intersections, Monterey Boulevard/Genessee Street and Monterey Boulevard/Foerster Street remained at satisfactory levels (LOS A and B, respectively), indicating that the project would not result in significant impacts related to traffic delay.

While the traffic analysis showed that queuing may occasionally occur on westbound Monterey Boulevard of up to three to four vehicles turning into the store parking lot with project development, this queue would not extend into the adjacent intersection. The project sponsor would be required to ensure that recurring vehicle queues of three minutes or longer on a daily or weekly basis do not occur on the public right-of-way as a condition of approval, imposed on all projects with parking lots for more than 20 vehicles. If a recurring queue of this length occurs, the owner/operator of the parking facility would be required to employ abatement methods as needed to reduce the queue. Appropriate abatement methods would vary depending on the characteristics and causes of the recurring queue, as well as the characteristics of the parking facility, and the street to which the parking facility connects.

Loading:

In addition to the project's vehicle circulation, truck delivery access was also evaluated. The project sponsor indicated that store deliveries would access Safeway Store #0759 via southbound Interstate 280. Currently, the store has up to 20 smaller deliveries over the morning hours from approximately 7 a.m. to 10 a.m. each day and up to four large deliveries throughout the day. A "small" delivery is characterized by a large bread truck or other similar vendor, about the size of a UPS delivery truck. A large delivery is characterized by an 18-wheel semi-truck with trailer. The project sponsor has stated that there would be no change in the number of delivery trucks trips per day (i.e., no new additional trucks would make deliveries to the store). As described above, delivery routes for Safeway's 18-wheel trucks traveling from southbound Interstate 280 to Safeway Store #0759 have been explored and two routes have been identified as potentially feasible: the Monterey Boulevard Delivery Route and the Genessee Street Delivery Route.

Implementation of either delivery route would require traffic calming improvements, including the modification of the existing central median along Monterey Boulevard. The median separates eastbound and westbound traffic on Monterey Boulevard, with two travel lanes on each side. Between Genessee and Foerster Streets, there are two gaps in the median that divide it into three segments. The two existing median gaps (western and eastern) correspond with two of the three existing driveways that currently provide vehicular access to the project site.

Monterey Boulevard Delivery Route Trial:

The Monterey Boulevard Delivery Route would require trucks to approach Safeway Store #0759 using westbound Monterey Boulevard directly from Interstate 280. The trial would include the closure of the eastern gap in Monterey Boulevard's central median and the construction of a median island that is mountable by 18-wheel trucks. The median island would be raised and differentiated from the roadway with paving materials. Trucks that approach from westbound Monterey Boulevard would perform a "swoop" maneuver into eastbound Monterey Boulevard traffic lanes in order to back into the off-street loading dock on the site. To minimize the potential disruptions to Monterey/Foerster intersection operations and safety, Safeway would schedule 18-wheel trucks to only arrive and depart during the hours of 10 AM to 3 PM, and 7 PM to 2 AM. An attendant at the loading dock would also be present to assist trucks maneuvering into the loading dock.

This trial period would commence two months prior to the opening of the remodeled store, and would continue for six months. During the trial period, the Planning Director/Zoning Administrator, or his or her designee, would collect input from the public and project sponsor (i.e., nearby residents, Safeway management, SFMTA staff and other interested parties).

If the Planning Director/Zoning Administrator, or his or her designee, concludes that the trial has been successful, the Monterey Boulevard Delivery Route would be made the permanent delivery route for 18-wheel delivery trucks to Safeway Store #0759 at 625 Monterey Boulevard.

If the Planning Director/Zoning Administrator, or his or her designee, concludes that the Monterey Boulevard Street Delivery Route trial creates hazardous conditions or is not operationally successful, the trial would be terminated and the Department would notify the project sponsor in writing that the trial has failed. Upon request, the project sponsor would hire a qualified transportation consultant to evaluate the loading conditions at the site for no less than seven days. The consultant would prepare a loading conditions monitoring report to be submitted to the Department for review. If the Department determines that a hazardous loading condition does exist, the project sponsor would have 90 days from the date of the written determination to implement the Genessee Street Delivery Route loading contingency plan, as follows.

Genessee Street Delivery Route Loading Contingency Plan:

The delivery route for 18-wheel trucks would be changed from the Monterey Boulevard Delivery Route to the Genessee Street Delivery Route. In this case, trucks would access the proposed off-street loading dock from eastbound Monterey Boulevard instead of westbound Monterey Boulevard. The Genessee Street Delivery Route would include access to the store's off-street loading dock via eastbound Monterey Boulevard. As such, all 18-wheel trucks bound for delivery at Safeway Store #0759 would access eastbound Monterey Boulevard via northbound Phelan Avenue, eastbound Judson Avenue and northbound Genessee Street. Deliveries using 18-wheel trucks would occur on the Genessee Street Delivery Route only between the hours of 9 AM and 9 PM.

Given the ability of the local roadway to absorb new customer trips, the vehicular queue abatement requirements, and the loading trial and contingency plan, the proposed project would not result in any significant adverse transportation impacts. However, the following Traffic Calming Improvements are

recommended due to the existing and new vehicular trips, as well as pedestrian and transit trips generated by Safeway.

Traffic Calming Improvements

The project includes an outdoor seating component, a new sidewalk, and new street trees along the edge of the site as required under the Better Streets Plan. A curb extension (bulb-out) would be constructed at the southwest corner of Monterey Boulevard and Foerster Street, a bus bulb would be constructed at the southeast corner of the intersection at the existing Muni bus stop, and a second bus bulb would be constructed along the northern curb of Monterey Boulevard just west of Foerster Street at the existing Muni bus stop. This second bus bulb would be interrupted by the existing convenience store driveway that is located along the northern side of Monterey Boulevard just west of the intersection with Foerster Street, meaning that the driveway would run through the new bus bulb. The western gap along the Monterey Boulevard median, directly across from the Safeway Store #0759 rooftop parking lot driveway, would be narrowed from a width of approximately 80 feet to a width of approximately 50 to 60 feet. This new median segment addition would be landscaped.

These improvements, the median closure in front of the expanded Safeway store and three bulb-outs at the corner of Monterey and Foerster Streets, are recommended for traffic calming, pedestrian safety and neighborhood beautification purposes. Central medians are generally linear and continuous through a block and are used for traffic safety and calming purposes. The central median on Monterey Boulevard serves a circulation function. It separates a wide four-lane road into two narrower, slower two-lane roads which calms traffic thereby making the public right-of-way safer for all travel modes. The existing stretch of median along the block between Genessee and Foerster is currently interrupted because at the time of its construction, it was built to accommodate vehicle access to three Safeway driveways along the southern side of Monterey. Closing the eastern median gap and narrowing the western median gap by 20 to 30 feet would enhance this circulation function and allow for a proper median design. Narrowing the western median gap would guide westbound vehicles closer to the driveway as they turn left into the rooftop parking structure. The Better Streets Plan indicates that individual projects are to supplement or initiate streetscape improvements, including the traffic calming improvements described herein.

Due to the large number of vehicle trips that would access the store after construction and the increase in pedestrians, the City is also asking for pedestrian safety improvements (bulb-outs) at the adjacent intersection of Monterey Boulevard and Foerster Street. These bulb outs would shorten the distance and time it takes to cross Monterey Boulevard, make pedestrians waiting/beginning to cross more visible to drivers, and improve pedestrian's ability to see oncoming vehicles. The bulbs would also improve Muni buses' ability to load and unload passengers safely directly at the curb, and improve Muni buses' ability to pull back into traffic after unloading/loading passengers with minimal delay.

Overall, closing the gaps and landscaping the median would enhance the median's traffic calming and safety purpose as well as the visual quality of Monterey Boulevard. The bulbs would improve pedestrian conditions and transit operations. In combination, these improvements would improve the livability of the neighborhood.

Noise:

The project would intensify the commercial use on the project site and include new mechanical equipment, such as an emergency power generator, which would increase operational noise. A noise study was conducted to measure existing noise levels and to evaluate the project's potential for noise impacts under CEQA.² The following issues were assessed: delivery truck and vendor truck noise generation within the loading dock, at residences opposite the loading dock, and along Monterey Boulevard; parking lot noise levels; and mechanical equipment noise levels. The study found that the store expansion would not materially change the noise environment of the store and its vicinity, and would reduce delivery truck and vendor truck noise levels at the second floor residential unit located at the east end of the project site. Noise levels at the residential backyard bordering the southern side of the project site would be reduced compared to existing conditions due to the relocation of the on-site parking lot to an above grade level. With proposed removal of the on-site recycling center, noise from the recycling center would be eliminated. The Day Night Equivalent Level (Ldn) along Monterey Boulevard due to project-related traffic would be increased by less than one decibel. Loading dock noise would be controllable and would not raise the existing Day Night sound level. The residences facing the loading dock would experience an incremental increase in Ldn noise level of less than one decibel (1dB) due to project-related delivery trucks. Finally, mechanical equipment noise would be controlled and kept below levels resulting in substantial noise disturbance for neighbors due to selection of relatively quiet equipment, and sound barrier walls and enclosures. Construction noise would be temporary and controlled through applicable local noise ordinances and regulations. Therefore, the project would not result in significant noise impacts.

Air Quality:

In accordance with the state and federal Clean Air Acts, air pollutant standards are identified for the following six criteria air pollutants: ozone, carbon monoxide (CO), particulate matter (PM), nitrogen dioxide (NO₂), sulfur dioxide (SO₂) and lead. These air pollutants are termed criteria air pollutants because they are regulated by developing specific public health- and welfare-based criteria as the basis for setting permissible levels. The Bay Area Air Quality Management District (BAAQMD) has established thresholds of significance to determine if projects would violate an air quality standard, contribute substantially to an air quality violation, or result in a cumulatively considerable net increase in criteria air pollutants within the San Francisco Bay Area Air Basin. To assist lead agencies, the BAAQMD, in their *CEQA Air Quality Guidelines* (May 2011), has developed screening criteria. If all the screening criteria are met by a proposed project, then the lead agency or applicant does not need to perform a detailed air quality assessment of the project's air pollutant emissions and the proposed project would result in less-than-significant criteria air pollutant impacts. The proposed project would not exceed BAAQMND's criteria air pollutant screening levels for operation or construction.³

In addition to criteria air pollutants, individual projects may emit toxic air contaminants (TACs). TACs collectively refer to a diverse group of air pollutants that are capable of causing chronic (i.e., of long-duration) and acute (i.e., severe but of short-term) adverse effects to human health, including

² James T. Nelson, Ph.D., P.E., Wilson, Ihrig, and Associates, *Safeway Store #0759*, February 7, 2011. This document is available for public review as part of Case No. 2010.0401E at 1650 Mission Street, Suite 400, San Francisco Planning Department, CA, 94103.

³ Bay Area Air Quality Management District, *CEQA Air Quality Guidelines*, Updated May 2011. Table 3-1.

carcinogenic effects. In an effort to identify areas of San Francisco most adversely affected by sources of TACs, San Francisco partnered with the BAAQMD to inventory and assess air pollution and exposures from mobile, stationary, and area sources within San Francisco. Areas with poor air quality, termed "air pollution hot spots," were identified based on two health-protective criteria: (1) excess cancer risk from the contribution of emissions from all modeled sources greater than 100 per one million population, and (2) cumulative PM_{2.5} concentrations greater than 10 micrograms per cubic meter. Land use projects within these air pollution hot spots require special consideration to determine whether the project's activities would expose sensitive receptors to substantial air pollutant concentrations.

The proposed project is not located within an air pollution hot spot, nor would the proposed land use introduce new sensitive receptors into the project site. Therefore, the proposed project would result in a less-than-significant impact with respect to exposing sensitive receptors to substantial levels of air pollution. The proposed project would require construction activities. Although on-road heavy-duty diesel vehicles and off-road equipment may be required for part of the project's construction duration, emissions would be temporary and variable in nature and would not be expected to expose sensitive receptors to substantial air pollutants. Furthermore, the proposed project would be subject to, and comply with, California regulations limiting the idling of such equipment to no more than five minutes,⁴ which would further reduce nearby sensitive receptors' exposure to temporary and variable TAC emissions. Therefore, the project's construction period TAC emissions would result in a less than significant impact with respect to exposing sensitive receptors to substantial levels of air pollution.

In conclusion, the proposed project would not result in significant air quality impacts.

Water Quality:

The proposed project would not generate wastewater or result in discharges that would have the potential to degrade water quality or contaminate a public water supply. Project-related wastewater and storm water would flow to San Francisco's combined sewer system and would be treated to standards contained in San Francisco's National Pollutant Discharge Elimination System Permit for the Southeast Water Pollution Control Plant prior to discharge. Therefore, the proposed project would not result in significant water quality impacts.

- e) The site can be adequately served by all required utilities and public services.*

The project site is located in a dense urban area where all public services and facilities are available; no expansion of public services or utilities is anticipated.

Neighborhood Notification:

A "Notification of Project Receiving Environmental Review" was mailed on October 31, 2011 to owners and occupants of properties within 300 feet of the project site. Several members of the public gave comment regarding aspects of the proposed project including the project description and design, aesthetics, transportation and noise. Comments related to project description included: interest in proposed traffic calming improvements; rooftop parking access; the elimination of the at-grade parking

⁴ California Code of Regulations, Title 13, Division 3, Section 2485.

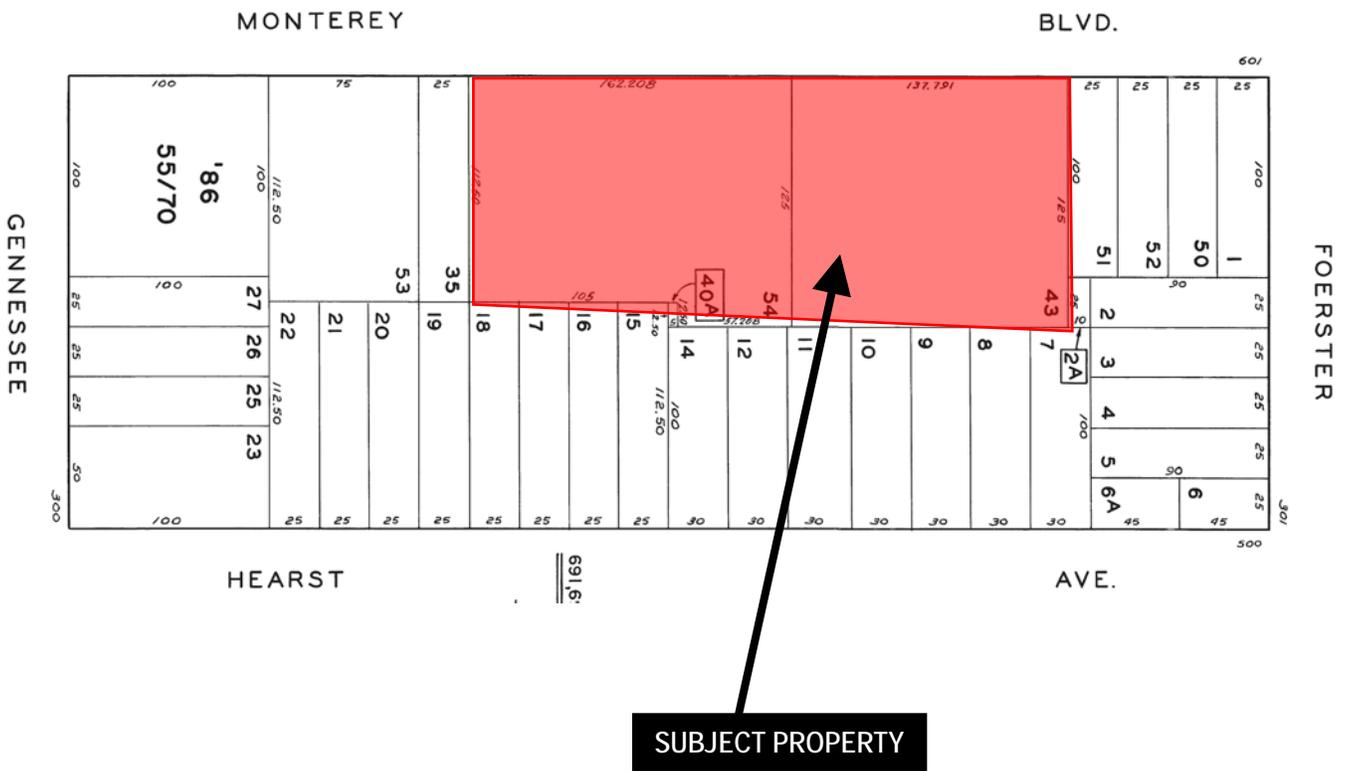
lot; the elimination of the existing on-site recycling center; and the landscaping of the proposed rooftop parking area. The comment related to aesthetics was regarding the size of the new Safeway store sign and illumination of new store signage. Noise-related comments included concern over noise resulting from the expansion of store square footage and operating hours; and concerns about noise-related disruptions due to project construction activity. Finally, transportation-related comments included: concerns about the potential removal of a section of the median on Monterey Boulevard; traffic resulting from expansion of store square footage and operating hours; pedestrian safety; the project-related loading effects on traffic circulation; concerns about transportation-related disruptions due to project construction activity; and the potential conflict of project-related traffic and loading vehicles with future bike lanes on Monterey Boulevard.

The project site is in an existing, dense urban environment and has traffic, noise, and lighting levels typical for such a location. With respect to aesthetics, the project would be subject to local regulations that control light and glare and would thus not result in lighting levels above what is permitted in an urban environment. A noise study addressing the project proposal is discussed under "Noise" on page 7, and construction noise would be subject to the Noise Ordinance, thus limiting its effects on the surrounding residences. Traffic and circulation effects of the project are discussed on pages 4-7. The project would not conflict with any existing or proposed bicycle routes on Monterey Boulevard, and traffic calming improvements, including bulb-outs at the corners of Monterey Boulevard and Foerster Street, would reduce pedestrian crossing distances adjacent to the project site, thereby making the vicinity safer for pedestrians. The project would not result in a substantial increase in lighting, noise, or traffic levels above current conditions. Comments related to the project description are not CEQA-related and do not raise substantial environmental issues, and therefore have not been addressed in this document. These comments are better directed toward decision makers.

Conclusion:

CEQA State Guidelines Section 15300.2 states that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. There are no unusual circumstances surrounding the current proposal that would suggest a reasonable possibility of a significant effect. The proposed project would have no significant environmental effects. The project would be exempt under the above-cited classification. For the above reasons, the proposed project is appropriately exempt from environmental review.

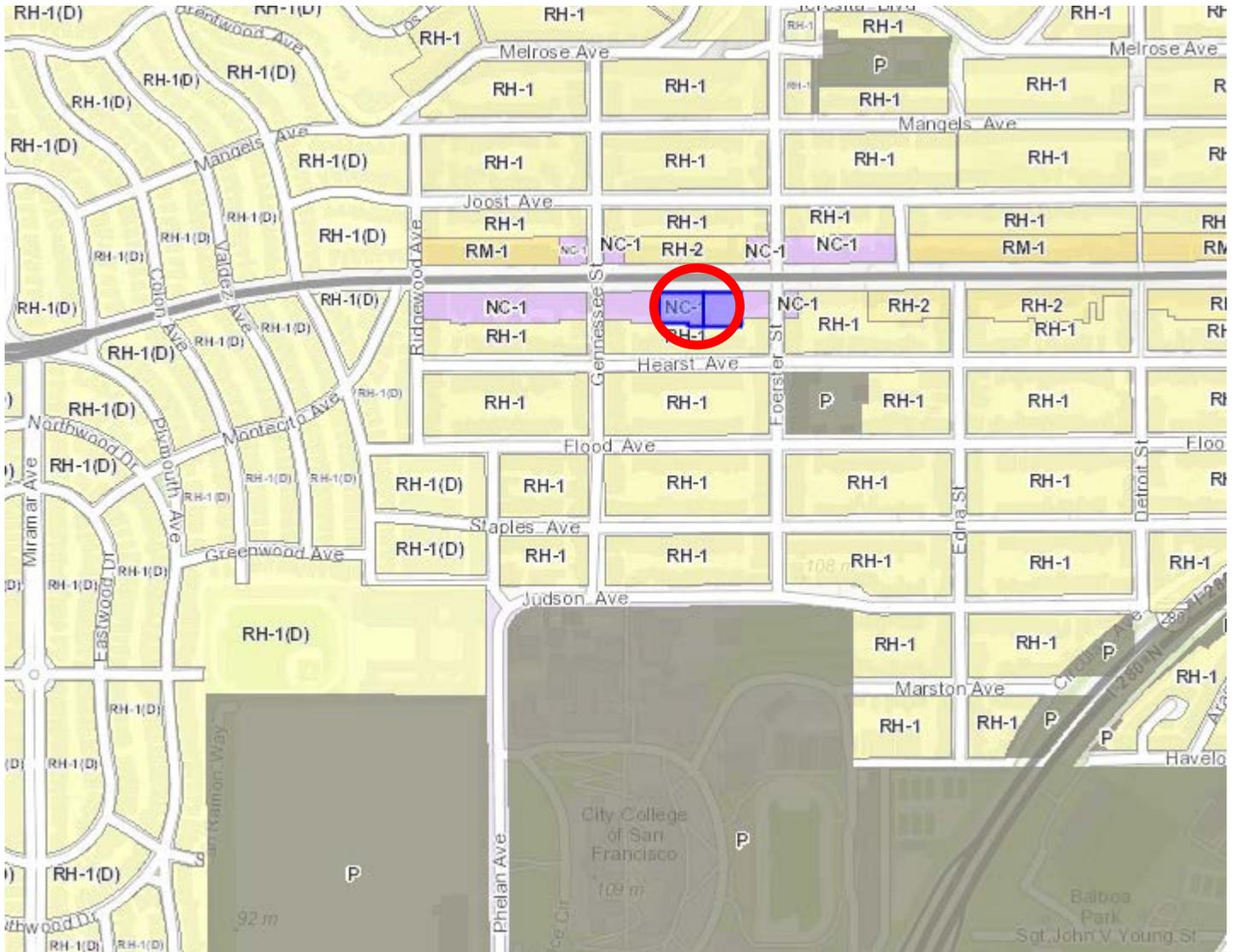
Parcel Map



Conditional Use Authorization Hearing
 Case Number 2010.0401C
 625 Monterey Boulevard

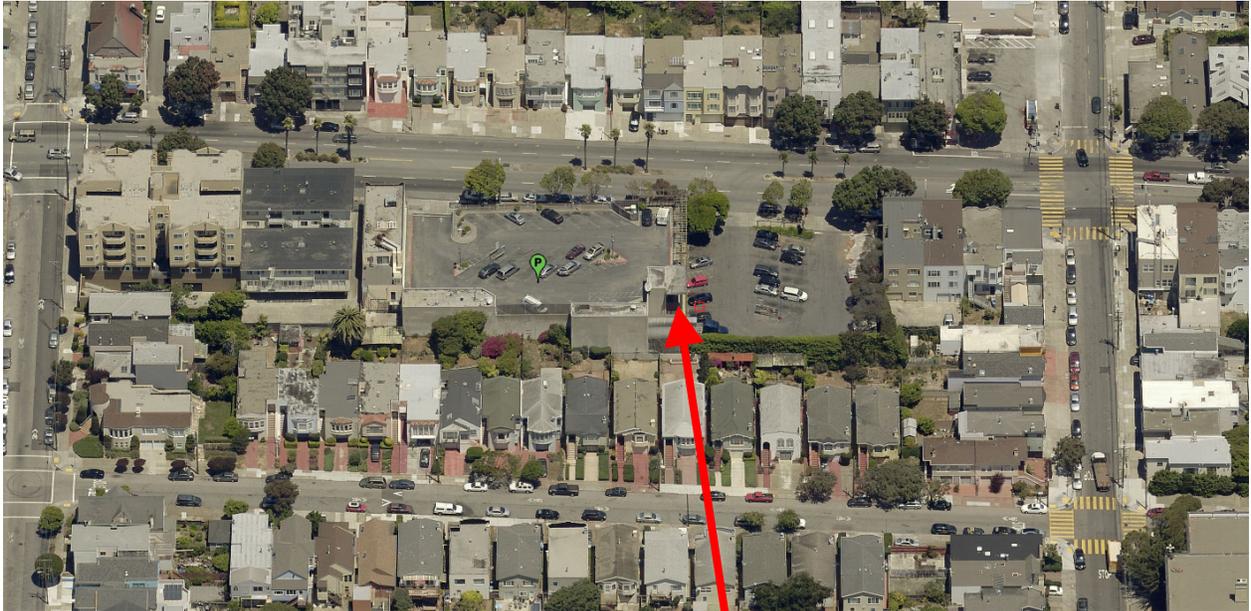


Zoning Map



Conditional Use Authorization Hearing
Case Number 2010.0401C
625 Monterey Boulevard

Aerial Photo

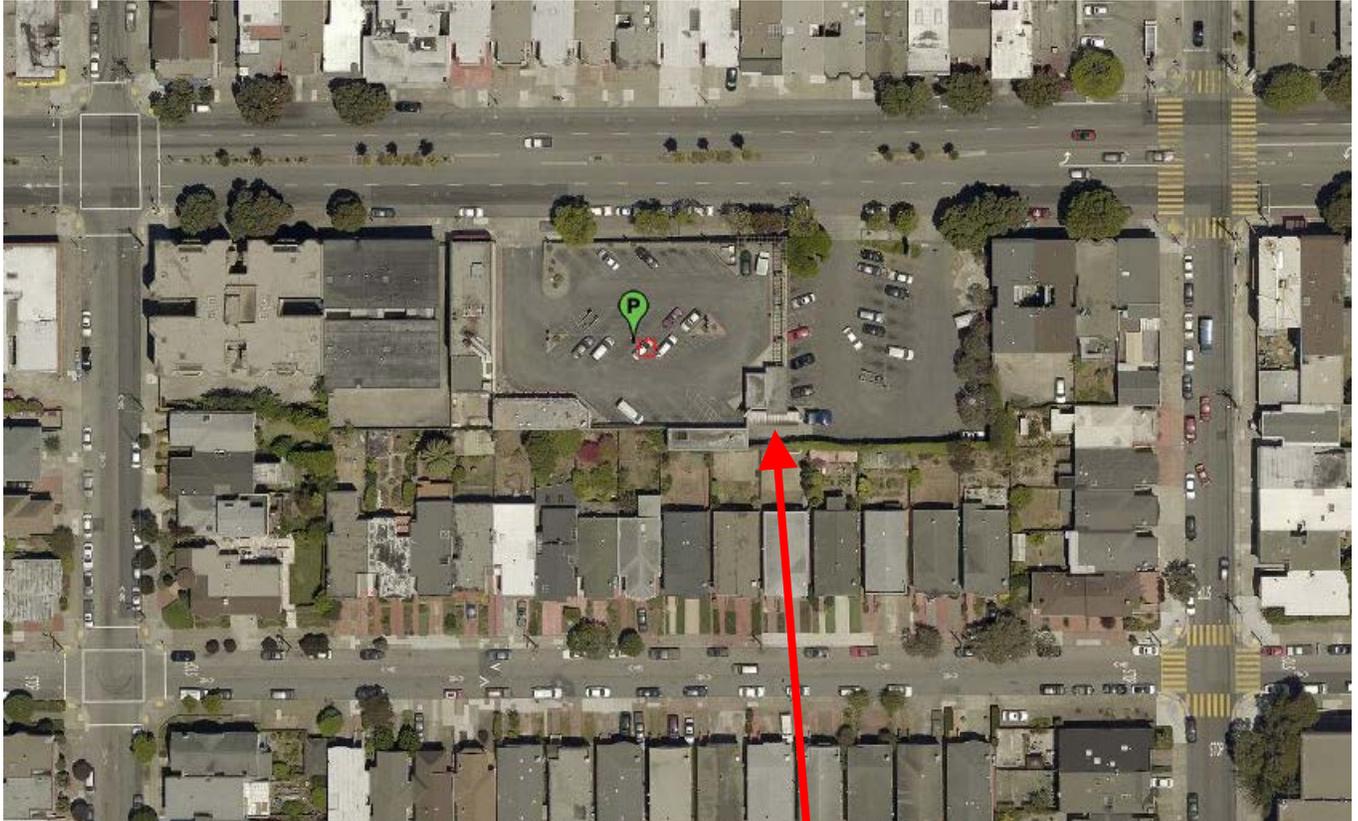


SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2010.0401C
625 Monterey Boulevard

Aerial Photo



SUBJECT PROPERTY

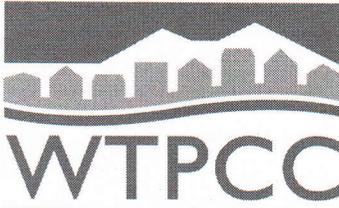


Conditional Use Authorization Hearing
Case Number 2010.0401C
625 Monterey Boulevard

Site Photo



Conditional Use Authorization Hearing
Case Number 2010.0401C
625 Monterey Boulevard



West of Twin Peaks Central Council

A Resource for Neighborhood Organizations West of Twin Peaks in San Francisco since 1936

PO Box 27112
San Francisco, CA 94127

<http://www.westoftwinpeaks.org/>

November 25, 2014

San Francisco Planning Commission
1650 Mission Street, #400
San Francisco, CA 94103

Re: Monterey Safeway, Case No. 2010.0401C

Dear Commissioners,

The West of Twin Peaks Central Council (WTPCC) is writing you in support of the Monterey Safeway, Case No. 2010.0401C, remodel plans. Safeway on Monterey Boulevard is located in Sunnyside, one of our member associations, and is also near several other associations. We have been kept informed of the project, we understand that Safeway has worked very closely with the community, and the Sunnyside Neighborhood Association is 100% supportive of the renovations and plans. Issues such as pedestrian and bicycle safety and traffic concerns have been successfully resolved. WTPCC feels the renovations will provide the surrounding neighborhood with a store that meets our residents' needs and esthetically fits with the surrounding area.

WTPCC, which was formed in 1936, represents the following neighborhood associations:

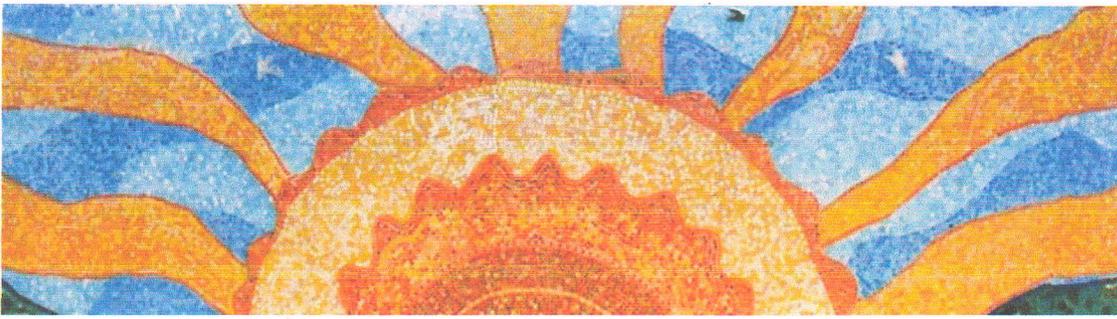
Balboa Terrace Homes Association
Forest Hill Association
Forest Knolls Association
Golden Gate Heights Neighborhood Association
Greater West Portal Neighborhood Association
Ingleside Terraces Homes Association
Lakeshore Acres Improvement Club
Lakeside Property Owners Association
Merced Manor Property Owners Association
Midtown Terrace Homeowners Association

Miraloma Park Improvement Club
Monterey Heights Homes Association
Mount Sutro Woods Owners Association
Pine Lake Park Neighborhood Association
Saint Francis Homes Association
Sherwood Forest Homeowners Association
Sunnyside Neighborhood Association
Twin Peaks Improvement Association
Westwood Highlands Homeowners Association
The Woods of San Francisco Homeowners Association

Thank you for your consideration. We look forward to the project being approved.

Yours truly,

Roger T. Ritter
President, West of Twin Peaks Central Council



Sunnyside Neighborhood Association
P.O. Box 27615
San Francisco, CA 94127

San Francisco Planning Commission
1650 Mission Street, #400
San Francisco, CA 94103

November 25, 2014

Dear Commissioners,

Sunnyside Neighborhood Association (SNA), one of San Francisco's oldest neighborhood associations, is a 501(c)3 non-profit neighborhood organization representing more than 2,400 households in the Sunnyside neighborhood. SNA has held quarterly general public meetings and published our quarterly newsletter continuously for 40 years. We are writing on behalf of the Sunnyside Neighborhood Association in support of the Monterey Safeway, Case No. 2010.0401C.

Our members are 100% in support of the current Safeway remodel plans that you have been presented to you. We have worked very closely with the Safeway project managers, engineers, designers, architects and planners who have been consistently involved with neighborhood concerns over the past seven years. Safeway has worked diligently with adjacent neighbors as well as all residents (who would be impacted by the new store), has listened to and taken our issues seriously, and modified the designs to mitigate concerns regarding noise, safety, traffic calming and design. We couldn't be more pleased with the current design of the store esthetically, and the store's role as a neighborhood anchor. In particular, the modifications of the delivery route, the loading dock, the median on Monterey Boulevard, the rooftop parking, the pedestrian and bicycle safety and access pieces—including the modified driveway, have all been huge improvements over the initial design and will greatly enhance our neighborhood's welfare and appearance.

We also support the store open hours variance. Historically it is open to midnight, but Monterey Boulevard is zoned only to 11:00 pm. Safeway and SNA have both signed a Memorandum of Understanding (MOU) to maintain the current store open hours, from 6:00 am to midnight until a future time when SNA and Safeway both agree the open hours need to increase to 2:00 am. Therefore we support the variance.

Additionally, Safeway has worked long and hard over these past seven years with various City Departments, Supervisor Elsbernd and now Supervisor Yee's offices, as well as with Planning and has continually included the SNA in the process. They have succeeded in making the necessary changes to improve the safety at the intersection of Monterey Boulevard and Foerster Street.

We are pleased that this process has been so thorough and look forward to a new store that will better serve our community. We ask that you grant this project approval, so that it can progress forward.

Sincerely,

Richard Goldman
Chair, SNA Safeway Remodel Committee

Lisa Spinal, SNA President

November 25, 2014

Memorandum of Understanding ("Agreement")
between

Safeway Inc. and the Sunnyside Neighborhood Association

WHEREAS, Safeway Inc. is the operator of an existing grocery store ("Store") that is currently open to customers from 6 am to 12:00 am midnight daily at 625 Monterey Blvd in San Francisco, CA, which encompasses block 3115, lots 043 and 054; and

WHEREAS, because the Store is located in an NC-1 zoning district, Section 710.27 of the San Francisco Planning Code requires conditional use authorization from the City in order for the remodeled Store to be open to customers between the hours of 11:00 pm and 2:00 am ("City Approved Closing Hour"); and

WHEREAS, Safeway has proposed a remodel of the Store, including the ability to operate the Store until 12:00 am (midnight) daily, with the possibility of extending the closing time ("Closing Time") until the City Approved Closing Hour; and

WHEREAS this property is located within the Sunnyside neighborhood; and

WHEREAS the Sunnyside Neighborhood Association ("SNA") is an unincorporated association of residents of the Sunnyside neighborhood; and

WHEREAS representatives of Safeway have met numerous times since 2008 with Sunnyside residents and members of the SNA Board ("Board") in order to receive feedback on plans for the Safeway store remodel and to create good will and support for the remodel among Sunnyside residents; and

WHEREAS the support and good will of Sunnyside residents and the SNA are important to Safeway's continued presence in the Sunnyside neighborhood; and

WHEREAS, residents of Sunnyside and the Board of SNA have no objection to the remodeled Store being open until 12:00 am (midnight), but are currently opposed to an expansion of Safeway's operating hours to the City Approved Closing Hour.

NOW, THEREFORE, in consideration of the mutual covenants contained herein, the SNA and Safeway agree to the following:

1. Safeway agrees that the Closing Time for the remodeled Store shall be no later than 12:00 am (midnight) until such time as the conditions set forth in Section 5, below, are satisfied.
2. Safeway may seek to expand operating hours only in the event that market conditions change in the future in a manner that indicates there is demand for expanded hours for the Store.

3. Safeway will determine neighborhood opinion regarding any future expansion of hours by consulting with the Board and meeting with Sunnyside residents to seek feedback on this change. Safeway will do so by providing written notification to the Board. The Board shall have the right to request that Safeway representatives discuss this proposal at a Board meeting to occur within sixty (60) days after the Board's receipt of Safeway's written notification. The Board and Sunnyside residents shall provide feedback to Safeway at this meeting on Safeway's proposal to extend the Closing Time.
4. The SNA and its Board will facilitate and host any future meetings regarding Safeway's operating hours.
5. Safeway may extend the Closing Time for the remodeled Store to the City Approved Closing Hour if and only if all of the following conditions exist:
 - a. Safeway has made good faith, commercially reasonable efforts to address any concerns raised at the Board meeting with respect to the extension of the Closing Time; and
 - b. Safeway maintains security measures that Safeway deems in good faith to be adequate to ensure a safe nighttime environment for its customers during the Store's operating hours; and
 - c. Safeway has advised the Captain of the Ingleside Police Station in writing of the proposed extension of the Closing Time.
6. The SNA and Safeway shall work together for the purpose of discussing any issues of concern to either party and shall use good faith efforts to resolve any disputes.
7. In the event of any disagreement regarding compliance with the terms of this agreement, the complaining party shall give notice to the other party and schedule a meeting during which both parties shall in good faith discuss and attempt to resolve the dispute.
8. This Agreement shall automatically terminate upon the occurrence of any of the following conditions:
 - a. The remodeled Store is closed permanently; or
 - b. Both parties agree in writing to terminate this Agreement; or
 - c. The SNA ceases to exist as a not-for-profit organization pursuant to IRS Code Section 501(c)(3); or
 - d. The final City motion or resolution approving the remodeled Store does not authorize an extension of the Closing Time to the City Approved Closing Hour; or

- e. The site of the remodeled Store is rezoned or otherwise reclassified under City regulatory schemes such that conditional use authorization is no longer necessary for extension of the Closing Time beyond 11:00 pm.
- 9. This Agreement shall be governed by, construed, interpreted, and enforced in accordance with the laws of the State of California
- 10. This Agreement may be executed in one or more counterparts, all of which shall be construed together and shall constitute one agreement.

IN WITNESS WHEREOF, the undersigned parties have executed this Agreement.

Safeway Inc.
a Delaware corporation

Sunnyside Neighborhood Association

By: _____
Name: _____



Lisa Spinale, president

Its: Assistant Vice President
By: _____
Name: _____

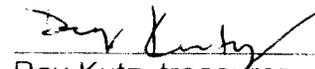


Renee Espinoza, vice-president

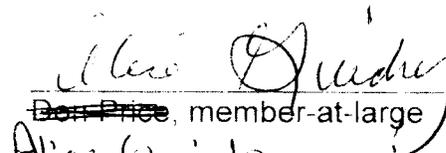
Its: Assistant Secretary
Form Approved _____



Estelle Smith, secretary



Ray Kutz, treasurer



~~Don Price~~, member-at-large
Alice Enidry

From: [Mark](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: case no. 2010.0401C – Safeway Monterey –
Date: Thursday, November 13, 2014 2:53:04 PM

Hi Marcelle,

Just writing to ask that the Commission please approve this Safeway remodel.

The existing Safeway is tiny and substandard for most of our grocery shopping needs.

Thank you.

Mark Maupin
401 Mangels Avenue

415-786-8740

From: [ikenderova12_](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: case no. 2010.0401C – Safeway Monterey –
Date: Sunday, November 16, 2014 5:08:47 PM

Hello -

this is a brief note to voice my wholehearted support of the above mentioned project. As a neighbor I strongly feel that the neighborhood will greatly benefit from the proposed upgrade and remodeling of this Safeway. I hope the city will approve the project and it will be carried out in a speedy manner.

Kind regards,
Irina Kenderova
415 846 9268

--

Irina Kenderova
www.paisleyandstripes.com

From: [Job Alexander](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: case no. 2010.0401C – Safeway Monterey
Date: Sunday, November 16, 2014 9:49:11 AM

Dear Mr. Boudreaux,

I am writing to offer my staunchest support for the development of the Safeway located at Monterey Blvd in Sunnyside. This neighborhood is in desperate need of better options for grocery shopping. The Safeway as it currently stands resembles a relic from the 70s and is, quite honestly, decrepit and a renovation would do a world of good to the general atmosphere surrounding that stretch of Monterey Blvd.

Thanks,
Job
Resident at Hearst & Baden

From: [PIC \(CPC\)](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Fw: Voicing Support of Monterey Blvd. Safeway Project
Date: Monday, November 17, 2014 11:32:01 AM

please reply to sender.
thank you

Property Information Map (PIM): <http://propertymap.sfplanning.org>

The information provided in this correspondence is based on a preliminary review of information provided by the requestor. It does not constitute a comprehensive review of the project or request. For a more extensive review it is strongly recommended to schedule a project review meeting. The information provided in this email does not constitute a Zoning Administrator letter of determination. To receive a letter of determination you must submit a formal request directly to the Zoning Administrator. For complaints, please contact the Code Enforcement Division.

From: Gaelen Gates <ggates@gmail.com>
Sent: Sunday, November 16, 2014 11:29 AM
To: PIC (CPC)
Subject: Voicing Support of Monterey Blvd. Safeway Project

Hi there,

I am writing with regard to the Sunnyside Safeway project on Monterey Blvd. (<http://www.sunnysidesafewaysf.com/>), which I understand will be the subject of upcoming Planning Commission hearings.

I just wanted to say that my family wholeheartedly supports this project. We have lived about half a mile from this Safeway (at Joost and Congo) for 6 years, and it has always been small and inadequate for the neighborhood's needs. However, it's the only Safeway within walking distance, so I'm usually forced to drive to the Diamond Heights Safeway or the one on Mission near Cortland instead.

Our neighborhood desperately needs a grocery store within walking distance. Canyon Market does not have many "regular grocery store" items, and is also extremely expensive. We really need this project! I encourage you to approve it as quickly as possible.

Additionally, I drive up and down Monterey Blvd. every day, and the "new" Safeway won't possibly be more disruptive to traffic than the mess created when people line up into the street to park in its too-small lot! Any construction disruption will be temporary and well worth it.

Please approve this project!

Thank you for your consideration,
Gaelen Gates

From: [Karen Franklin](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: I support the plans to update sunnyside Safeway
Date: Friday, November 21, 2014 2:35:54 AM

Sent from my iPad

From: [Olga Eber](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: In huge favor of redoing the Safeway on Monterey even though it might impact my commute. I am 100% behind the improvements.
Date: Monday, November 17, 2014 12:00:58 PM

Best Regards,

Olga Eber

ORACLE

Olga Eber | Account Director

m: 415-279-1123 | o: 650-607-8069

Oracle Worldwide Alliance & Channels - ISV & OEM Sales

e: olga.eber@oracle.com

From: [Mike Fleming](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Cc: [Margaret Hosel](#)
Subject: In support of Case no. 2010.0401C – Safeway Monterey
Date: Friday, November 14, 2014 11:18:42 AM

Dear Marcelle--

As a resident of 506 Foerster street three blocks away, I would like to voice strong support for the Safeway Monterey project.

Over the events of the last few years, many communities around the city and in the surrounding area have seen their supermarkets close down and remain shuttered. The S. Van Ness & 23rd st IGA which was so vital to us when we lived in that neighborhood has been shuttered for years. The Fresh & Easy chain's departure from the Bay Area has left many communities without their supermarkets as well.

Looking at these events and knowing about Safeway Corp's recent change of ownership to private equity firm, I think that the risk that Safeway Monterey could close and not be replaced for years should be considered quite real. Should this happen, the nearest supermarket would be more than three quarters of a mile away.

Every community concern about this project should be viewed in the context of this risk and the consequences it would have for this community.

Please approve the Safeway Monterey project posthaste.

Sincerely,
Michael Fleming
506 Foerster St.

From: [Eric Meyerson](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Cc: [Annette Cardwell](#)
Subject: In support of Monterey Safeway
Date: Thursday, November 20, 2014 8:08:43 AM

Hello, I would like to voice my (and my family's) support for the remodel of Safeway on Monterey. People in Sunnyside depend on this Safeway; it's the only walkable food store in the neighborhood. It desperately needs this remodel, and I am supportive of the proposed design.

Thank you,
Eric Meyerson
644 Foerster St.

meyerson@rangelife.com

From: [Inman, Jennifer](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: in support of the monterey safeway renewal
Date: Sunday, November 16, 2014 2:55:40 PM

I wanted to send a letter of support for the renewal of the Monterey Safeway. We live in Westwood Park and are looking forward to having an alternative to the expensive Whole Foods and Tower Markets! A new and expanded Safeway that is clean and convenient will be very welcome!

Jennifer Inman
820 Miramar

From: [HoMan Lee](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Cc: [kristen bouvier](#)
Subject: LETTER OF SUPPORT – case no. 2010.0401C – Safeway Monterey (625 Monterey Blvd, San Francisco, CA94112)
Date: Monday, November 24, 2014 7:01:38 PM

Marcelle Boudreaux, AICP

Planner, Southwest Quadrant
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

November 24, 2014

LETTER OF SUPPORT – case no. 2010.0401C – Safeway Monterey (625 Monterey Blvd, San Francisco, CA94112)

<!--[if !supportLineBreakNewLine]-->
<!--[endif]-->

Dear Marcelle Boudreaux,

We are writing to provide our support for the proposed Safeway Improvement at 625 Monterey Blvd, San Francisco, Case no. 2010.0401C.

We have been residents in the Sunnyside neighborhood since 2003 and look forward to having a new Safeway that will satisfy the needs of the local community. The current Safeway is very dated and too small to provide a diverse range of products and services like the other renovated Safeway stores. Sunnyside does not have a range of basic services like a florist, seafood/butcher shop, pharmacy, organic produce or bakery. The new Safeway will go a long way in providing these basic services and a wider range of products within walking distance for many San Francisco residents (especially beneficial to seniors citizens and families) who reside in the area. The community is extremely supportive of the planned renovation.

We would like to recognize that Safeway has gone above and beyond in satisfying requests from the community in terms of streetscape improvements to Monterey Boulevard and to the proposed design the building itself. We commend Safeway's generous and accommodating effort by providing additional improvements for the community such as 'bulb outs' at the intersection of Monterey Blvd and Forester Street and improved façade treatments.

We applaud Safeway and their staff for methodically exploring and collaborating all options in tandem with the community in the process of getting the proposed design to Planning Review.

Kristen and I are very excited about this extremely well considered, thought out development that will be an invaluable asset to Sunnyside and San Francisco. We look forward to shopping at the proposed renovated Safeway soon.

Sincerely,

HoMan Lee & Kristen Bouvier

525 Edna Street,

San Francisco. CA, 94112

e: homan.lee@me.com

t: 415-239-8785

From: [Alan Le](#)
To: Natalie.Mattei@Safeway.com; [Boudreaux, Marcelle \(CPC\)](#)
Date: Thursday, November 13, 2014 2:57:07 PM

Dear Natalie and Marcelle,

I am writing in FULL support of the Sunnyside Safeway remodel.

As a former resident in the Noe Valley/Diamond Heights area, the Safeway in Diamond Heights was always my first stop for groceries and household items for the last decade. I could easily walk to Whole Foods on 24th Street, but chose to shop at Safeway for its value, quality and parking convenience.

I am now living in Sunnyside and was aghast by the appearance of this Safeway. I have shopped at many Safeway stores over the years, and this location has to be the biggest eye sore of them all. Purely based on aesthetics, I am now shopping at Whole Foods on Ocean or making a special trip to Diamond Heights.

You will have many happy and satisfied returning (and NEW customers) to Sunnyside Safeway with this highly needed remodel. I thank you for your planning and efforts to get this project facilitated.

Sincerely,
Alan Le

From: [SF Papi](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Monterey Blvd Safeway
Date: Tuesday, August 19, 2014 2:51:24 PM

Hello

My name is Jim Farrington and I have lived (and own a home) in the Sunnyside neighborhood for the past 32 years.

My home is only 4 blocks from the existing Safeway store on Monterey Blvd.

The store is very small and outdated and our neighborhood deserves a decent grocery store.

The neighborhood association and Safeway have been trying for YEARS to get approval for a new store at this location.

I implore you to act quickly on this request.. We in the neighborhood have waited long enough!!

Thanks

Jim

From: [Paul Burnett](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Monterey Blvd Safeway Project
Date: Saturday, August 30, 2014 10:30:54 AM

Hi Marcelle, I am a Sunnyside home owner living on Melrose Ave. and looking forward to the remodeled Safeway store. Our neighborhood will really benefit from having better food shopping choices nearby.

If there's anything you need from residents to support your work on this project please let me know.

Thanks!

From: [kenneth hollenbeck](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Monterey Blvd. Safeway Remodel
Date: Friday, November 21, 2014 4:04:54 PM

Hello:

I write to voice support for the remodel of the Safeway on Monterey Boulevard. I live on Joost Avenue, less than a block away and visit that Safeway at least once per week. It is a bit of a blight on the neighborhood in its current state, however, and in serious need of a remodel. As I understand it the project has been in the works for almost 5 years. In that time Whole Foods has constructed and been operating a store with apartments and condos on Ocean Avenue for 3 years now, while the Safeway project appears stuck in neverland.

The Monterey Safeway is a heavily used store and is really right in the center and heart of the Sunnyside neighborhood. Not only would it increase the neighborhood aesthetics but it would also keep people from driving to other, more modernized grocery stores. Anything to expedite this long delayed project would be welcome.

Sincerely,

Kenneth Hollenbeck

From: [Barbara Berry](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Monterey Blvd. Safeway
Date: Tuesday, November 18, 2014 6:10:55 PM

Hello,

My neighborhood, Sunnyside, is much in need of an updated Safeway store. The store is in walking distance of my home on 159 Staples Avenue, but I rarely go there because it is a depressing store and the produce is not of top quality.

The only alternative is walking about a mile to Whole Foods or to Canyon market, both of which are more expensive than Safeway.

I certainly hope the Planning Commission will approve the remodel of the Monterey Blvd. Safeway.

Thank you.

Barbara Berry
159 Staples
San Francisco, CA 94112

Barbara Berry
Tel: 415.298.7708
barbara@barbaraberry.net

From: armenb@gmail.com on behalf of [Armen Berjikly](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Cc: [N Mattei](#)
Subject: Monterey Safeway
Date: Tuesday, August 19, 2014 12:47:59 PM

Hi Marcelle, I understand you are now working on the safeway property on Monterey Blvd. As a longtime resident of the neighborhood (I'm on Stanford Heights), I only ask that you expedite the efforts as the neighborhood is very hungry for these upgrades.

Many thanks, and if I can ever be helpful as a neighborhood advocate, just let me know.

Best,
-armen

--

Armen Berjikly
Founder / CEO Kanjoya Inc. - Human Understanding through Technology / <http://www.kanjoya.com>
650-906-6571 / armen@kanjoya.com / [@armenberjikly](#) / [LinkedIn](#)
See my TEDx Viral Talk: "[When Change is not a Choice](#)"
See us in the [Wall Street Journal](#)

From: [Maria Bracamonte](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Monterey Safeway
Date: Monday, November 17, 2014 6:50:12 AM

Please support the remodel of the monterey safeway. The current one does not have the space to provide the foods we need to properly feed our families.

Thank you,

Maria Bracamonte (miraloma park resident)

From: [Eric James](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Re: [glenparkparents] Monterey Safeway Goes to Planning Commission !
Date: Wednesday, November 19, 2014 10:39:19 PM

This Safeway is in DIRE NEED OF IMPROVEMENT PLEASE LET IT BE APPROVED AND ANY NAYSAYER IS JUST AN AWFUL NIMBY. TELL THE COUNCILMEMBERS THAT THIS SAFEWAY IS A LOCAL INSTITUTION AKIN TO ANY MOM AND POP AND MUST BE REVITALIZED, SAY NO TO WHOLE FOODS, LETS KEEP OUR BELOVED SAFEWAY!

Eric James
28 Turquoise Way

On Mon, Nov 17, 2014 at 8:20 AM, Stella Leung <sleung1@gmail.com> wrote:

----- Forwarded message -----

From: **Elizabeth Weise** beth@elizabethweise.com [glenparkparents]
<glenparkparents-noreply@yahoogroups.com>
Date: Sun, Nov 16, 2014 at 6:48 AM
Subject: [glenparkparents] Monterey Safeway Goes to Planning Commission !
To: Glen park parents <glenparkparents@yahoogroups.com>, "glenparkbulletinboard@yahoogroups.com" <GlenParkBulletinBoard@yahoogroups.com>

The Safeway on Monterey Ave. looks like it's finally going to get an upgrade.

But this being San Francisco, there will be people who will protest and say "How dare Anything Ever happen that might possibly make my commute two minutes longer for more than one day--This Must Be Stopped!"

Which means they've got to put together a package that shows there's community support for an upgrade.

If you think it's a good idea, feel free to email the planning commission.

Beth

Begin forwarded message:

Safeway Monterey Blvd Proposed Remodel goes to Planning Commission!
If you support a refresh of the decrepit Safeway in Sunnyside on Monterey Blvd, PLEASE email your support.
Safeway's site, with video and drawings is here: <http://sunnysidesafewaysf.com/>
Name of Project at SF Planning is:
case no. 2010.0401C – Safeway Monterey –
It will go before the Planning Commission on
December 11, 2014 at 12:00 pm
City Hall, Commission Chambers – Room 400

1 Dr. Carlton B. Goodlett Place
San Francisco CA 94102 US

There will be a public notice mailed out to property owners within 300 feet of the site, and posted on site at the property at minimum 20 days before the hearing. If you would like any comments included in the packet prior to submission to the Planning Commissioners for review, be sure to submit communication Marcelle Boudreaux (by email, by mail or by phone) by Wednesday December 5th, 5pm. Anything submitted after that time will be noted during staff presentation, or can be submitted by members of the public during the public comment period when this item is being heard.

Member of the public can attend the hearing to speak; the Planning Commission is held in Room 400 at City Hall starting at 12:00 pm. About a week before the hearing, we may have a better idea of timing for when this specific item may be heard.

Feel free to review the Planning Department website, Planning Commission agendas, for more information — <http://www.sf-planning.org/>. The case report will be prepared a week prior to the hearing date, and linkable from the online agenda. And we will link it here.

Please address letters of comment to:

Marcelle Boudreaux, AICP
Planner, Southwest Quadrant
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: [415-575-9140](tel:415-575-9140) Fax: [415-558-6409](tel:415-558-6409)
Email: marcelle.boudreaux@sfgov.org
Web: www.sfplanning.org
Monterey Safeway
625 Monterey Blvd,
San Francisco, CA 94112

Posted by: Elizabeth Weise <beth@elizabethweise.com>

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From: [Richard Goldman](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Cc: [Natalie Mattei](#); [Lisa Spinali](#)
Subject: Re: Monterey Blvd Safeway update
Date: Wednesday, August 20, 2014 4:50:14 PM

Hello Marcelle,

I'm writing to introduce myself, as one of the liasons between our Sunnyside Neighborhood Association (SNA) and the Safeway remodel project. SNA has been meeting and working closely with Natalie Mattei, of Safeway, along with SF Planning and District 7 Supervisor Yee's office these past many years on this exciting new store remodel project. We are all looking forward to its progress and completion. I am including SNA President Lisa Spinali on this email as well.

Natalie wrote us that you are now the Planner for the project with hopes of it going before the Commission this December. We all hope that things go well and smoothly, and we want you to know that SNA is fully supportive of the design and project.

We presume that we will hear from you once it is calendared and have our 30 day public comment period, and we look forward to that time.

If you have any questions or concerns, or issues come up concerning the neighborhood or changes in the project, please feel free to contact me directly at 415-819-9559 or via email.

I appreciate your work and attention.

Best,

Richard Goldman
Chair, Safeway Remodel Committee
Sunnyside Neighborhood Association

On Tue, Aug 19, 2014 at 11:51 AM, Natalie Mattei <Natalie.Mattei@safeway.com> wrote:

Hello Monterey Safeway Neighbors,

I hope you have enjoyed a nice summer. It was exciting to share Safeway's designs last month, which were drawn in large part as a result of our collaboration with the neighborhood.

If you missed the last email, please visit the project website to see the updated renovation details.

www.sunnysidesafewaysf.com

San Francisco's Planning Department has assigned a new planner, Marcelle Boudreaux, to the project. We met at the grocery store last week and walked the property, discussing every neighbor's feedback. Marcelle has gotten up to speed quickly. Her goal is to get the project to Planning Commission by December.

If you would like to communicate directly with Marcelle, her email is:

marcelle.boudreaux@sfgov.org

Thank you for your continued interest and input.

Sincerely,

Natalie Mattei

"Email Firewall" made the following annotations.

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From: [Brian, Rebecca \(US - San Francisco\)](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: RE: Monterey Blvd Safeway update
Date: Thursday, November 13, 2014 3:41:13 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

Thanks, Marcelle.

I appreciate your update and am excited to hear that the process is moving forward! Please take my original note below as my submitted comments on the topic for now – they generally capture my thinking. The current Safeway is an eyesore and a blight on the neighborhood, slowly forcing us to drive all the way up to Diamond Heights for Safeway or go buy more and more of our goods at Whole Foods on Ocean. The renovated Monterey Safeway will help improve that whole block and create a more affordable and convenient option for those of us in the neighborhood.

Thanks-
Becky

Rebecca Brian
Monitor Deloitte
101 Market Street, Suite 1000, San Francisco, CA 94105
Tel/Direct: +1 415 932 5386 | Mobile: +1 650 954 8521
rebrian@deloitte.com | www.deloitte.com

Monitor **Deloitte**.

From: Boudreaux, Marcelle (CPC) [<mailto:marcelle.boudreaux@sfgov.org>]
Sent: Thursday, November 13, 2014 3:02 PM
To: Brian, Rebecca (US - San Francisco)
Subject: RE: Monterey Blvd Safeway update

Hi Rebecca,

Thanks for your earlier communication; this is an update. 625 Monterey Blvd, case no. 2010.0401C – aka Safeway Monterey – has been calendared for the December 11, 2014 Planning Commission calendar. There will be a public notice mailed out to property owners within 300 feet and posted on site at the property at minimum 20 days before the hearing. I'll email a notice to all of you who have contacted me, but I have not prepared it yet.

If you would like any comments included in the packet prior to submittal to the Planning Commissioners for review, be sure I have communication submitted to me (by email, by mail or by phone) by Wednesday December 5th @ 5pm. Anything submitted after that time will be noted during staff presentation, or can be submitted by members of the public during the public comment

period when this item is being heard. Member of the public can attend the hearing to speak; the Planning Commission is held in Room 400 at City Hall starting at noon. About a week before the hearing, we may have a better idea of timing for when this specific item may be heard. Feel free to review the Planning Department website, Planning Commission agendas, for more information -- <http://www.sf-planning.org/>. The case report will be prepared a week prior to the hearing date, and linkable from the online agenda.

Let me know if you have any more questions right now.

Thanks,
Marcelle

Marcelle Boudreaux, AICP
Planner, Southwest Quadrant

Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

Direct: 415-575-9140 **Fax:** 415-558-6409

Email: marcelle.boudreaux@sfgov.org

Web: www.sfplanning.org



From: Brian, Rebecca (US - San Francisco) [<mailto:rebrian@deloitte.com>]

Sent: Tuesday, August 19, 2014 12:34 PM

To: Boudreaux, Marcelle (CPC)

Subject: FW: Monterey Blvd Safeway update

Marcelle-

I know there is an extensive formal process underway regarding approval of the Monterey Blvd Safeway, including opportunities for public comment. But I wanted to send you a personal message because my husband and I both work, and we have three small children, so it's hard for us to be at planning meetings to voice our opinion.

We have lived a few blocks down Monterey Blvd from the Safeway, in Westwood Park, for 6 years. The Safeway project has been under discussion for years, jumping through the various redesign hoops and requests of neighbors etc. – while we're waiting on this remodel, a Whole Foods on Ocean Ave was announced, built and now has been operational for 2 years.

Anyway, I just wanted to voice our opinion that the Safeway remodel is long overdue and sorely needed. The current Safeway is truly the worst I have ever been in – a “produce aisle” rather than a product section, always run down, shelves empty, meat often near expiration, basic items like \$8 face moisturizer kept in a locked cabinet. The existence of WF nearby only exacerbates things because people in the neighborhood go there for things they would have once purchased at Safeway out of convenience (this is certainly the case for us). And this all says nothing of the fact that the store is an eye sore in the neighborhood, has no proper place for holding shopping carts (they are wedged under a stairway), has an oddly sloped parking lot that makes it unsafe and difficult to load

groceries in some spaces, and doesn't feel particularly inviting or safe at night due to its set-back from the street and dim lighting. Any time we need something other than packaged goods or an emergency purchase, we drive up to Diamond Heights or down to Ocean Avenue, rather than going to the store in our neighborhood.

I know this is just one anecdotal comment, but I can imagine that those opposing the project are more likely to engage in the process – whereas there are many folks I speak with in the neighborhood that feel as we do and are dying for the new Safeway to come in. So I just wanted to let you know.

Thanks and best regards-
Becky Brian

Rebecca Brian
Monitor Deloitte
101 Market Street, Suite 1000, San Francisco, CA 94105
Tel/Direct: +1 415 932 5386 | Mobile: +1 650 954 8521
rebrian@deloitte.com | www.deloitte.com

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v.E.1

From: Natalie Mattei [<mailto:Natalie.Mattei@safeway.com>]
Sent: Tuesday, August 19, 2014 11:52 AM
To: Natalie Mattei
Subject: Monterey Blvd Safeway update

Hello Monterey Safeway Neighbors,

I hope you have enjoyed a nice summer. It was exciting to share Safeway's designs last month, which

were drawn in large part as a result of our collaboration with the neighborhood.

If you missed the last email, please visit the project website to see the updated renovation details.

www.sunnysidesafewaysf.com

San Francisco's Planning Department has assigned a new planner, Marcelle Boudreaux, to the project. We met at the grocery store last week and walked the property, discussing every neighbor's feedback. Marcelle has gotten up to speed quickly. Her goal is to get the project to Planning Commission by December.

If you would like to communicate directly with Marcelle, her email is:

marcelle.boudreaux@sfgov.org

Thank you for your continued interest and input.

Sincerely,

Natalie Mattei

"Email Firewall" made the following annotations.

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From: [Thomas Kowalski](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Cc: [Natalie Mattei](#)
Subject: RE: Monterey Blvd Safeway
Date: Thursday, November 13, 2014 3:29:41 PM

Thank you for this update
As I reported on 8/19/14, I support the efforts to remodel this site.
I feel that the delays have been excessive on this matter.
As this building appears to fall below current seismic code, I support this construction.
Thank you, Tom Kowalski

On Thu, 11/13/14, Boudreaux, Marcelle (CPC) <marcelle.boudreaux@sfgov.org> wrote:

Subject: RE: Monterey Blvd Safeway
To: "Tom Kowalski" <tksfcal@pacbell.net>
Cc: "Natalie Mattei" <Natalie.Mattei@safeway.com>
Date: Thursday, November 13, 2014, 3:04 PM

Hello Tom,

Thanks for your earlier communication; this is an update. 625 Monterey Blvd, case no. 2010.0401C - aka Safeway Monterey - has been calendared for the December 11, 2014 Planning Commission calendar. There will be a public notice mailed out to property owners within 300 feet and posted on site at the property at minimum 20 days before the hearing. I'll email a notice to all of you who have contacted me, but I have not prepared it yet.

If you would like any comments included in the packet prior to submittal to the Planning Commissioners for review, be sure I have communication submitted to me (by email, by mail or by phone) by Wednesday December 5th @ 5pm. Anything submitted after that time will be noted during staff presentation, or can be submitted by members of the public during the public comment period when this item is being heard. Member of the public can attend the hearing to speak; the Planning Commission is held in Room 400 at City Hall starting at noon. About a week before the hearing, we may have a better idea of timing for when this specific item may be heard. Feel free to review the Planning Department website, Planning Commission agendas, for more information -- <http://www.sf-planning.org/>. The case report will be prepared a week prior to the hearing date, and linkable from the online agenda.

Let me know if you have any more questions right now.

Thanks,
Marcelle

Marcelle Boudreaux, AICP
Planner, Southwest Quadrant

Planning Department, City and County of San

Francisco
1650 Mission Street, Suite 400,
San Francisco, CA 94103
Direct: 415-575-9140
Fax: 415-558-6409
Email: marcelle.boudreaux@sfgov.org
Web: www.sfplanning.org

-----Original Message-----

From: Tom Kowalski [<mailto:tkofcal@pacbell.net>]

Sent: Tuesday, August 19, 2014 5:44 PM
To: Boudreaux, Marcelle (CPC)
Cc: Natalie Mattei
Subject:
Monterey Blvd Safeway

Good
Evening
As a 25 year owner of 45 Montecito
Ave, I wish to express my support of the Monterey Blvd
Safeway redo.
This current store is
outdated, need of update and I suspect falls below seismic
standards With 5+ years of review, I feel it is time to
initiate this long over due project Thank you Tom Kowalski
www.tkowalskiotrsf.com www.sfmmg.com

Sent from my iPhone

From: [David Ayerdi](#)
To: [Natalie Mattei](#); [Boudreaux, Marcelle \(CPC\)](#)
Subject: RE: PLANNING COMMISSION - Sunnyside Safeway Monterey Blvd
Date: Monday, November 24, 2014 4:36:19 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Marcelle,

You have our support! We would love to see this space finally transformed into a new Safeway long overdue for this neighborhood!

Thank You,

David Ayerdi
Owner
236 Genessee Street, SF 94112

From: Natalie Mattei [<mailto:Natalie.Mattei@safeway.com>]
Sent: Monday, November 24, 2014 4:22 PM
To: David Ayerdi
Cc: Boudreaux, Marcelle (CPC)
Subject: RE: PLANNING COMMISSION - Sunnyside Safeway Monterey Blvd

David, I'll definitely keep you posted!

I forgot to include Marcelle's email. Here you go:

marcelle.boudreaux@sfgov.org

All the best,
Natalie

From: David Ayerdi [<mailto:DAYERDI@MCGUIRE.COM>]
Sent: Monday, November 24, 2014 4:17 PM
To: Natalie Mattei
Subject: RE: PLANNING COMMISSION - Sunnyside Safeway Monterey Blvd

Natalie,

You have my support for this Safeway! Let's get it started asap! Please keep me posted, we are very excited!

Thank You,

David Ayerdi
Owner
236 Genessee Street, SF 94112

From: Natalie Mattei [<mailto:Natalie.Mattei@safeway.com>]
Sent: Monday, November 24, 2014 4:15 PM
To: David Ayerdi
Subject: FW: PLANNING COMMISSION - Sunnyside Safeway Monterey Blvd

Hi David,

Thank you for talking this morning!

Below is information I forwarded to interested parties earlier in November.

After you have had a chance to look at the plans, please let me know if you have any questions. We definitely welcome emails, etc. to Marcelle voicing your thoughts on the project!!

Please note the deadline for submitting correspondence to the Planner, Marcelle, is now November 26 due to updated department procedures.

Again, it was great connecting and I wish you and your family a very Happy Thanksgiving.

Natalie Mattei

From: Natalie Mattei
Sent: Thursday, November 13, 2014 3:36 PM
To: Natalie Mattei
Subject: PLANNING COMMISSION - Sunnyside Safeway Monterey Blvd

Dear Neighbors,

Our collective efforts to upgrade the Monterey Safeway are now scheduled for Planning Commission on December 11, 2014! Exact time to follow, however commission generally meets at noon.

The project website – www.sunnysidesafewaysf.com – will be updated shortly with details, links, ways to help, etc.

Below is an update Marcelle Boudreaux, the Planner overseeing the Safeway project.

Stay tuned for additional information!

Best regards,
Natalie Mattei
Real Estate Manager
(925) 467-3063

625 Monterey Blvd, case no. 2010.0401C – aka Safeway Monterey – has been calendared for the December 11, 2014 Planning Commission calendar. There will be a public notice mailed out to property owners within 300 feet and posted on site at the property at minimum 20 days before the hearing. I'll email a notice to all of you who have contacted me, but I have not prepared it yet.

If you would like any comments included in the packet prior to submittal to the Planning Commissioners for review, be sure I have communication submitted to me (by email, by mail or by phone) by **Wednesday December 5th** @ 5pm. Anything submitted after that time will be noted during staff presentation, or can be submitted by members of the public during the public comment period when this item is being heard. Member of the public can attend the hearing to speak; the Planning Commission is held in Room 400 at City Hall starting at noon. About a week before the hearing, we may have a better idea of timing for when this specific item may be heard. Feel free to review the Planning Department website, Planning Commission agendas, for more information -- <http://www.sf-planning.org/>. The case report will be prepared a week prior to the hearing date, and linkable from the online agenda.

Let me know if you have any more questions right now.

Thanks,
Marcelle

**Marcelle Boudreaux, AICP
Planner, Southwest Quadrant**

Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

Direct: 415-575-9140 **Fax:** 415-558-6409

Email: marcelle.boudreaux@sfgov.org

Web: www.sfplanning.org



"Email Firewall" made the following annotations.

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"Email Firewall" made the following annotations.

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=====

From: [Kristin Dempsey](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Regarding Monterey Boulevard Safeway
Date: Friday, November 21, 2014 4:34:54 PM

I writing to support remodeling our Safeway on Monterey Boulevard. It is an important resource for our community as we need a (relatively) affordable resource for grocery shopping.

It is important for the Safeway to remain, and remodeling will allow more access and potentially more ability to provide a wider variety of products. Without the Safeway and its services, this part of San Francisco is essentially a food desert. The closest grocery stores (Molly Stones and Whole Foods) are quite expensive and potentially out of reach for many of our residents.

Thank you for sending along this message of support. I will be interested to hear how this issue progresses.

Kristin Dempsey
209 Edna Street
San Francisco

Sent from my iPad

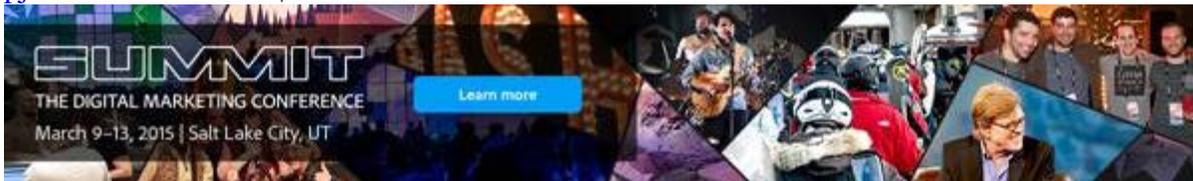
From: [Peggy Jacobs](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Safeway Monterey Avenue
Date: Tuesday, November 18, 2014 4:58:20 PM

Hi Marcelle,

I am writing you in regards to the upcoming planning commission meeting regarding the Safeway in Sunnyside. Our neighborhood is in dire need of a full-service grocery store. The current Safeway is too small and cannot carry the variety of items that we need so we find ourselves driving at least a mile to Whole Foods or to the Safeway in Diamond Heights. In addition to a wider selection, it would help the neighborhood tremendously to have a pharmacy within walking distance. The closest pharmacy to Sunnyside is on Ocean in Ingleside, and for those neighbors who don't drive it is a real hardship to get there. Lastly, the current Safeway is an eyesore. A lot of money was spent to spruce up Monterey Blvd. so let's put a beautiful store there!

Thank you,

Peggy Jacobs
Senior Executive Assistant to Arun Anantharaman
Senior Vice President , Technology | Adobe Marketing Cloud
Adobe | 601 Townsend St., San Francisco, Ca 94103
pjacobs@adobe.com | [415-832-7641](tel:415-832-7641)



From: [Houman Forood](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Safeway on Monterey
Date: Sunday, November 16, 2014 9:55:40 PM

Hello,

Just wanted to write you and express my support for the Safeway store renovation on Monterey Blvd.

Our neighborhood deserves a functional and presentable store to support our growing community. More and more families are moving to the area and we are all in great need of a grocery store designed for the 21st century.

I hope the plan will be approved and renovation can commence as soon as possible.

Houman

From: [House Email](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Safeway Remodel
Date: Thursday, November 20, 2014 9:31:32 PM

Dear Ms Boudreaux,

My wife and I have been in favor of this new Safeway Store since it was first announced. Our Safeway is a MUCH needed source of fresh foods and supplies. As life long resident of Sunnyside and now retired, we need the convince of the Safeway Store. I was raised with the original Safeway Store many years ago and the current Safeway Store was a great improvement, but it's tired and in need of a drastic remodel... We support this Store and look forward to having the new store with all it's added conveniences

Mark and Joyce King-Sultana Flood Avenue Sunnyside 94112

From: [Karen Franklin](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Sunnyside Safeway
Date: Wednesday, November 26, 2014 8:20:02 AM

I support improving Sunnyside Safeway. I've been shopping there for over 30 yrs it's our turn. Looking forward to the "new store"

Sent from my iPad

From: [Catherine Hazelton](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Sunnyside Safeway
Date: Monday, November 17, 2014 8:27:50 AM

Hi there,

I'm really looking forward to the proposed Safeway upgrade on Monterey Ave. It will be terrific to have a full Safeway so close and not have to drive ten minutes over treacherous streets to Diamond Heights. Thanks!

Catherine Hazelton
118 Baden Street
SF

From: [Donald DeCrescenzo](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Sunnyside/Monterey Blvd Safeway
Date: Friday, November 14, 2014 12:08:54 PM

Marcelle,

Please note that as a local resident I **strongly** support the Safeway remodel and look forward to moving it ahead after such long delays.

Best regards,
Donald DeCrescenzo
Sunnyside Homeowner

From: [Don Hayler](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Support for Monterey Safeway project
Date: Wednesday, November 19, 2014 6:40:57 PM

Hello,

I live about 4 blocks from this Safeway and I definitely support the renovation process. Please help this go smoothly.

Thank you.

-- Don Hayler

Valdez & Montecito.

From: [Reva Bhatia](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Support for the Safeway Monterey project
Date: Monday, November 17, 2014 7:15:47 AM

Dear Marcelle,
I'm an SF resident, and I live two blocks from the Safeway on Monterey Blvd. I strongly support the proposed redesign, which is going before the Planning Commission on Dec. 10 (case no. 2010.0401C). It will be a wonderful change to the Sunnyside neighborhood. Safeway has worked hard to include community feedback in its design, making it a good neighbor to us all.
Thank you,
Reva Bhatia
361 Mangels Ave.
94127

From: [Anita Crompton](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Upcoming Planning Commission - Monterey Safeway Project Support
Date: Sunday, November 16, 2014 1:59:56 PM

Hi Marcelle,

I am a resident near the Safeway being discussed in an upcoming planning commission (625 Monterey Blvd). We live about a half mile away and are in full support of the project.

Currently, we have no large (or affordable) grocery store within walking distance. We can walk to Mollie Stone's, however it is somewhat of a specialty store and thus very pricey for most items. It also doesn't have near the selection of items as a full Safeway store. The current Safeway store is very small and lacks a great selection of food.

We also believe that the Safeway remodel will help to revitalize the Monterey area. The architecture, greenery & mural might help to bring some life and pedestrian traffic to what is currently mostly just a through road for vehicular traffic. Looking at the recent Ocean Avenue additions such as Whole Foods, we are excited to see what new additions might do for the Monterey area. Currently, the Monterey area is somewhat dull and does not encourage much community gathering. While the remodel may increase the vehicular traffic on Monterey, the road is rarely backed up (only slightly during rush hour) so it probably won't cause much of a delay most of the time.

Thank you for your consideration, and we look forward to seeing the outcome of the upcoming hearing.

Anita

Sent from Windows Mail

From: [Stuart Rosenthal](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Monterey Blvd Safeway Renovation
Date: Wednesday, November 19, 2014 10:43:12 PM

Marcelle Boudreaux, AICP
Planner, Southwest Quadrant
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

Hello Ms Boudreaux,
As a resident of the Sunnyside for over 26 years I want to state my support of the refresh so desperately needed by our only neighborhood grocery store.
I can not believe how long it has taken for the remodel to get to your department for approval.
Please provide the needed permits asap and get this project moving!

Thank you

--

Stuart Rosenthal
304 Genessee St.
SF 94112

From: ddprice
To: [Boudreaux, Marcelle \(CPC\)](mailto:Boudreaux.Marcelle(CPC))
Cc: don94112@gmail.com; [Natalie Mattei](#); [Lisa Spinali](#)
Subject: Monterey Blvd. Safeway Hearing
Date: Wednesday, November 19, 2014 6:27:24 PM

Don Price
101 Edna St
SF 94112
don94112@gmail.com

November 19, 2014

RE: Monterey Blvd. Safeway Remodel Hearing

As a 25 year resident and homeowner in the Sunnyside neighborhood in which the Monterey Safeway resides, and a 35 year resident of San Francisco, as well as Past President of the Sunnyside Neighborhood Association, I offer the following regarding the new Safeway Project approval:

San Francisco needs to fully approve this project immediately. The neighborhood has been awaiting this new Safeway for 10+ years while the City drug its feet through bureaucratic red tape. STOP IT. Approve this Safeway now so construction can get started ASAP. 99% of the neighbors want it, as well as all the adjacent neighborhoods. This part of SF is not supported by many stores. NO other standard grocery stores for a mile or more. We need it and want it. The neighborhood has waited and waited for a new store. Please make this happen NOW.

Regards,
Don Price

From: sharonwein@gmail.com on behalf of [Sharon Weinberg](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Monterey Safeway Support
Date: Thursday, November 13, 2014 2:52:04 PM

Ms. Boudreaux,

I heartily support a refreshed, updated Monterey Safeway in Sunnyside neighborhood! I have been a resident in Westwood Park, less than a mile from the store and regularly walk to this store for convenience items. I like the bike racks that have been incorporated in the design and currently there is no good spot to lock up a bike. A refreshed store would inspire me to walk or bike more often to pick up groceries and prepared foods rather than getting in my car.

The current store is in desperate need of updates and does not reflect the neighborhood, nearby elementary school, city college, or current property values of family homes that surround the area. The shelves are rusted, there is no area to sit and grab a coffee or lunch. I hesitate to take my children in this store and instead drive to other shopping centers farther away that have clean bathrooms, good lighting, convenience items that families need.

Please consider this worthy renovation.

--

Sharon Weinberg
sharon@theWeinbergs.com

"While we try to teach our children all about life, our children teach us what life is all about."

From: [Estelle Smith](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Monterey Safeway, Case No. 2010.0401C
Date: Thursday, November 20, 2014 4:22:18 PM

Marcelle,

Good afternoon. I'm writing in regards to the above referenced project. I am in full support of the project. Sunnyside and surrounding area needs this store. We have been waiting for seven years to get this completed. It will be a beautiful store, add foot traffic to the neighborhood and provide expanded shopping benefits. Please support full approval of this project so Sunnyside can get their new store.

Thank you,
Estelle Smith
300 Flood Avenue
San Francisco, CA 94112

From: [Megthor](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Monterey Safeway
Date: Wednesday, November 19, 2014 3:57:30 PM

Marcelle -

Am so pleased that we are finally going to have our Safeway remodeled.
When I reviewed the plans, they really looked nice.
A plus for the Sunnyside neighborhood.

Patty Thoresen

From: [Lisa Spinali](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Cc: [Richard Goldman](#); [Natalie Mattei](#); [Scanlon, Olivia \(BOS\)](#)
Subject: Re: Monterey Blvd Safeway update
Date: Saturday, August 23, 2014 10:24:24 PM
Attachments: [image004.png](#)
[image003.png](#)
[image002.png](#)
[image001.png](#)
[image005.png](#)

Hi Marcelle,

Thanks Richard for reaching out as our representative. I am also writing to introduce myself as the President of the SNA. I am delighted that we are included in the organization list as you noted in your email below. We are one of many but I would suggest that we are probably one of the key groups on your list as we represent the neighborhood where the Safeway is located and are the official voice for the neighborhood, as well as one of the oldest neighborhood associations in the City. (About to celebrate 40 years!) I just wanted to give you that added perspective as we have been working closely with Natalie, Olivia, Supervisors Yee and Elsbernd (as this is a long term project) and are happy to help in any way you may need as things continue to develop.

We very much look forward to working with you.

Most sincerely,
Lisa

On Wed, Aug 20, 2014 at 4:55 PM, Boudreaux, Marcelle (CPC)
<marcelle.boudreaux@sfgov.org> wrote:

Thanks Richard, for this email. I'll be sure to file this and note for the record.

You are correct, Sunnyside Neighborhood Association is included in the neighborhood organization list, for public notifications in what Planning defines as the "Outer Mission" neighborhood.

Feel free to let me know if you have further questions in the meantime.

-Marcelle

Marcelle Boudreaux, AICP
Planner, Southwest Quadrant

Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-575-9140 **Fax:** [415-558-6409](tel:415-558-6409)

Email: marcelle.boudreaux@sfgov.org

Web: www.sfplanning.org



From: Richard Goldman [mailto:richard2sf@comcast.net]

Sent: Wednesday, August 20, 2014 4:50 PM

To: Boudreaux, Marcelle (CPC)

Cc: Natalie Mattei; Lisa Spinali

Subject: Re: Monterey Blvd Safeway update

Hello Marcelle,

I'm writing to introduce myself, as one of the liasons between our Sunnyside Neighborhood Association (SNA) and the Safeway remodel project. SNA has been meeting and working closely with Natalie Mattei, of Safeway, along with SF Planning and District 7 Supervisor Yee's office these past many years on this exciting new store remodel project. We are all looking forward to its progress and completion. I am including SNA President Lisa Spinali on this email as well.

Natalie wrote us that you are now the Planner for the project with hopes of it going before the Commission this December. We all hope that things go well and smoothly, and we want you to know that SNA is fully supportive of the design and project.

We presume that we will hear from you once it is calendared and have our 30 day public comment period, and we look forward to that time.

If you have any questions or concerns, or issues come up concerning the neighborhood or changes in the project, please feel free to contact me directly at [415-819-9559](tel:415-819-9559) or via email.

I appreciate your work and attention.

Best,

Richard Goldman

Chair, Safeway Remodel Committee

Sunnyside Neighborhood Association

On Tue, Aug 19, 2014 at 11:51 AM, Natalie Mattei <Natalie.Mattei@safeway.com> wrote:

Hello Monterey Safeway Neighbors,

I hope you have enjoyed a nice summer. It was exciting to share Safeway's designs last month, which were drawn in large part as a result of our collaboration with the neighborhood.

If you missed the last email, please visit the project website to see the updated renovation details.

www.sunnysidesafewaysf.com

San Francisco's Planning Department has assigned a new planner, Marcelle Boudreaux, to the project. We met at the grocery store last week and walked the property, discussing every neighbor's feedback. Marcelle has gotten up to speed quickly. Her goal is to get the project to Planning Commission by December.

If you would like to communicate directly with Marcelle, her email is:

marcelle.boudreaux@sfgov.org

Thank you for your continued interest and input.

Sincerely,

Natalie Mattei

"Email Firewall" made the following annotations.

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Lisa Spinali
President, Sunnyside Neighborhood Association

Building our community every day

Julian and Kristine Simeoni

518 Edna Street, San Francisco

CA, 94112

e) jsimeoni@hotmail.com

p) 408 204 3528

Marcelle Boudreaux, AICP
Planner, Southwest Quadrant
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

16th of November, 2014

LETTER OF SUPPORT – case no. 2010.0401C – Safeway Monterey (625 Monterey Blvd, San Francisco, CA94112)

Dear Sir / Mam,

We are writing to provide our support for the proposed Safeway Improvement at 625 Monterey Blvd, San Francisco, Case no. 2010.0401C.

We have been Residents in the Sunnyside neighborhood since 2010 and look forward to having a new Safeway that will satisfy the needs of the local community. The current Safeway is very dated and too small to provide a diverse range of services like most Safeway stores. Sunnyside does not have a range of basic services like a pharmacy, florist, butcher and bakery. The new Safeway will go a long way in providing these basic services and a wider range of products within walking distance for many San Francisco residents who reside in the area.

We would also like to state that Safeway has gone above and beyond in satisfying requests from the community in terms of streetscape improvements to Monterey Boulevard and to the proposed design the building itself. We commend Safeway's generous and accommodating effort by providing additional improvements for the community such as 'bulb outs' at the intersection of Monterey Blvd and Forester Street and improved façade treatments.

We applaud Safeway and their staff for methodically exploring and collaborating options in tandem with the community in the process of getting the proposed design to Planning Review.

Kristine and I are very excited about this extremely well considered, thought out development that will be an invaluable asset to Sunnyside and San Francisco.

Sincerely,

Julian and Kristine Simeoni

From: [Mike Schiraldi](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Safeway plans: Looks great
Date: Sunday, November 16, 2014 4:02:52 PM

I'm a resident of Glen Park and strongly support the Sunnyside Safeway's improvements. It'll be significantly more pedestrian- and neighborhood-friendly to have an entrance facing the street, rather than the brick wall that's there now. Also, the SF planning process is long and convoluted enough; please don't add any additional delays or hurdles.

Thanks!

From: [ddprice](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Cc: [don94112@gmail.com](#); [Natalie Mattei](#)
Subject: Sunnyside Safeway
Date: Tuesday, August 19, 2014 2:42:12 PM

Please expedite this LONG OVERDUE construction plan for a new Safeway store on Monterey Blvd. in Sunnyside. The CITY has delayed and delayed this store, that almost everyone in our neighborhood WANTS. Lets finally get this done this year so it can begin construction in early 2015. Thank you. Don Price, 101 Edna , SF.

From: [Brian J. Schmidt](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Support for Sunnyside Safeway renovation
Date: Wednesday, November 19, 2014 9:58:18 PM

Dear Marcelle,

I am a Sunnyside resident and am writing to voice my support for the plan to remodel the Safeway on Monterey Boulevard. The current state of the Safeway is shameful. The plan appears to have been carefully thought out and, in my opinion, would greatly benefit the neighborhood.

Please feel free to contact me if you would like further comments.

Sincerely,
Brian Schmidt
33 Genessee St.
(415) 349-4255

From: [William Wilson](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Support of Safeway Remodel 625 Monterey Blvd.
Date: Wednesday, November 26, 2014 11:30:10 AM

Dear Planning Commissioners,

As a past president of the Sunnyside Neighborhood Association, I am very pleased to write you in support of the plans to remodel the Safeway at 625 Monterey Blvd. This plan has been many years in the making and I am pleased to be able to say that Safeway has been cooperative and responsive to the community and the neighbors when concerns have been raised about different aspects of the proposals.

I am sorry that I will be unable to attend the December meeting when you consider the plans because I know sometimes questions arise and I would be in a position to explain or set the record straight. However, let me say that I am not aware of any issue that has not been discussed in both public meetings of the SNA that Safeway representatives have attended or smaller working groups that have gone over the plans and proposals. As in any negotiations no one got everything they wanted, but the finished project is a better plan because of neighborhood input and Safeway's willingness to be open changes. I think the project will be a definite asset to our community and I hope that you will approve this project.

Sincerely,

Bill Wilson
215 Edna Street
San Francisco , Ca 94112

From: [Wendy Wang](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Support of Safeway renovation on Monterey Blvd
Date: Wednesday, November 19, 2014 2:57:25 PM

This is a great location and the neighborhood could really use an updated SAFEWAY.

Thank you!
Wendy Wang
Homeowner
101 Molimo Dr
San Francisco CA 94127

Marcelle Boudreaux, AICP
Planner, Southwest Quadrant
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

From: schachersfo@comcast.net
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Vote YES - Safeway Monterey Blvd Proposed Remodel
Date: Saturday, November 15, 2014 5:20:15 PM

Hi Marcelle -

We live in the Sunnyside neighborhood in San Francisco and wanted to express to you and the City/County of San Francisco Planning Commission our IN FAVOR vote for the Remodel proposed for the Safeway store at 625 Monterey Blvd San Francisco, CA 94127 - that address is between Foerster St. and Genessee St.

We understand that the Planning Commission will be reviewing the proposal for final approvals within the next month - we heard it'll be on the Dec. 11th meeting agenda.

We have been so patiently waiting for this remodel to be approved. It's probably been at least 6-7years or more to get to this final approval stage.

The remodel is so desperately needed, it will greatly benefit our neighbor, it will be a massive improvement both aesthetically as well as in the way of providing better services.

Please vote YES and Approve this fantastic remodel project.

Safeway has been great through the whole process and has fully engaged with our neighborhood all along the way. We highly support this project and are grateful that Safeway is willing to spend the capital to make such an improvement.

Thank you for your and the Planning Commission's YES support.

Steve & Mary Schacher
Homeowner, Flood Avenue, San Francisco in the Sunnyside Neighborhood

From: [Poinsot Wendy](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Concerns about Safeway Design for Monterey Blvd
Date: Thursday, November 20, 2014 4:30:36 PM

Hello,

As a neighbor and a former peace officer, I am concerned about the proposed Safeway redesign for Monterey Blvd. I have only parked once or twice on the roof of the existing Safeway building because of the high number of car break-ins and, as a woman, that isolated, usually deserted parking lot at night just feels like a dumb place for me to be. Unless Safeway commits to having a security guard continually on-duty at the parking area when the store is open, I feel the isolated parking area will be a magnet for criminals wanted to quickly break into cars and to rob or assault customers, all within a few minutes of a freeway entrance. Security cameras alone would not be sufficient to ensure customer safety. I do like the store redesign, I don't mind parking on the roof instead of directly out front of the store BUT Safeway would be creating an attractive nuisance at a minimum by building this isolated parking area UNLESS full time, capable, security personnel are present up there when the store is open.

Thank you,

Wendy Poinsot
143 Staples Ave.

From: [Ms. Rita](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Fwd: Monterey Blvd. Safeway Remodel Update
Date: Monday, November 17, 2014 7:30:13 AM

Retrying

MzRita's droid

----- Forwarded message -----

From: "Ms. Rita" <mzrita@gmail.com>
Date: Nov 17, 2014 7:26 AM
Subject: Fwd: Monterey Blvd. Safeway Remodel Update
To: <boudreaux@gmail.com>
Cc:

I never received any response to my email below. Hoping someone will take it into consideration for the upcoming planning meeting.

Thanks

MzRita's droid

----- Forwarded message -----

From: "Ms. Rita" <mzrita@gmail.com>
Date: Jul 27, 2014 10:13 PM
Subject: Fwd: Monterey Blvd. Safeway Remodel Update
To: <natalie.mattei@safeway.com>
Cc:

Hi Natalie,

I saw this post on neighborhood.com and after viewing the video about the project I posted this:

after watching this video of the proposed remodel project, I have two concerns as a resident whose apartment building is next to the Safeway. While I am not the building immediately east of the Safeway, I am the bldg. adjoined to it. 1) the fact that the loading garage is now even closer in proximity to our bldg....the noise pollution with the large trucks and power washings we receive from it currently is bad enough, I hope they are taking that into consideration of their build. 2) the rooftop parking lot proposal looks like it conjoins with the top of 617...this is extremely concerning from a safety standpoint as it would provide easy access to our rooftops (617 & 615 Monterey) and back/inner stairwells to our units and garages for any would be shady character. I would love to hear from one of the representatives on how this will be addressed.

and received this in response:

[Richard Goldman](#) from Sunnyside 1h ago

@Rita: good points, and I hear your concerns, and suggest you contact the project manager directly, as she has been working closely with neighbors on this project: The loading dock/noise seems to be a non-issue, as the new mechanical door of the dock will be a type that makes no noise going up/down, and once inside, the dock will be insulated to noise outside, is my understanding. Best to check with Natalie. Safeway needs to take your roof access into consideration. Natalie Mattei whose email is: natalie.mattei@safeway.com is project manager. Please write her and inquire about the safety/roof access to 617/615. Let us know what you find out please. ~Richard

So, this brings me to why I'm emailing you. I am hoping you can address my concern about the roof access to 617/615 Monterey from the proposed safeway rooftop parking lot. Also wondering if you have any further information about the loading dock area aside from what Richard shared.

I look forward to hearing from you and thank you in advance.

Rita

Ms. Rita R. Anderson
[917.497.6062](tel:917.497.6062)



----- Forwarded message -----

From: **Nextdoor Sunnyside** <reply@r.email.nextdoor.com>
Date: Tue, Jul 22, 2014 at 4:08 PM
Subject: Monterey Blvd. Safeway Remodel Update
To: mzrita@gmail.com

 Richard Goldman, Sunnyside LEAD

Sunnyside Neighborhood Association in conjunction with District 7 Supervisor Norman Yee's office have been working with Safeway and The City, and diligently following and shepherding this project along since its earliest days (many years ago now), and we are super excited to share this news with you all, from Safeway's Real Estate Manager, Natalie Mattei:



Hello Monterey Safeway Neighbors,
I'm excited to provide an update on the Safeway renovation.
Please visit the project website to see the updated architecture and renovation details.

From: [Ms. Rita](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Fwd: RE: Monterey Safeway Goes to Planning Commission !
Date: Monday, November 17, 2014 7:27:57 AM

MzRita's droid

Hi Rita,

Thanks for forwarding. I'll forward this along to the owner for her review.

Marcus

From: Ms. Rita [mailto:mzrita@gmail.com]
Sent: Friday, November 14, 2014 5:05 PM
To: Marcus Gaetani
Subject: Fwd: Monterey Safeway Goes to Planning Commission !

Hey Marcus,

Wanted to make sure you guys (and the owner of our bldg) are aware of this planning meeting coming up in relation to the Safeway remodel.

I had tried to reach out to a contact I was given before because I have concerns over the plans connecting to the bldg next to us and seemingly giving open access to our rooftop due to the level of the parking lot and the increased risk that poses to the security of our property. Also have concerns about the loading dock area being located right next to us...its bad enough the noise pollution we experience between 12a-4a with its current location (late night deliveries, large truck reversal beeping, power washing, etc -- it all echos along the back of our bldg). Anyway, never received a response from the person. (I'm going to forward that email to you under sepearate cover).

It would be great if you guys could send a representative to that meeting on our behalf! I love my apartment/neighborhood and I understand the need for and upgrade to that Safeway, but I want to be sure they are taking the neighbors into consideration.

Thanks!

Rita

From: turtletush@yahoo.com
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Fwd: Sunnyside Safeway project comments due Nov. 26
Date: Friday, November 21, 2014 10:16:18 PM

Sent from my iPhone

Begin forwarded message:

From: turtletush@yahoo.com
Date: November 21, 2014 at 10:03:23 PM PST
To: Daphne Powell <daphne_powell@yahoo.com>
Subject: Re: Sunnyside Safeway project comments due Nov. 26

Hi Daphne,

I'd like to thank you first of all for all your work& input into this project. I'm working full time and with my dad every other weekend... 80 miles away.

I don't have the "woman hours"to put into this change which will effect us all.

Yes, I agree a nicer Safeway would be beneficial, but at what cost to us who live here ?

I'm 3 'rd generation here, and they have NEVER honored agreements.

I'm still woken up Sunday mornings with blowers at 6/7 a. m

Last night, Thursday, I'm listening to steam cleaners at 9 p.m. It's. 50 ft from my bedroom. Trucks are still sitting idle with Diesel engines running for 30 minutes plus unless we call. They are on our speed dial :(

So, to say they have been doing things in " good faith" isn't my experience.

I've given up dealing with them . It's business and they will do what they will. But, let me warn you, when this construction starts close off all you can. My grandparents went through hell and dirt ...

Has anyone asked who's going to clean our houses during & after.Wash off concrete dust/ diesel junk? Get construction waste out of our yards? Believe me... It will be EVERYWHERE. I remember as kids we would help my grandparents clean up the mess. They killed these gardens, and damaged foundations to patios. Piledrivers shook the house and made cracks in the walls. Are they going to repair them? They didn't then....

These are the questions I have. I hope to have a voice on these issues @ future meetings, if I can be there . Please forward my message to all .

Again, thank you for all you've done

Chris Warne

532 hears

Sent from my iPhone

From: [Daphne Powell](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: Re: Monterey Safeway project case no. 2010.0401C
Date: Wednesday, November 26, 2014 4:19:35 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Marcelle Boudreaux, AICP
Planner, Southwest Quadrant
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

Dear Marcelle Boudreaux:

I am adding a further explanation to my comment, since after corresponding with Natalie Mattei at Safeway, I realized that it may need further clarification.

As I stated earlier, I support keeping Safeway's current operating hours, 6:00 a.m. to 12 midnight. I am opposed to Safeway obtaining a variance to extend the operating hours to 2:00 a.m., and Natalie is aware of my opinion.

However, I have worked together with Natalie and the Sunnyside Neighborhood Association (SNA) to create a Memorandum of Understanding (MOU) that outlines steps that Safeway will take before deciding to extend the operating hours in the event that it does obtain a variance. If it is granted a variance by the Planning Commission, I am confident that Safeway will comply with the MOU as agreed upon, should it in the future wish to extend its hours. This is based on my previous experience of working with Natalie as Safeway's representative on the concerns and issues brought up by the neighborhood.

Above all, I hope that you will count my letter as one in support of the renovation project as a whole, as I do think the renovated Safeway will benefit the Sunnyside neighborhood.

Sincerely,

Daphne Powell
518 Hearst Ave.
San Francisco, CA 94112

From: "Boudreaux, Marcelle (CPC)" <marcelle.boudreaux@sfgov.org>
To: Daphne Powell <daphne_powell@yahoo.com>
Sent: Tuesday, November 25, 2014 6:16 PM
Subject: RE: Monterey Safeway project case no. 2010.0401C

Thank you for the comment, it will be included in the case packet to Commissioners. The Planning Commission hearing is scheduled for December 11 and members of the public can attend the hearing to speak; the Planning Commission is held in Room 400 at City Hall starting at noon. Feel free to review the Planning Department website, Planning Commission agendas, for more information, including the case report and Department recommendation -- <http://www.sf-planning.org/>. The case report will be prepared a week prior to the hearing date, and linkable from the online agenda.

Please let me know if you have any further questions.

Marcelle Boudreaux, AICP
Preservation Technical Specialist/Planner, Southwest Quadrant

Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

Direct: 415-575-9140 **Fax:** 415-558-6409

Email: marcelle.boudreaux@sfgov.org

Web: www.sfplanning.org



From: Daphne Powell [mailto:daphne_powell@yahoo.com]
Sent: Monday, November 24, 2014 2:41 PM
To: Boudreaux, Marcelle (CPC)
Subject: Monterey Safeway project case no. 2010.0401C

Marcelle Boudreaux, AICP
Planner, Southwest Quadrant
Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

Dear Marcelle Boudreaux:

I am writing as a homeowner and neighbor of the proposed Safeway remodel at 625 Monterey Blvd. in San Francisco. My backyard adjoins the Safeway parking lot.

I am in support of this project and feel it will benefit our neighborhood to have an updated, renovated Safeway. In my opinion, Safeway has worked in good faith with the neighborhood over a period of seven years to address the various issues and concerns brought up by neighbors, such as safety, noise, traffic, parking, visual design, and the overall needs of the community.

I support keeping the store's operating hours the same as they are currently: 6:00 a.m. to 12:00 midnight. I do not support extending the operating hours to 2:00 a.m. Noise from the existing parking lot can be heard inside our home and other homes whose backyards adjoin the parking lot. It is unfair to nearby neighbors to increase the operating hours, subjecting us to more hours of noise from the parking lot.

I urge the Planning Commission to approve this project. I also urge the Planning Commission to keep the operating hours as they are currently, 6:00 am to 12:00 midnight.

Sincerely,
Daphne Powell
518 Hearst Ave.
San Francisco, CA 94112



SAFeway 

STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

PROJECT TEAM

OWNER
SAFeway
5918 Stoneridge Mall Road
Pleasanton, CA 94588-2860
ATTN: Natalie Mattei
TEL: (925) 467-3063

ARCHITECT
MCG ARCHITECTURE
250 Sutter Street, #500
San Francisco, CA 94108
ATTN: Young Wong
TEL: (415) 974-6002

STRUCTURAL ENGINEER
ESTRUCTURE
8331 Kent Court
El Cerrito, CA 94530
ATTN: Maryann Phipps
TEL: (510) 235-3116

ARCHITECT
ADS, LLC
19363 Willamette Dr., #167
West Linn, OR 97068
ATTN: Francisco Varela
TEL: (503) 267-3677

ELECTRICAL ENGINEER
BELDEN
6670 Amador Plaza Road
Dublin, California 94568
ATTN: Kevin Moore
TEL: (925) 829-0772

CIVIL ENGINEER
KIER & WRIGHT
2850 Collier Canyon Rd.
Livermore, CA 94551
ATTN: Tony Cattedra
TEL: (925) 215-7730

COVER SHEET
SHEET A1
NOVEMBER 26, 2014

PROJECT DESCRIPTION

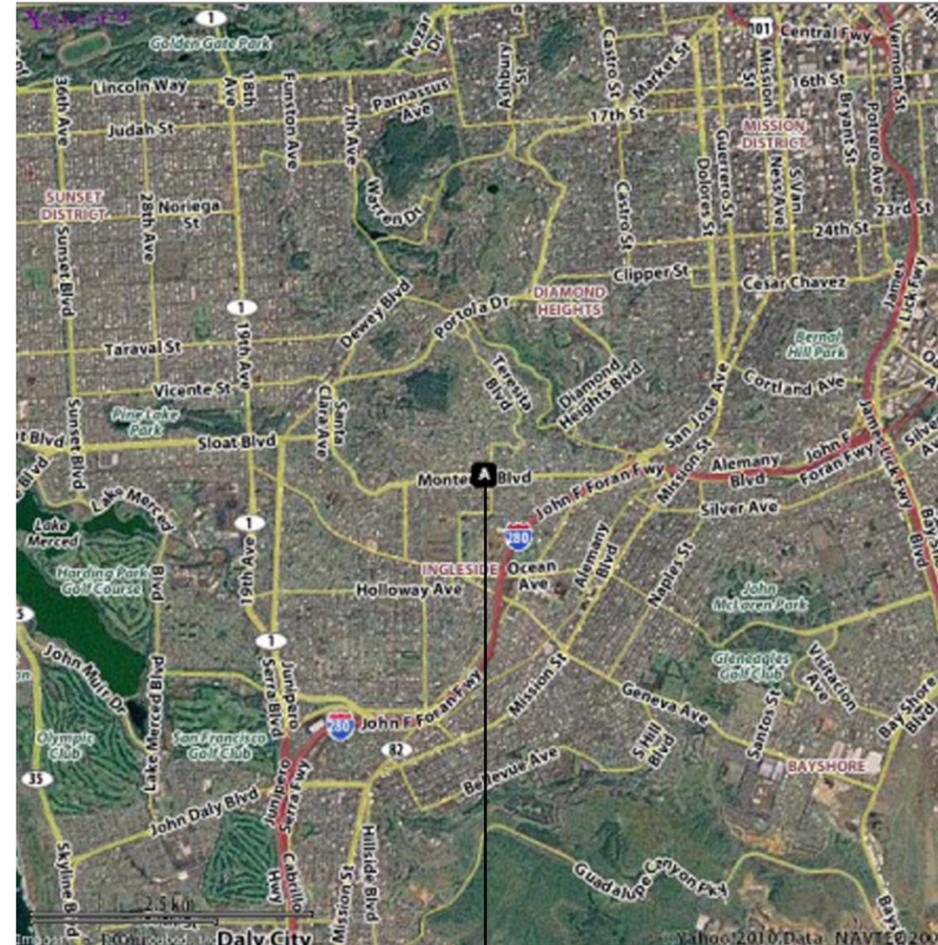
The existing Safeway store consists of a single level building covering approximately one half of the total square footage of the two combined lots. Parking is provided on the balance of the site on the ground level, and on the roof of the store.

The scope of the proposed project consists of structurally upgrading the existing building and increasing the square footage over the footprint of the existing parking area. On-site parking will be placed over the entire roof of the expanded building. The increased square footage will provide the surrounding community with an enhanced grocery shopping environment and a higher level of customer service amenities.

Interior square footage is also increased with the addition of a basement level on the east side of the store. Truck deliveries will be facilitated through a street level loading dock. Modifications to the existing public right-of-way and street median are planned to accommodate truck turning radius requirements.

The existing retaining wall along the south edge of the site is planned to remain so disturbance to neighboring properties will be kept to a minimum. The structural foundation has been designed to incorporate this retaining wall while maintaining compliance with all current building codes.

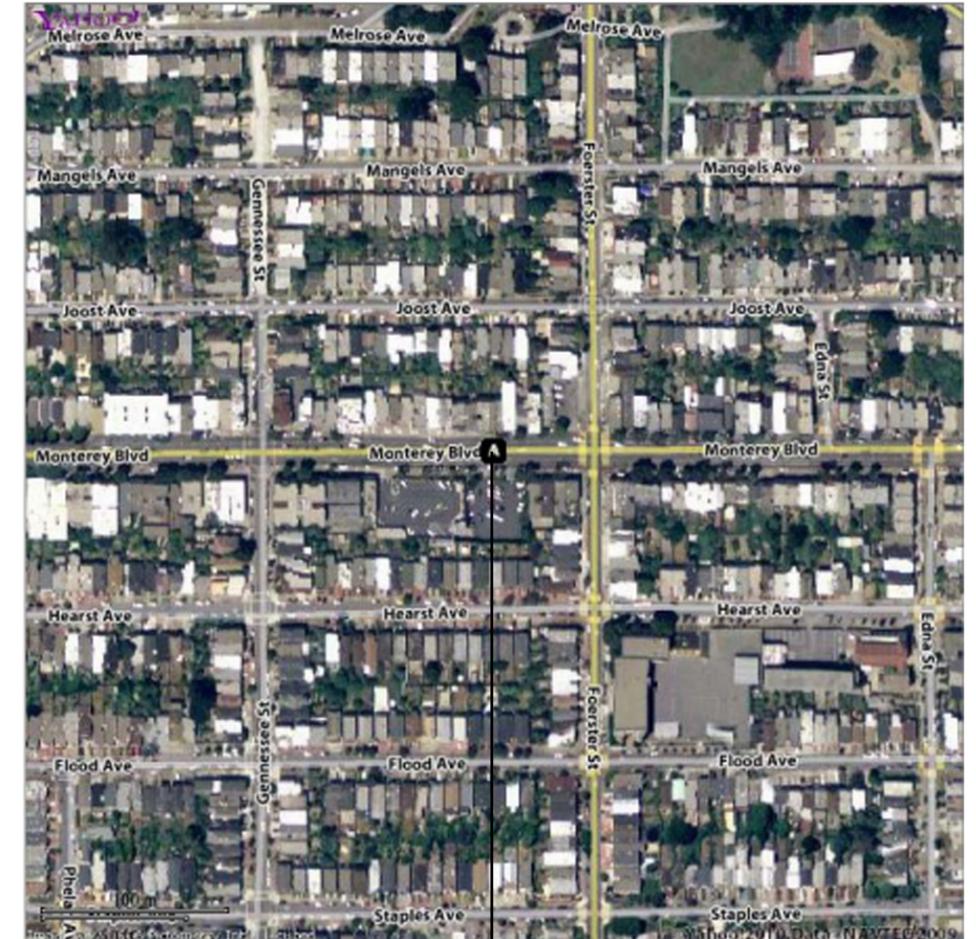
REGIONAL MAP



PROJECT SITE



VICINITY MAP



PROJECT SITE



SHEET INDEX

- A1 COVER SHEET
- A2 PROJECT DATA
- A2A EXISTING PHOTOS
- A2B COMMUNITY & CITY INTERESTS
- C1 EXISTING SITE PLAN
- C2 TOPOGRAPHIC SURVEY
- C3 SITE PLAN ROOF PARKING
- C4 SITE PLAN GROUND LEVEL
- C5 ENLARGED STREETSCAPE PLAN
- C5A ENLARGED STREETSCAPE PLAN
- C6 ENLARGED ROOF PARKING PLAN
- A3 BIRD'S-EYE VIEW
- A4 ENTRANCE PERSPECTIVE
- A5 MONTEREY BLVD. PERSPECTIVE 2

- A6 ROOFTOP VESTIBULE
- A7 BIRD'S-EYE VIEW 2
- A8 VIEW OF COMMUNITY MURAL
- A9 COLORED FRONT (NORTH) ELEVATION & MATERIALS PALETTE
- A10 COLORED REAR (SOUTH) ELEVATION
- A11 FRONT (NORTH) ELEVATION SECTION HEIGHTS
- A12 REAR (SOUTH) ELEVATION SECTION HEIGHTS
- A13 EAST ELEVATION SECTION HEIGHTS
- A14 WEST ELEVATION SECTION HEIGHTS
- A15 FIXTURE FLOOR PLAN
- XA161.3 SECTIONS
- XA161.4 SECTIONS
- XA161.10 3D (ISOMETRIC VIEW)
- A16 SIGNAGE CALCULATION
- A17 PHOTOMETRIC PLAN
- A18 MATERIALS BOARD



STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

PROJECT DATA
SHEET A2
NOVEMBER 26, 2014



SAFEWAY 

STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

EXISTING SITE PHOTOS
SHEET A2A
NOVEMBER 26, 2014



STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

EXISTING SITE PLAN - COMMUNITY & CITY INTERESTS

SHEET A2B

NOVEMBER 26, 2014



REVISION SCHEDULE		
DELTA	NUMBER	DATE

EXISTING PARKING	
ON-SITE PARKING:	
ROOF LEVEL - ACCESSIBLE STALLS:	1
ROOF LEVEL - STANDARD STALLS:	26
GROUND LEVEL - ACCESSIBLE STALLS:	2
GROUND LEVEL - STANDARD STALLS:	35
TOTAL:	64
ON-STREET PARKING:	
SAFeway FRONTAGE:	11

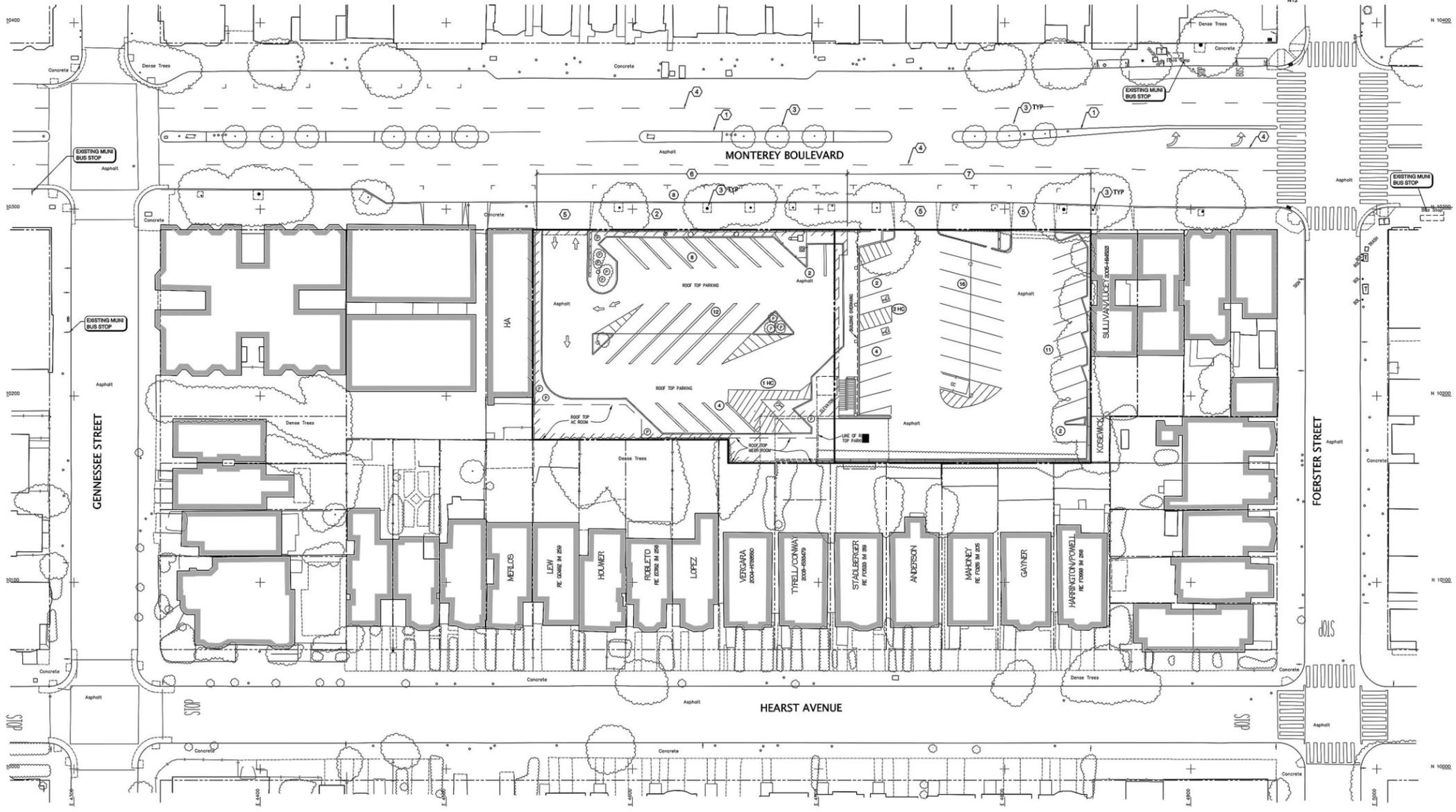
EXISTING BUILDING SQUARE FOOTAGE:	
GROSS:	19,079
NET OCCUPIED:	10,186

KEY NOTES

- 1 EXISTING MEDIAN ISLAND
- 2 EXISTING SIDEWALK AND CURB
- 3 EXISTING TREE / TREE WELL (NO GRATE)
- 4 EXISTING PAVEMENT STRIPING
- 5 EXISTING DRIVEWAY
- 6 EXISTING ROOF TOP PARKING
- 7 EXISTING AT GROUND LEVEL PARKING

LEGEND

<p>/// BUILDING LINE AT GROUND LEVEL</p> <p>--- BUILDING OVERHANG</p> <p>--- BACK OF WALK</p> <p>--- CONCRETE CURB</p> <p>--- CONCRETE/BLK/RETAINING WALL</p> <p>--- CONTOUR LINE</p> <p>--- SPOT ELEVATION</p> <p>--- ELEVATION</p> <p>--- EASTMENT LINE</p> <p>--- FENCE LINE</p> <p>--- GAS LINE - WALK & METER</p> <p>--- CITY OF SAN FRANCISCO MONUMENT LINE</p> <p>--- OVERHEAD CABLE TELEVISION LINE</p> <p>--- CABLE TELEVISION LINE</p> <p>--- PROPERTY LINE</p> <p>--- SANITARY SEWER - MANHOLE & CLEANOUT</p> <p>--- SEWER</p> <p>--- TELEPHONE</p> <p>--- WATER LINE & VALVE</p> <p>--- BOLLARD</p> <p>--- CATCH BASIN</p> <p>--- CORNER</p> <p>--- ELECTRIC BOX</p> <p>--- FIRE DEPARTMENT CONNECTION</p> <p>--- FIRE HYDRANT</p> <p>--- GUY WIRE</p> <p>--- HATCHED PARKING SYMBOL</p> <p>--- MANHOLE</p> <p>--- POST INDICATOR VALVE</p> <p>--- POWER POLE/JOINT POLE</p> <p>--- STREET LIGHT</p> <p>--- TRAFFIC BOX</p>	<p>--- TRAFFIC SIGN</p> <p>--- TRANSFORMER</p> <p>--- UTILITY BOX</p> <p>--- WATER METER</p> <p>--- WATER METER</p> <p>--- ABOVE FINISH FLOOR</p> <p>--- BACK OF CURB</p> <p>--- BACK OF WALK</p> <p>--- BUILDING</p> <p>--- BOTTOM</p> <p>--- CABLE TELEVISION BOX</p> <p>--- CATCH BASIN</p> <p>--- CAST CURB</p> <p>--- OFFICIAL RECORD</p> <p>--- RECORD DATA</p> <p>--- ABOVE GRADE PLANTER</p> <p>--- CEILING</p> <p>--- CLEANOUT</p> <p>--- CONCRETE</p> <p>--- DRAIN</p> <p>--- EAST</p> <p>--- EDGE OF PAVEMENT</p> <p>--- ELECTRIC BOX</p> <p>--- ELECTRIC WALL</p> <p>--- FACE OF CURB</p> <p>--- FACE OF WALK</p> <p>--- FENCE</p> <p>--- FINISH FLOOR</p> <p>--- FIRE DEPARTMENT CONNECTION</p> <p>--- FIRE HYDRANT</p> <p>--- FLOW LINE</p>	<p>--- GAS VALVE</p> <p>--- GRADE BREAK</p> <p>--- HATCH ELEVATION</p> <p>--- IRIGATION</p> <p>--- NORTH</p> <p>--- POINT OF COMMENCEMENT</p> <p>--- POINT OF BEGINNING</p> <p>--- POWER POLE</p> <p>--- PROPERTY LINE</p> <p>--- RIGHT OF WAY</p> <p>--- RM ELEVATION</p> <p>--- SANITARY SEWER</p> <p>--- SANITARY SEWER MANHOLE</p> <p>--- SOUTH</p> <p>--- SQUARE FEET</p> <p>--- STREET LIGHT</p> <p>--- STREET LIGHT BOX</p> <p>--- TELEPHONE BOX</p> <p>--- TOP OF CURB</p> <p>--- TOP OF CURB RISE</p> <p>--- TELEPHONE BOX</p> <p>--- TOP OF STEP</p> <p>--- VERIFIED CLAY PIPE</p> <p>--- WATER VALVE</p> <p>--- WEST</p> <p>--- FOUND BRASS BOX</p> <p>--- SAN FRANCISCO DEPT. OF PUBLIC WORKS</p> <p>--- FOUND GRANITE MONUMENT IN WELL BOX</p> <p>--- PARKING STALL COUNT</p> <p>--- ADA PARKING STALL COUNT</p>
---	---	---



BASED ON CRITERIA MASTER	ISSUED: 11.15.12
SUBMITTAL DATES	
OWNER:	02.24.14
PLANNING DEPT:	06.23.14
D.T.R.:	XXLXXLXX

KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 2850 Collier Canyon Road
 Livermore, California 94551
 Phone (925) 245-8788
 Fax (925) 245-8796
 scd@kierwright.com

PROJECT NO.	AD8863-2
DRAWN BY:	HLH
CHECKED BY:	TC

SAFeway #0759
 SAN FRANCISCO, CA
 25-2983-0000
 625 MONTEREY BOULEVARD

SHEET TITLE	
EXISTING SITE PLAN	
SHEET NO.	
C1	
OF 6 SHEETS	

NOVEMBER 26, 2014

Z:\000\A00603-2\A00603-2-FIG version 8.dwg 7-09-14 05:31:54 PM K.Walker



NOTES

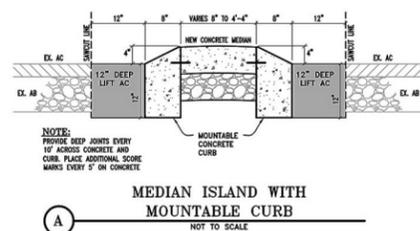
- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN PRELIMINARY TITLE REPORTS PREPARED BY CHICAGO TITLE COMPANY, DATED NOVEMBER 26, 2008, NUMBERS 08-390985644444 & 08-390985644444. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORTS THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF UNLESS NOTED OTHERWISE.
- BENCHMARK: CITY OF SAN FRANCISCO BM FOUND CUT "4" ON EAST END OF CENTER ISLAND IN MONTEREY BOULEVARD, WEST SIDE OF INTERSECTION WITH GENESSEE STREET. ELEVATION = 334.26 FEET CITY OF SAN FRANCISCO DATUM.
- THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOMETRIC METHODS BY HJM GEOSPATIAL, INC. IN OAKLAND CALIFORNIA, JOB NUMBER 08-287, IN AREAS OF DENSE VEGETATION. ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY 12-31-2008, ORIGINAL COMPILED MAP SCALE 1"=50', CONTOUR INTERVAL ONE FOOT.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL OCCUPATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

LEGEND

	BUILDING LINE AT GROUND LEVEL		TRAFFIC SIGN		GAS VALVE
	BUILDING OVERHANG		UTILITY BOX		GAS BREAK
	BACK OF WALK		WATER METER		INSET ELEVATION
	CONCRETE CURB		WATER VALVE		IRRIGATION
	CONCRETE BLOCK RETAINING WALL		LIGHT		POINT OF COMMENCEMENT
	CONCRETE CURB & GUTTER		NORTH		POINT OF BEGINNING
	SANITARY SEWER MANHOLE & CLEANOUT		POINT OF SALE		PROPERTY LINE
	ELECTRIC LINE		RIGHT OF WAY		SANITARY SEWER
	GAS LINE		SANITARY SEWER MANHOLE		SQUARE FEET
	EASEMENT LINE		STREET LIGHT		STREET LIGHT BOX
	CITY OF SAN FRANCISCO MONUMENT LINE		TELEPHONE BOX		TOP OF CURB
	CABLE TELEVISION LINE		TELEPHONE POLE		TOP OF CURB RED
	PROPERTY LINE		WATER VALVE		TELEPHONE BOX
	SANITARY SEWER MANHOLE & CLEANOUT		METER VALVE		TOP OF WALK
	TELEPHONE		FIRE DEPARTMENT CONNECTION		FIRE HYDRANT
	WATER LINE & VALVE		STREET LIGHT		FLOW LINE
	BOLLARD		TRAFFIC SIGN		
	CATCH BASIN				
	CORNER				
	ELECTRIC BOX				
	FIRE DEPARTMENT CONNECTION				
	FIRE HYDRANT				
	GAS VALVE				
	INSET ELEVATION				
	IRRIGATION				
	LIGHT				
	POINT OF COMMENCEMENT				
	POINT OF BEGINNING				
	PROPERTY LINE				
	SANITARY SEWER				
	SANITARY SEWER MANHOLE				
	SQUARE FEET				
	STREET LIGHT				
	STREET LIGHT BOX				
	TOP OF CURB				
	TOP OF CURB RED				
	TELEPHONE BOX				
	TOP OF WALK				
	TRAFFIC SIGN				
	UTILITY BOX				
	WATER METER				
	WATER VALVE				
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	TOP OF CURB RED				
	TELEPHONE BOX				
	TOP OF WALK				
	TRAFFIC SIGN				
	UTILITY BOX				
	WATER METER				
	WATER VALVE				
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	PROPERTY LINE				
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	SANITARY SEWER MANHOLE				
	SQUARE FEET				
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	STREET LIGHT BOX				
	TOP OF CURB				
	TOP OF CURB RED				
	TELEPHONE BOX				
	TOP OF WALK				
	TRAFFIC SIGN				
	UTILITY BOX				
	WATER METER				
	WATER VALVE				
	INSET ELEVATION				
	IRRIGATION				
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	POINT OF COMMENCEMENT				
	POINT OF BEGINNING				
	PROPERTY LINE				
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	TOP OF CURB RED				
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	TOP OF CURB RED				
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	TRAFFIC SIGN				
	UTILITY BOX				
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	WATER VALVE				
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	LIGHT				
	POINT OF COMMENCEMENT				
	POINT OF BEGINNING				
	PROPERTY LINE				
	SANITARY SEWER				
	SANITARY SEWER MANHOLE				
	SQUARE FEET				
	STREET LIGHT				
	STREET LIGHT BOX				
	TOP OF CURB				
	TOP OF CURB RED				
	TELEPHONE BOX				
	TOP OF WALK				
	TRAFFIC SIGN				
	UTILITY BOX				
	WATER METER				
	WATER VALVE				
	INSET ELEVATION				
	IRRIGATION				
	LIGHT				
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	PROPERTY LINE				
	SANITARY SEWER				
	SANITARY SEWER MANHOLE				
	SQUARE FEET				
	STREET LIGHT				
	STREET LIGHT BOX				
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	TRAFFIC SIGN				
	UTILITY BOX				
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	INSET ELEVATION				
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	SANITARY SEWER MANHOLE				
	SQUARE FEET				
	STREET LIGHT				
	STREET LIGHT BOX				
	TOP OF CURB				
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	TELEPHONE BOX				
	TOP OF WALK				
	TRAFFIC SIGN				
	UTILITY BOX				
	WATER METER				
	WATER VALVE				
	INSET ELEVATION				
	IRRIGATION				
	LIGHT				
	POINT OF COMMENCEMENT				
	POINT OF BEGINNING				
	PROPERTY LINE				
	SANITARY SEWER				



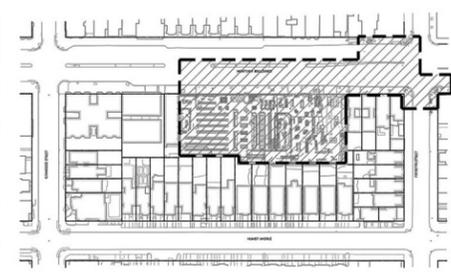
STAMP



MEDIAN ISLAND WITH MOUNTABLE CURB

NOT TO SCALE

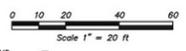
PROPOSED PARKING PROVIDED	
ON-SITE PARKING:	
ACCESSIBLE STALLS:	4
STANDARD STALLS:	72
COMPACT:	6
CAR SHARE:	1
TOTAL:	83
ON-STREET PARKING:	
SAFeway FRONTAGE:	6



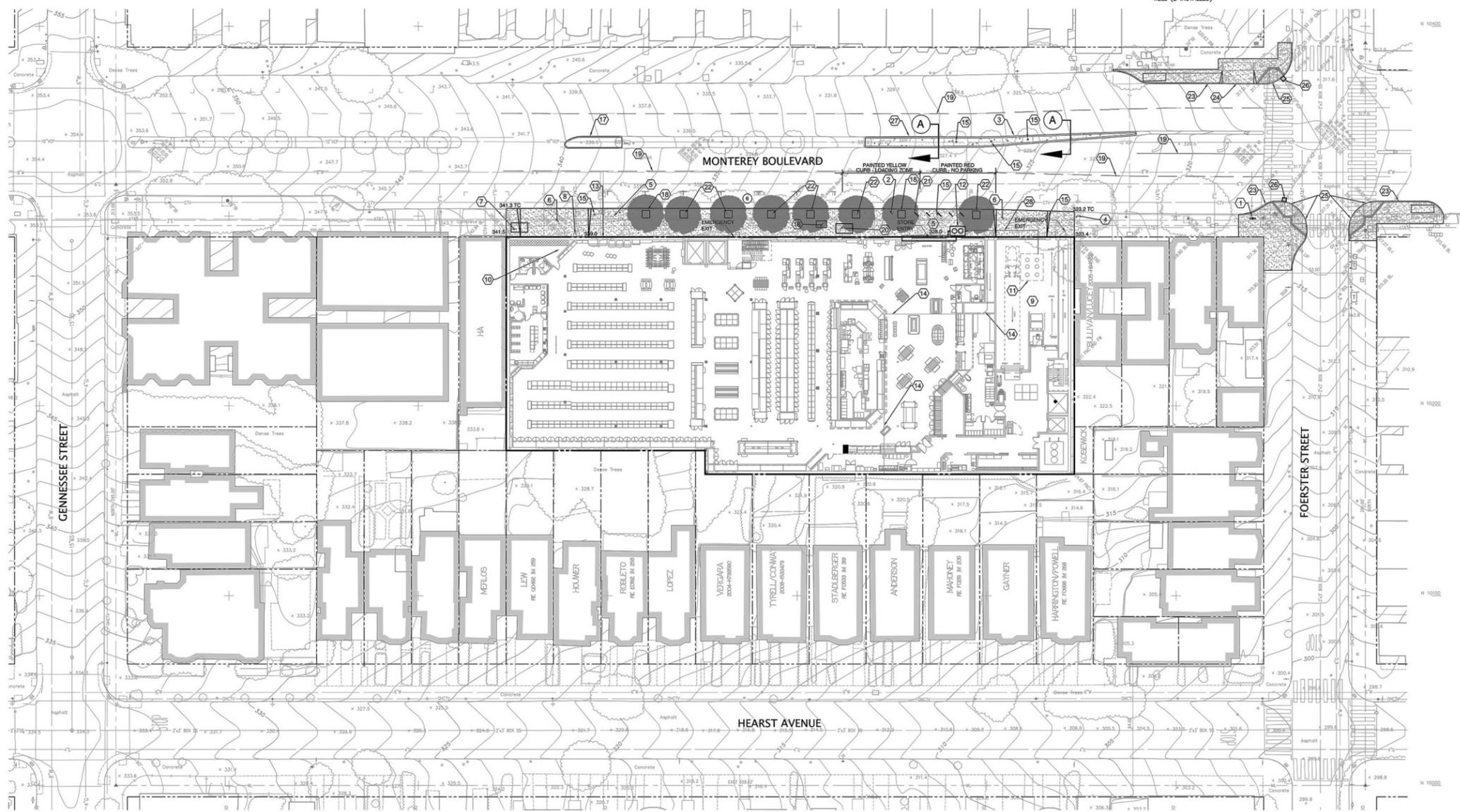
KEY MAP

KEY NOTES

- 1 EXISTING FIRE HYDRANT TO REMAIN
- 2 EXISTING DRIVEWAY TO BE REMOVED
- 3 REMOVE 107' OF EXISTING MEDIAN ISLAND AND CONSTRUCT NEW MEDIAN ISLAND WITH MOUNTABLE CURB
- 4 EXISTING TREE TO REMAIN
- 5 EXISTING SIDEWALK AND CURB TO BE REPLACED WITH CITY STANDARD SIDEWALK AND CURB AND GUTTER
- 6 EXISTING DRIVEWAY TO BE REMOVED AND REPLACED
- 7 EXISTING BELOW GRADE TRANSFORMER TO REMAIN
- 8 EXISTING BELOW GRADE GAS METER TO BE REMOVED AND NEW GAS METER INSTALLED ON ROOF PARKING
- 9 PROPOSED ENCLOSED RECEIVING DOCK
- 10 PROPOSED FIRE SERVICE (P/W AND DDCV)
- 11 PROPOSED BELOW GRADE STORM WATER STORAGE TANK
- 12 PROPOSED 1500 GALLON GREASE INTERCEPTOR
- 13 PROPOSED FIRE SERVICE (FDC)
- 14 PROPOSED BUILDING BASEMENT OUTLINE
- 15 EXISTING TREE TO BE REMOVED (6 REMOVED)
- 16 EXISTING BELOW GRADE ELECTRICAL VAULT TO REMAIN FOR NEW PRIMARY SERVICE
- 17 NEW MEDIAN ISLAND WITH LANDSCAPING
- 18 NEW TREE IN NEW 4' X 4' GRATELESS TREE WELL (2 INSTALLED)
- 19 NEW ROADWAY LANE STRIPING
- 20 NEW BELOW GRADE TRANSFORMER AND VAULT
- 21 CLASS II BIKE PARKING RACK - 9 TOTAL (5 STREET LEVEL 4 ROOF PARKING)
- 22 EXISTING TREE IN NEW 4' X 4' GRATELESS TREE WELL
- 23 NEW SIDEWALK BULB OUT
- 24 NEW DRIVEWAY APPROACH
- 25 NEW CURB RAMP
- 26 NEW STORM WATER INLET
- 27 NEW MEDIAN ISLAND WITH MOUNTABLE CURB
- 28 PROPOSED STORM DRAIN FROM CISTERN



REVISION SCHEDULE		
DELTA	NUMBER	DATE



BASED ON CRITERIA MASTER	
ISSUED: 11.18.12	
SUBMITTAL DATES	
OWNER:	02.24.14
PLANNING DEPT.:	08.28.14
O.T.B.:	XX/XX/XX

KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 Phone (925) 245-8788
 2850 Collier Canyon Road
 Livermore, California 94551
 Fax (925) 245-8796
 scalcagno@kierwright.com

PROJECT NO.	
149863-2	
DRAWN BY: NH	
CHECKED BY: TC	

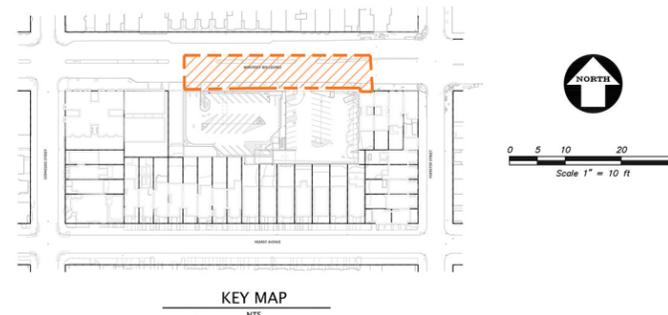
SAFeway #0759
 SAN FRANCISCO, CA
 25-2983-0000
 625 MONTEREY BOULEVARD

NOVEMBER 26, 2014
 SHEET TITLE
 SITE PLAN
 GROUND LEVEL
 SHEET NO.
C4
 OF 6 SHEETS

3:30085\ADMIN\25-2983-0000\25-2983-0000-01.dwg 2:10:14 08:28:08 AM Kierwin

KEY NOTES

- 1 CLASS II BIKE PARKING RACK - 9 TOTAL (5 STREET LEVEL, 4 ROOF PARKING)
- 2 EXISTING DRIVEWAY TO BE REMOVED
- 3 REMOVE 107' OF EXISTING MEDIAN ISLAND AND CONSTRUCT NEW MEDIAN ISLAND WITH MOUNTABLE CURB
- 4 EXISTING TREE TO REMAIN
- 5 EXISTING SIDEWALK AND CURB TO BE REPLACED WITH CITY STANDARD SIDEWALK AND CURB AND GUTTER
- 6 EXISTING DRIVEWAY TO BE REMOVED AND REPLACED
- 7 EXISTING BELOW GRADE ELECTRICAL VAULT TO REMAIN FOR NEW PRIMARY SERVICE
- 8 NEW BELOW GRADE TRANSFORMER AND VAULT
- 9 PROPOSED FIRE SERVICE (FDC)
- 10 CARTRONICS (CART SECURITY) ACROSS DRIVEWAY
- 11 NON-AUDIBLE PEDESTRIAN WARNING SYSTEM AT PARKING DECK DRIVEWAY
- 12 EXISTING TREE TO BE REMOVED (6 REMOVED)
- 13 NEW MEDIAN ISLAND WITH MOUNTABLE CURB
- 14 NEW MEDIAN ISLAND WITH LANDSCAPING
- 15 NEW TREE IN NEW 4' X 4' GRATELESS TREE WELL (2 INSTALLED)
- 16 NEW ROADWAY LANE STRIPING
- 17 EXISTING BELOW GRADE GAS METER TO BE REMOVED AND NEW GAS METER INSTALLED ON ROOF PARKING
- 18 EXISTING TREE IN NEW 4' X 4' GRATELESS TREE WELL
- 19 EXISTING BELOW GRADE TRANSFORMER TO REMAIN
- 20 PROPOSED 1500 GALLON GREASE INTERCEPTOR
- 21 PROPOSED STORM DRAIN FROM CISTERN



SAFEMWAY
STAMP

REVISION	SCHEDULE	DELTA NUMBER	DATE

BASED ON CRITERIA MASTER ISSUED: 11.19.12

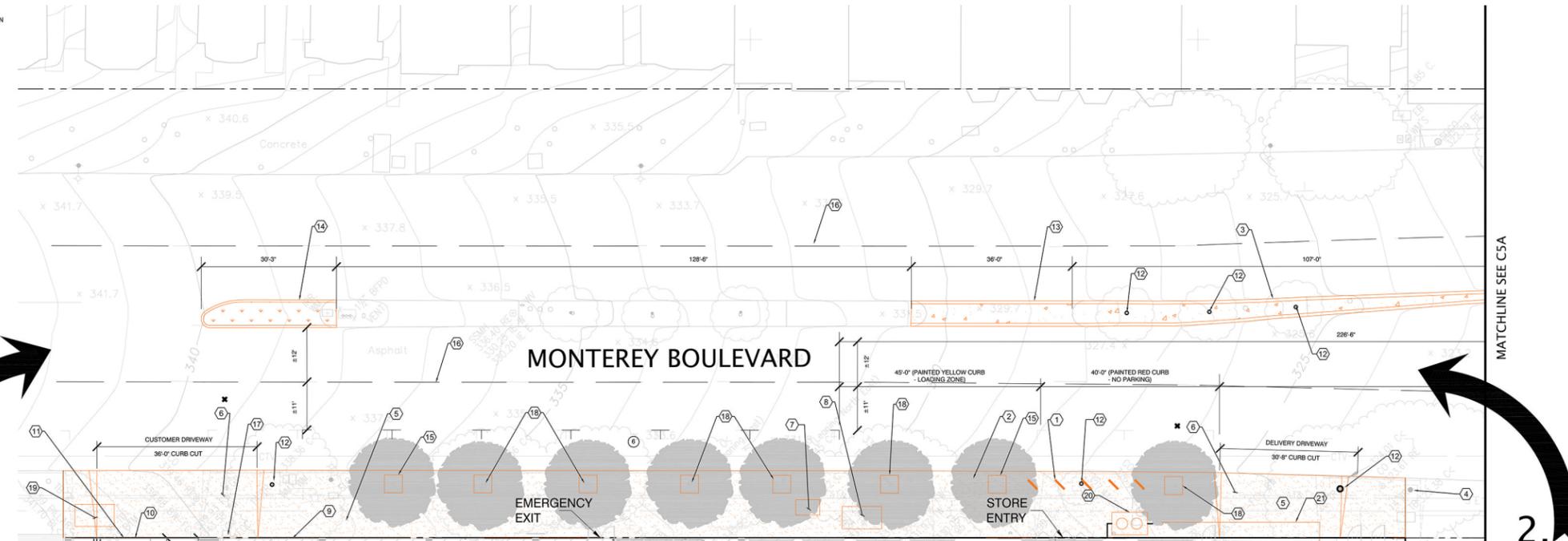
SUBMITTAL DATES

OWNER: 02.24.14

PLANNING DEPT: 06.23.14

G.T.B.: 03.03.00

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796
scalcagno@kierwright.com



1. LOOKING EAST DOWN MONTEREY BOULEVARD AT ENHANCED MEDIAN WITH LANDSCAPING



2. LOOKING WEST UP MONTEREY BOULEVARD AT NEW MOUNTABLE MEDIAN

PROJECT NO. A0863-2

DRAWN BY: NEH

CHECKED BY: TC

SAFEMWAY #0759
SAN FRANCISCO, CA
25-2983-0000
625 MONTEREY BOULEVARD

NOVEMBER 26, 2014

SHEET TITLE
ENLARGED
STREETSCAPE
PLAN

SHEET NO.
C5

OF 7 SHEETS



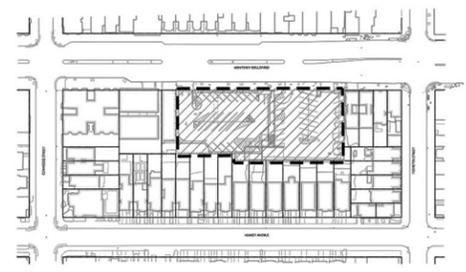
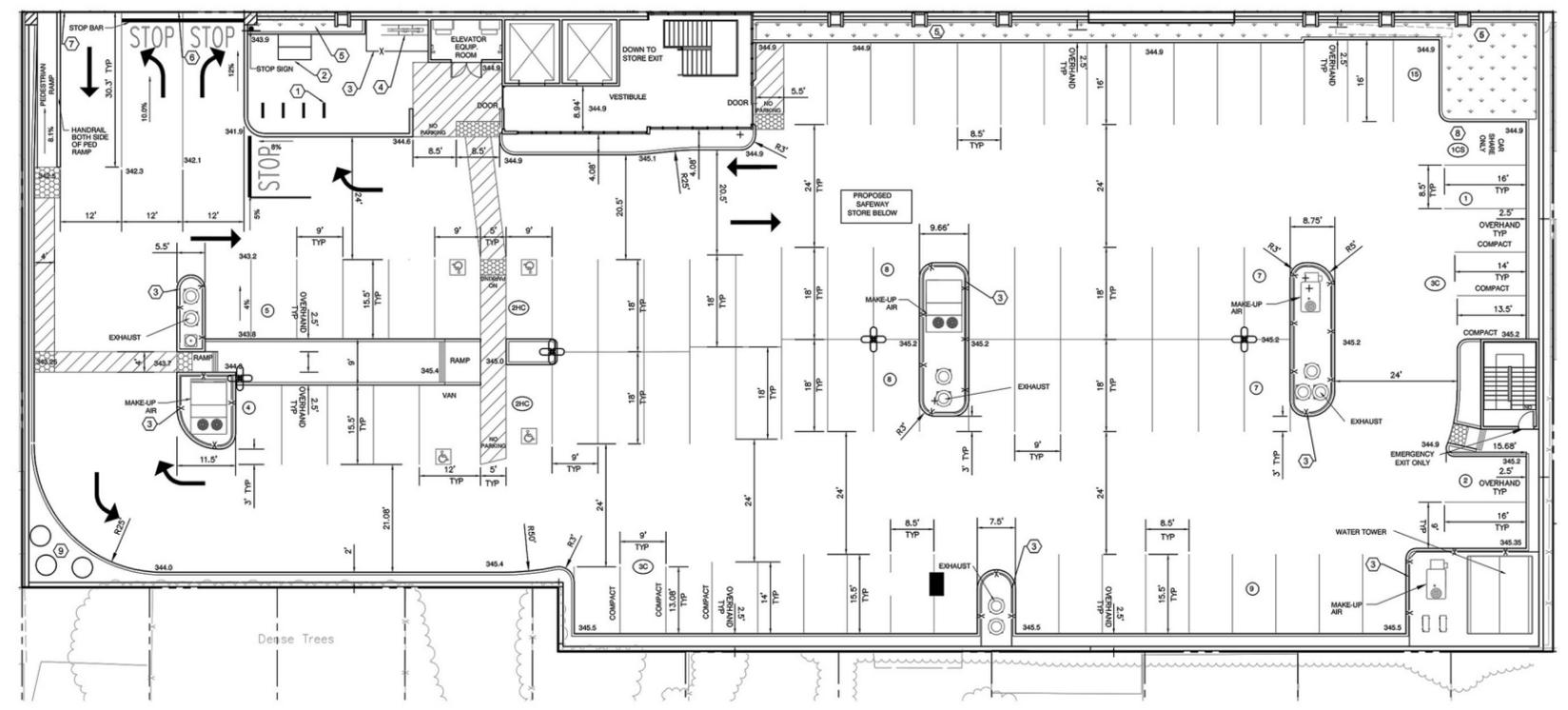
KEY NOTES

- ① CLASS II BIKE PARKING RACK - 9 TOTAL (5 STREET LEVEL 4 ROOF PARKING)
- ② CLASS I BIKE PARKING LOCKER - 4 TOTAL
- ③ PROPOSED DECORATIVE FENCING
- ④ GAS METER
- ⑤ LANDSCAPE PLANTER (AT OR ABOVE GRADE)
- ⑥ CARTRONICS (CART SECURITY) ACROSS DRIVEWAY
- ⑦ NON AUDIBLE PEDESTRIAN WARNING SYSTEM AT PARKING DECK DRIVEWAY
- ⑧ CAR SHARE PARKING SPACE WITH SIGNAGE
- ⑨ SELF WATERING POTTED LANDSCAPE

PROPOSED PARKING PROVIDED	
ON-SITE PARKING:	
ACCESSIBLE STALLS:	4
STANDARD STALLS:	72
COMPACT:	6
CAR SHARE	1
TOTAL:	83
ON-STREET PARKING:	
SAFeway FRONTAGE	6

LEGEND

- ① PARKING STALL COUNT (144 SF MINIMUM)
- ② COMPACT PARKING STALL COUNT (112.5 SF MINIMUM)
- ③ ADA PARKING STALL COUNT (182 SF MINIMUM)
- ④ CAR SHARE PARKING STALL COUNT (144 SF MINIMUM)



REVISION SCHEDULE

DELTA	NUMBER	DATE

BASED ON CRITERIA MASTER ISSUED 11.15.12

SUBMITTAL DATES

OWNER:	02.24.14
PLANNING DEPT.:	03.25.14
O.T.B.:	XX-XX-XX

KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 2850 Collier Canyon Road
 Livermore, California 94551
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 Fax (925) 245-8796
 scalcagno@kierwright.com

PROJECT NO. 140863-2
 DRAWN BY: NLH
 CHECKED BY: TC

SAFeway #0759
SAN FRANCISCO, CA
 25-2983-0000
625 MONTEREY BOULEVARD

NOVEMBER 26, 2014
 SHEET TITLE
ENLARGED ROOF PARKING PLAN
 SHEET NO.
C6
 OF 6 SHEETS

P:\2008\140863-2\140863-2.dwg 2-10-14 08:25:58 AM Kierwright



SAFeway 

STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

BIRD'S-EYE VIEW
SHEET A3
NOVEMBER 26, 2014



SAFEWAY 

STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

ENTRANCE PERSPECTIVE
SHEET A4
NOVEMBER 26, 2014



SAFeway 

STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

MONTEREY BLVD. PERSPECTIVE 2

SHEET A5

NOVEMBER 26, 2014



SAFeway 

STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

ROOFTOP VESTIBULE
SHEET A6
NOVEMBER 26, 2014



SAFeway 

STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

BIRD'S-EYE VIEW 2
SHEET A7
NOVEMBER 26, 2014



SAFeway 

STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

VIEW OF COMMUNITY MURAL

SHEET A8

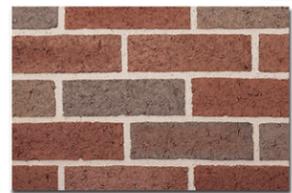
NOVEMBER 26, 2014



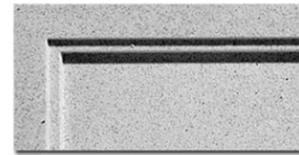
Materials Palette



1



2



3

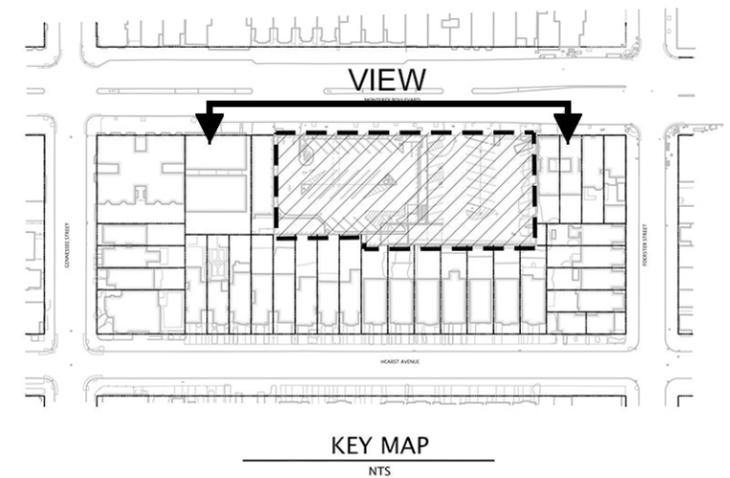


4



5

- 1 ACCENT BRICK VENEER: BELDEN BRICK, MODERN NUTMEG OR SIMILAR
- 2 BRICK VENEER: BELDEN BRICK, HOMESTEAD BLEND OR SIMILAR
- 3 CORNICE: NATURAL CONCRETE OR PRE-CAST STONE
- 4 PAINT: BENJAMIN MOORE, HC-66, GARRISON RED
- 5 METALS:
BLACK ANODIZED STOREFRONT
BLACK METAL RAILING
BLACK PREFINISHED EQUIPMENT SCREENS

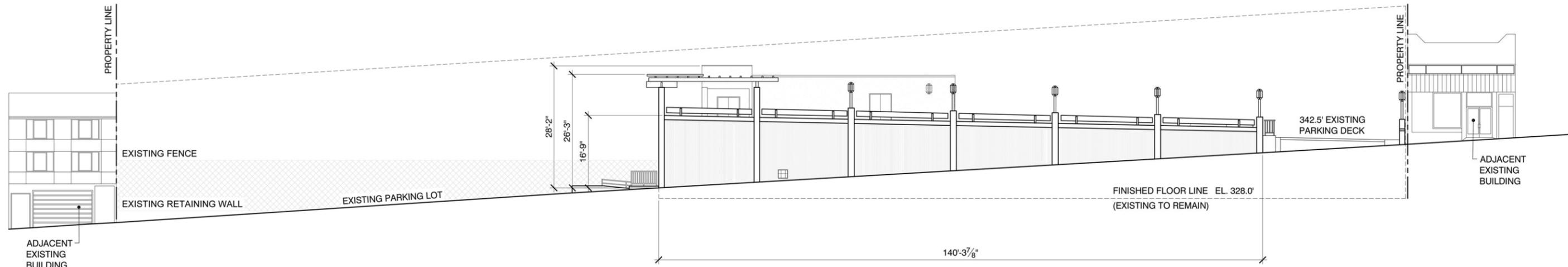


SAFEWAY 

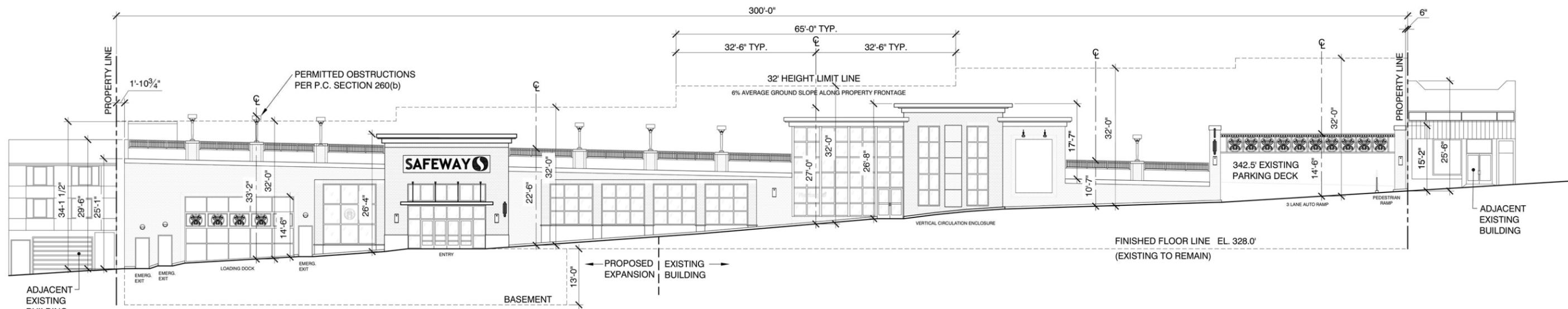
STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

COLORED FRONT
(NORTH) ELEVATION
& MATERIALS PALETTE
SHEET A9
NOVEMBER 26, 2014



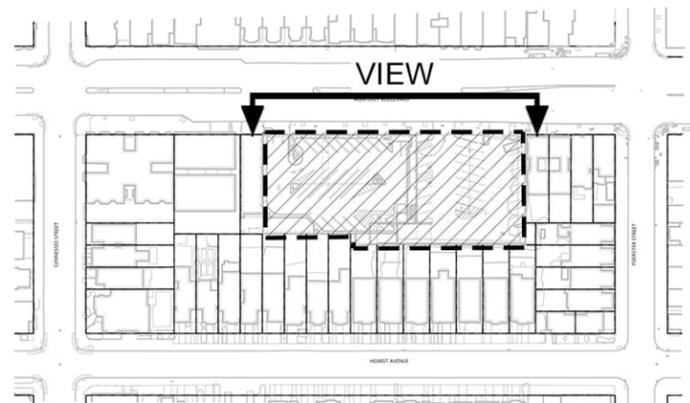
EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION



SCALE : $\frac{1}{8}'' = 1'-0''$



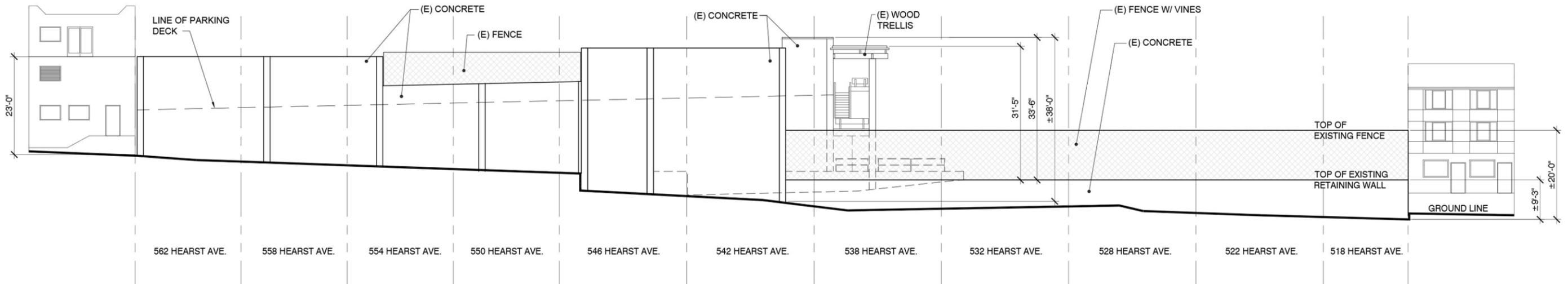
KEY MAP
NTS

SAFeway

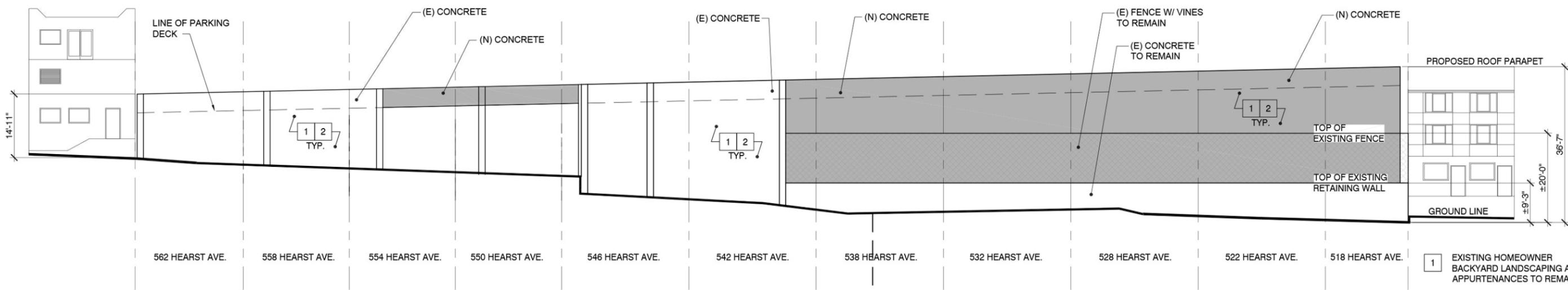
STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

FRONT (NORTH)
ELEVATION SECTION HEIGHTS
SHEET A11
NOVEMBER 26, 2014

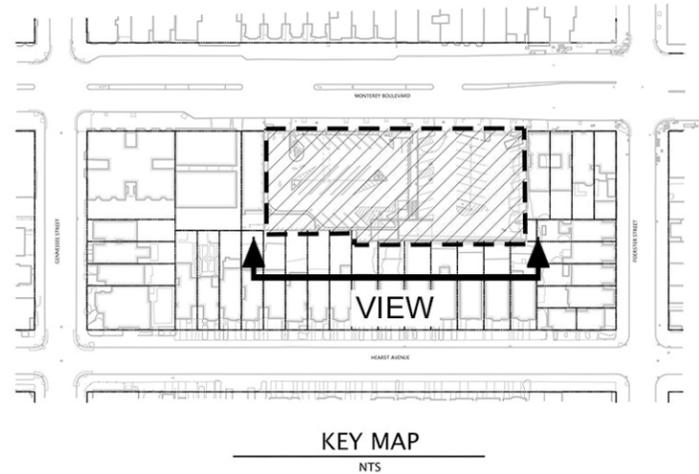
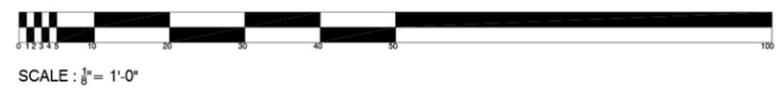


EXISTING REAR ELEVATION



- 1 EXISTING HOMEOWNER BACKYARD LANDSCAPING AND APPURTENANCES TO REMAIN
- 2 OPTIONAL PER HOMEOWNER - NEW GREEN SCREEN

PROPOSED REAR ELEVATION

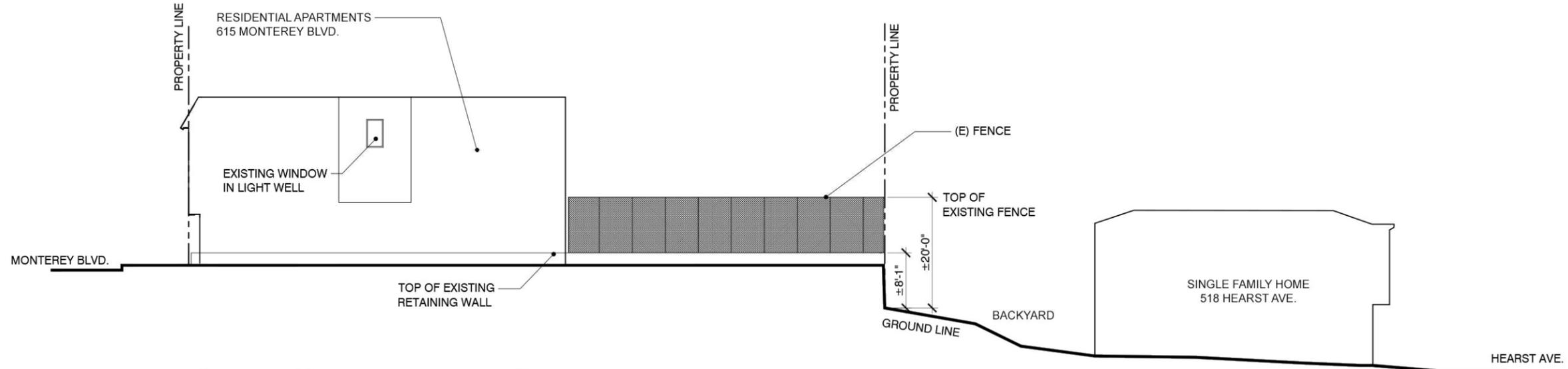


SAFeway

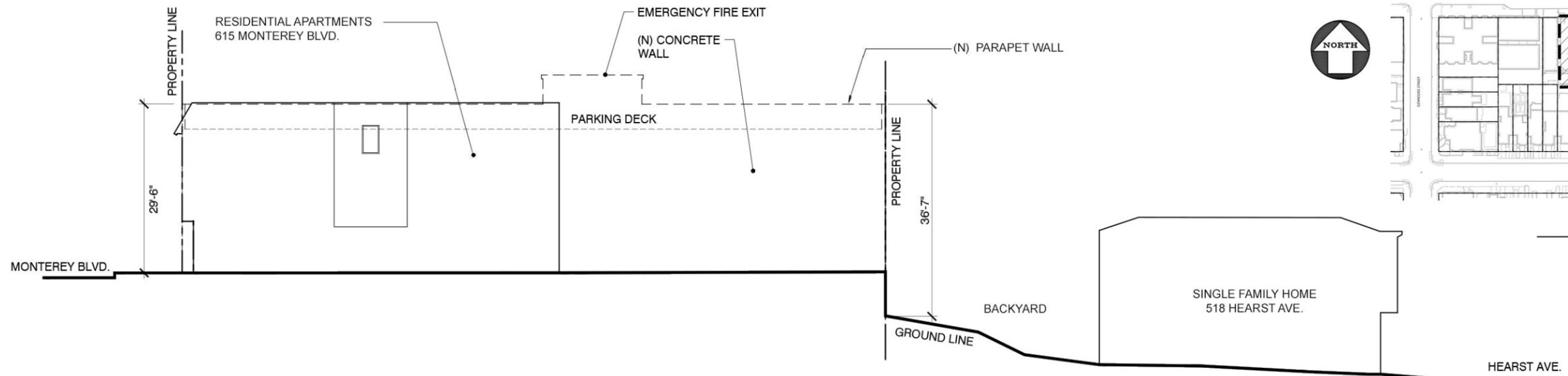
STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

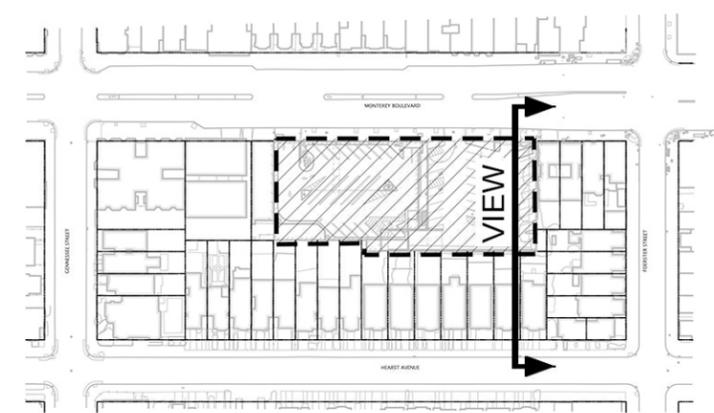
REAR (SOUTH)
ELEVATION SECTION HEIGHTS
SHEET A12
NOVEMBER 26, 2014



**EXISTING ELEVATION
LOOKING EAST**



**PROPOSED ELEVATION
LOOKING EAST**



KEY MAP
NTS



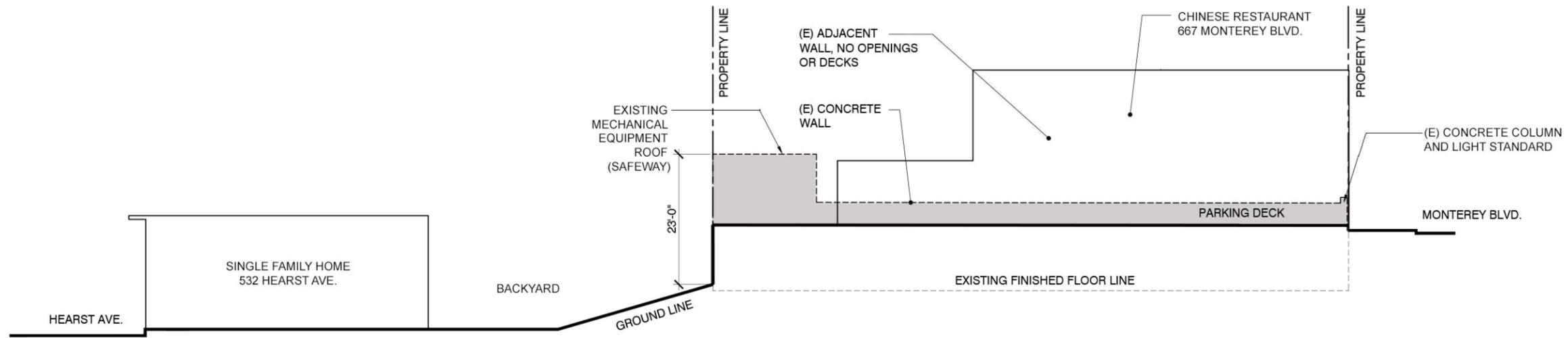
STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

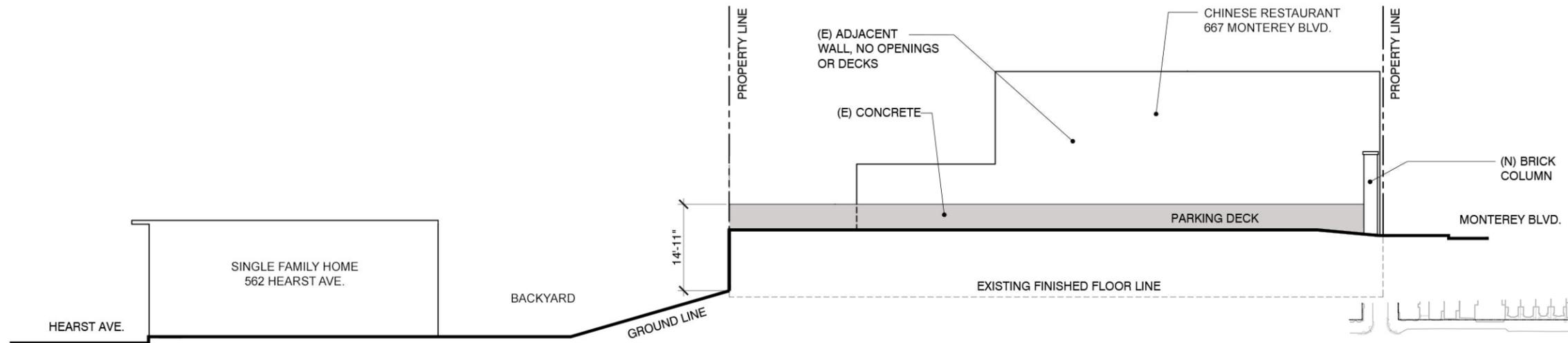
EAST ELEVATION SECTION HEIGHTS

SHEET A13

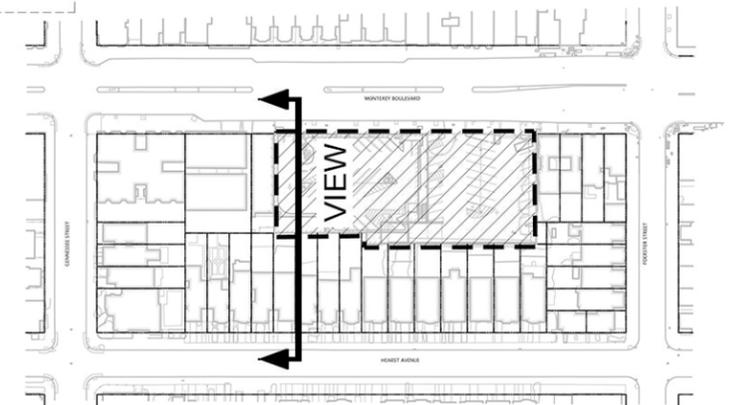
NOVEMBER 10, 2014



**EXISTING ELEVATION
LOOKING WEST**



**PROPOSED ELEVATION
LOOKING WEST**



KEY MAP
NTS



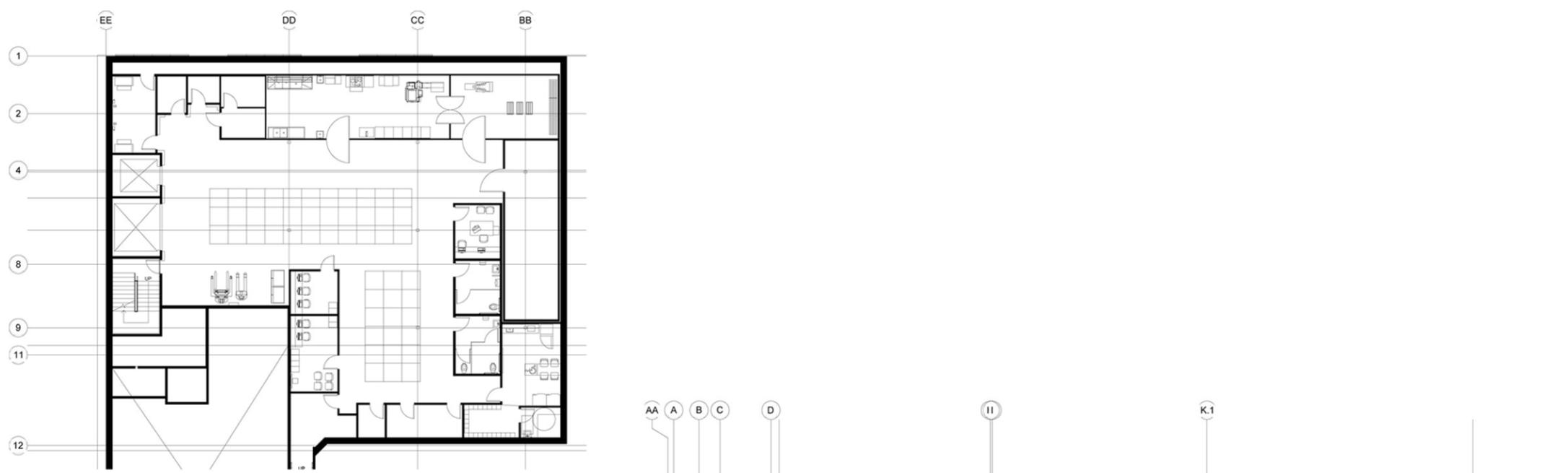
STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

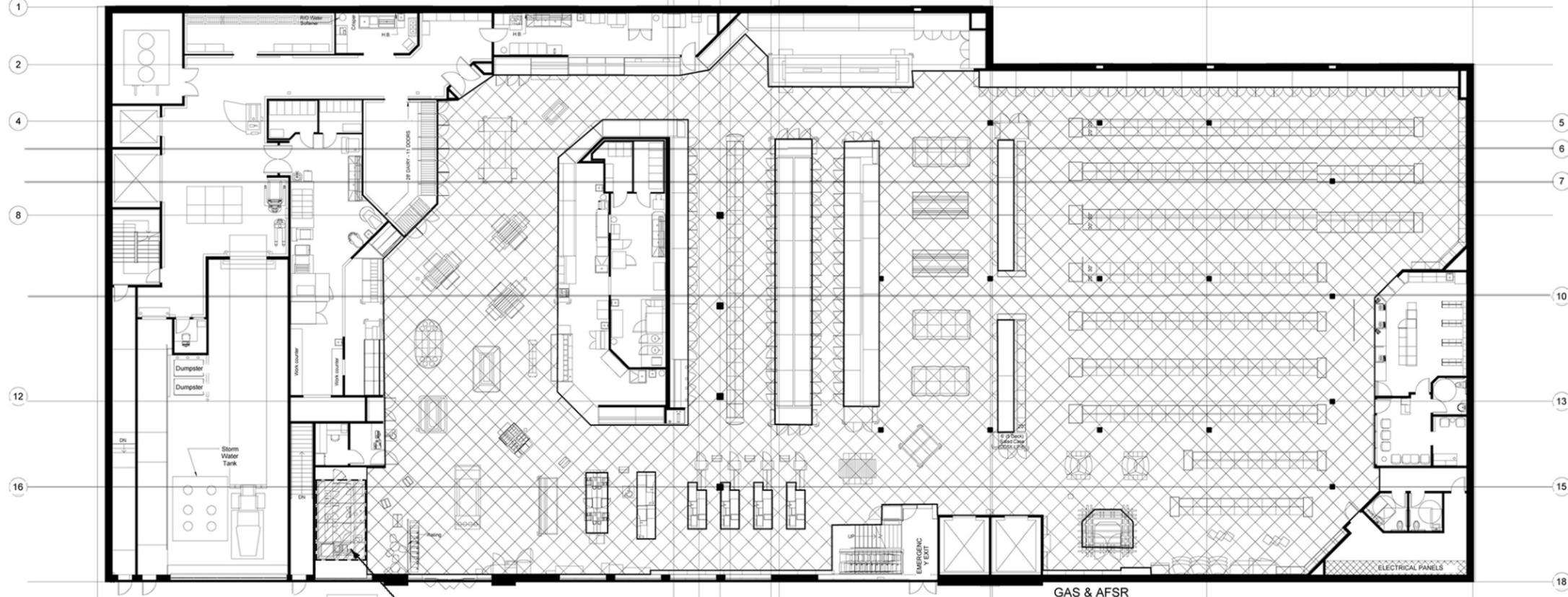
WEST ELEVATION SECTION HEIGHTS

SHEET A14

NOVEMBER 26, 2014



BASEMENT



STORE AREA

STARBUCKS COFFEE KIOSK

PROPOSED EXPANSION
EXISTING BLDG.

GAS & AFSR

ELECTRICAL PANELS

Area Schedule (Gross Building)		
Level	Name	Area
Basement	BASEMENT SUPPORT AREAS	7,836 SF
Fixture Plan	STORE AREA	35,842 SF
Roof Parking	ENTRY LOBBY	1,241 SF
Grand total		44,919 SF

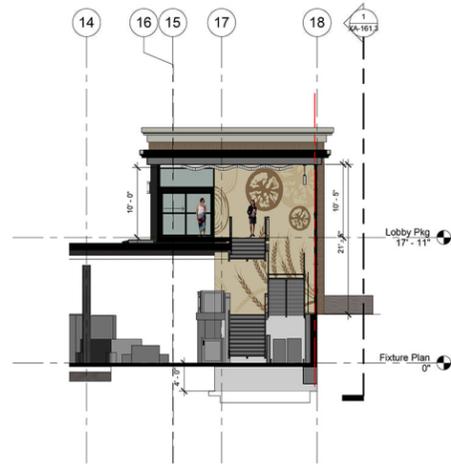
	NET OCCUPIED SQUARE FOOTAGE	19,536 SF
	STARBUCKS COFFEE KIOSK	260 SF



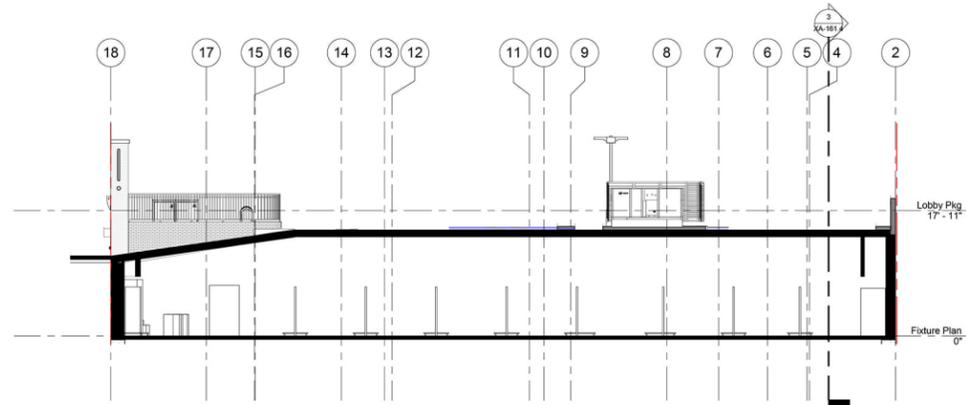
STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

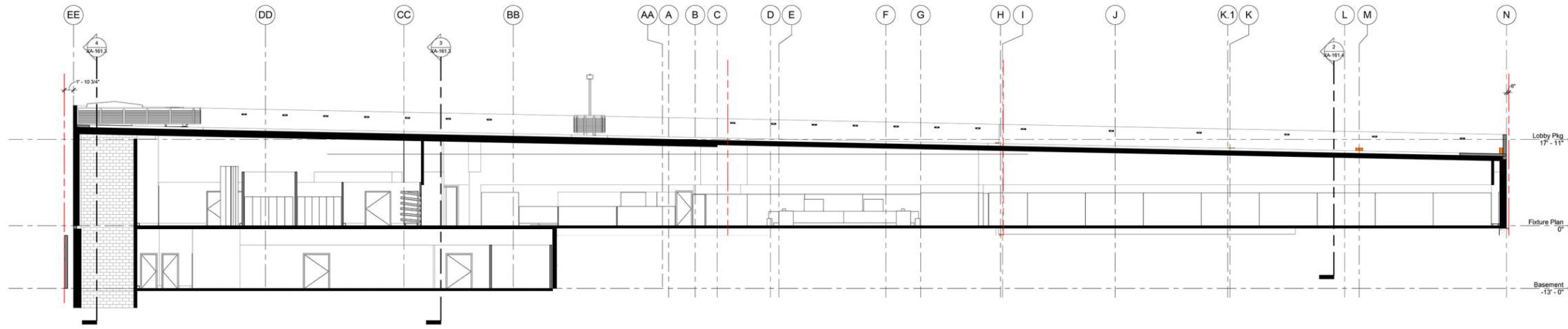
**FIXTURE FLOOR PLAN
SHEET A15
NOVEMBER 26, 2014**



1 LOBBY CROSSSECTION
1/8" = 1'-0"



2 PEDESTRIAN RAMP SECTION
1/8" = 1'-0"



3 LONGITUDINAL CROSSSECTION
1/8" = 1'-0"

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 Posting any form of these documents on a publicly accessible website is expressly prohibited.
 Documents shall be used for the sole purpose of Safeway, Inc. projects and only shared with parties contracted to provide services to the company.
 D:\US_2\Documents\OutlookProjects\Safeway\0759\0759\New Fixture Plan-Ramp_MCG.rvt

0759 - SAN FRANCISCO
NOVEMBER 26, 2014



SAFEGWAY #0759
 San Francisco, CA
 Activity ID 25-0759-000-009-SF
 625 N. Monterey Blvd
 SAFEGWAY SHOPPING CENTER

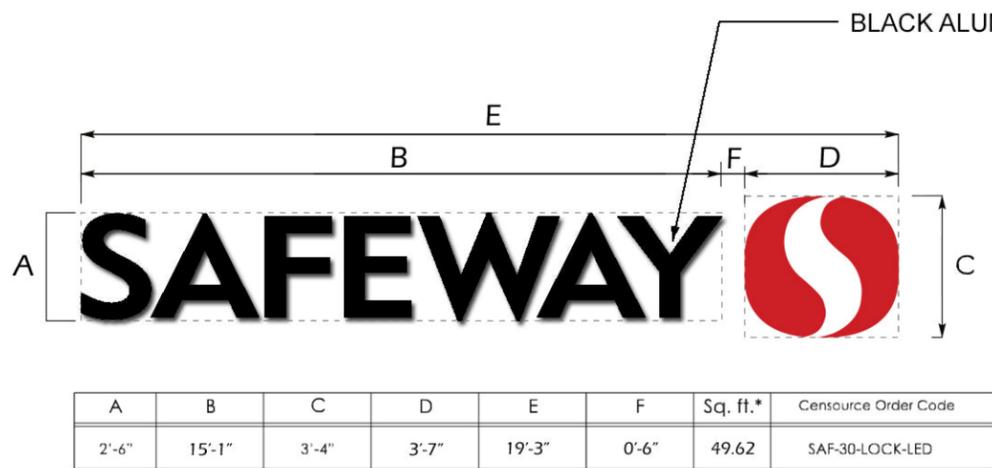
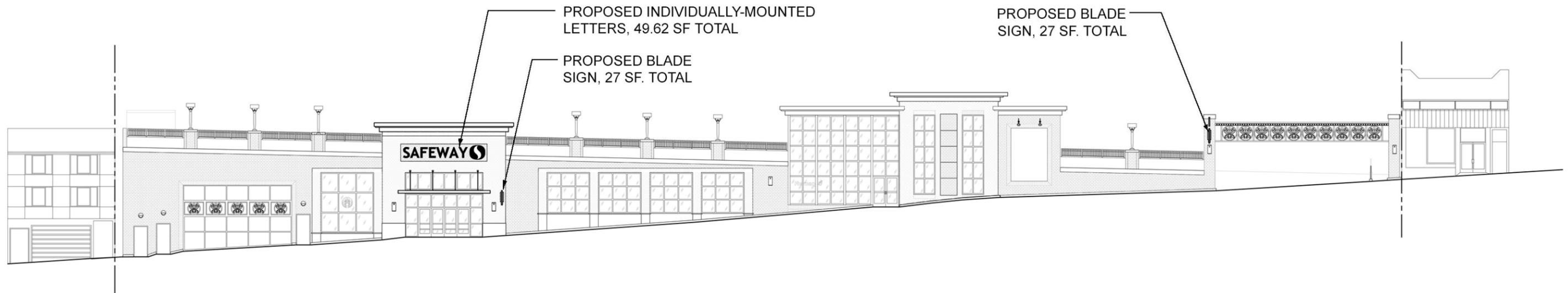
Date	Description

Designer: N. Voves
 Drawn By: ACE
 Checked By: G. Vessey
 Approved By: XXXX

Sheet Title
SECTIONS

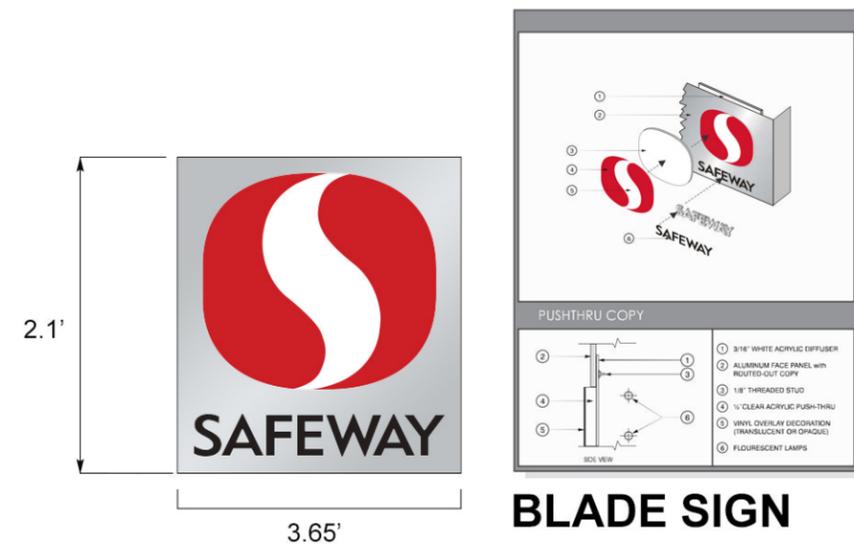
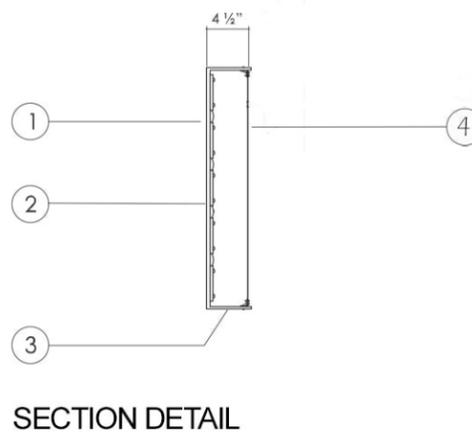
Division - Store Number
25 - 0759

Sheet Number
XA-161.4



INDIVIDUALLY MOUNTED LETTERS

UL/EV CERTIFIED HALO-ILLUMINATED CHANNEL LETTERS	
1	.090 Aluminum Face & Returns
2	GE Tetra White LED Modules
3	1/4" Weep Holes
4	3/16" Clear Lexan Back



BLADE SIGN

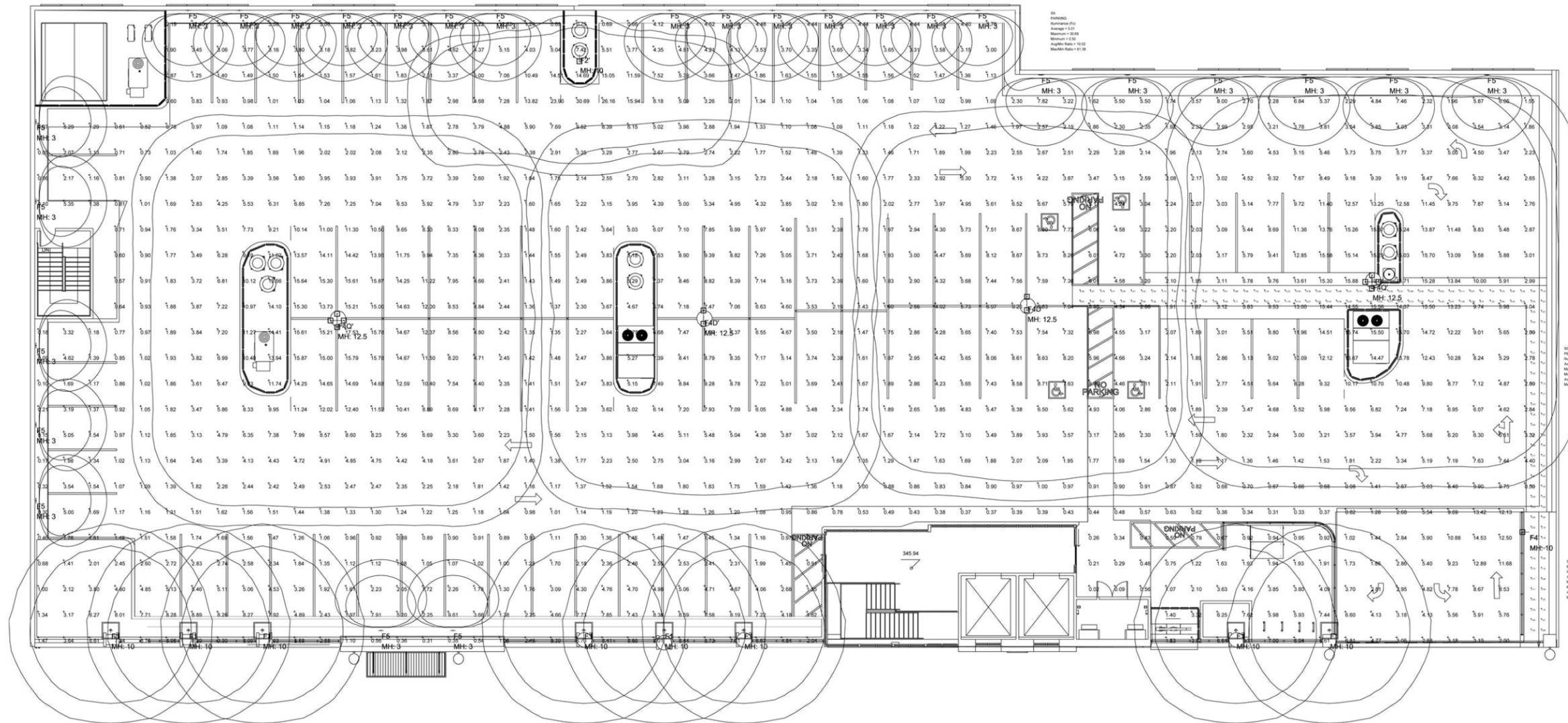
- Mp07538 SEMI-GLOSS (STAINLESS STEEL)
- BLACK
- PMS 186
- WHITE



STORE #0759

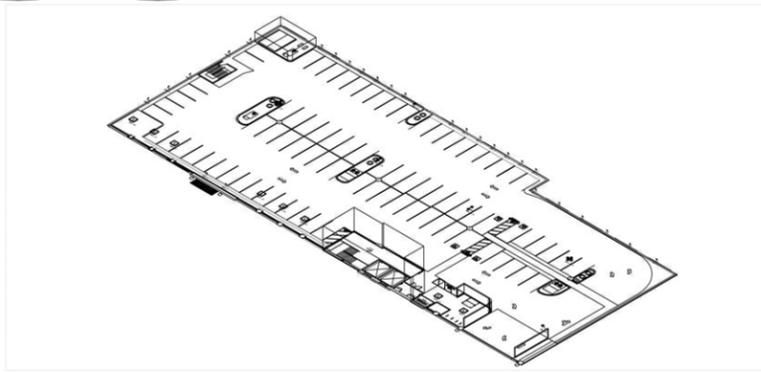
625 MONTEREY BLVD
SAN FRANCISCO, CA

SIGNAGE CALCULATION
SHEET A16
NOVEMBER 26, 2014



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	No. Lamps	Lumens/Lamp	Lum. Lumens	LLF	LLD	LDD	BF	Description	Filename
□	8	F1	SINGLE	7800	1	7800	N.A.	0.774	0.860	0.900	1.000	BEGA-8220MH-1-70W-T6-G12	8220MH.ies
□	1	F2	SINGLE	N.A.	1	N.A.	10295	0.850	0.944	0.900	1.000	PHILIPS GARDCCO-P21-2-130LA-NW	P21-2-130LA-NW.ies
□	1	F4	SINGLE	N.A.	1	N.A.	10190	0.850	0.944	0.900	1.000	PHILIPS GARDCCO-P21-4-130LA-NW	P21-4-130LA-NW.ies
□	2	F4D	BACK-BACK	N.A.	1	N.A.	10190	0.850	0.944	0.900	1.000	PHILIPS GARDCCO-P21-4-130LA-NW	P21-4-130LA-NW.ies
□	2	F4C	4 @ 90 DEGREES	N.A.	1	N.A.	10190	0.850	0.944	0.900	1.000	PHILIPS GARDCCO-P21-4-130LA-NW	P21-4-130LA-NW.ies
□	27	F5	SINGLE	N.A.	1	N.A.	1509	0.850	0.944	0.900	1.000	PHILIPS GARDCCO-942L-DG-40LA-NW-WP	942L-DG-40LA-NW-WP.ies

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
SA	Illuminance	Fc	5.01	30.69	0.50	10.02	61.38	PARKING
SB	Illuminance	Fc	5.75	14.53	0.82	7.01	17.72	ENTRANCE
SC	Illuminance	Fc	6.94	18.56	1.34	5.18	13.85	PEDESTRIAN PATH



LIGHTING LAYOUT VERIFICATION



STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

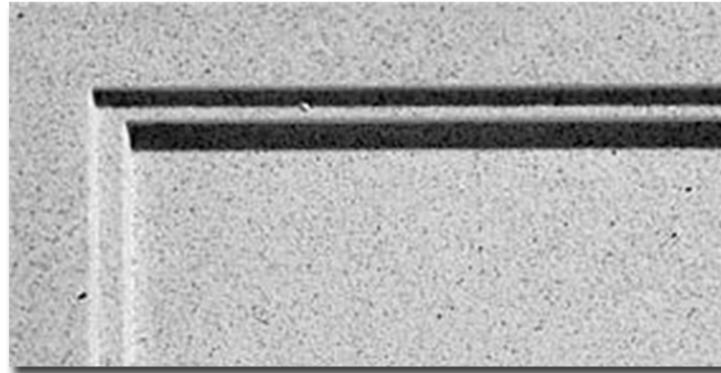
PHOTOMETRIC PLAN
SHEET A17
NOVEMBER 26, 2014



1



2



3



4



5

1 ACCENT BRICK VENEER: BELDEN BRICK, MODERN NUTMEG OR SIMILAR

2 BRICK VENEER: BELDEN BRICK, HOMESTEAD BLEND OR SIMILAR

3 CORNICE: NATURAL CONCRETE OR PRE-CAST STONE

4 PAINT: BENJAMIN MOORE, HC-66, GARRISON RED

5 METALS:
BLACK ANODIZED STOREFRONT
BLACK METAL RAILING
BLACK PREFINISHED EQUIPMENT SCREENS



STORE #0759

625 MONTEREY BLVD
SAN FRANCISCO, CA

MATERIALS BOARD

SHEET A18

NOVEMBER 26, 2014