



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: JULY 9, 2015

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: July 2, 2015
Case No.: **2008.0645D**
Project Address: **7 LAKE FOREST COURT**
Permit Application: 2007.11.05.7258
Zoning: RH-1(D) [Residential House, One-Family (Detached)]
40-X Height and Bulk District
Block/Lot: 2675/028
Project Sponsor: Amir Afifi
SIA Consulting Corporation
1256 Howard Street
San Francisco, CA 94103
Staff Contact: Andrew Perry – (415) 575-9017
Andrew.Perry@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposal is to construct a new third story vertical addition over an existing two-story, single-family home, which would add approximately 830 square feet of habitable space. There is also a proposed deck at the rear of the house over the second story roof. The third-story addition is set back from the front building wall by 15 feet, and is set back from the side property line (along Oak Park Dr.) by 3 feet. Although there is no additional setback for the third level along the shared side property line with 15 Lake Forest Court, there is an existing separation between the buildings of approximately 7 feet.

SITE DESCRIPTION AND PRESENT USE

The project site is located on Lot 028 in Assessor's Block 2675 on the northwest side of Lake Forest Court, at the intersection with Oak Park Drive. The project site is on a relatively level lot, with a slight lateral slope, measuring approximately 24 feet wide and 90 feet deep, with a listed parcel area of 2,962 square feet in the Assessor's database. The existing building was constructed in 1961, and is two-stories with one unit and a two-car garage.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The building immediately to the right (northeast) is another two-story, single-family dwelling with two-car garage, on roughly the same size lot. On the subject block face, and in the surrounding neighborhood as a whole, there is a very defined and uniform character of two-story buildings with two-car garages. However, due to topography in the area, there are some examples of buildings that are two stories along one particular street frontage, but appear as a three-story building along another frontage, usually at the rear.

The subject block and surrounding neighborhood, within 300 feet of the project site, is uniformly zoned RH-1(D). The neighborhood is situated between two swaths of Public zoned land – the Laguna Honda Reservoir and Mount Sutro.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	May 9, 2008 – June 8, 2008	May 30, 2008	DR never heard	2596 days (7 years, 1 month, 9 days)
311 Notice	30 days	March 10, 2015 – April 9, 2015	No New DRs filed	July 9, 2015	

The project was originally sent out for Sec. 311 notification in May 2008 and a Discretionary Review was filed before the notice expired. The project was reviewed by the Residential Design Team at that time, however the project never went to a hearing before the Commission and was inactive until 2015. The project was noticed for a new 30-day period under Sec. 311 and no additional DRs were filed. However, the original DR was still active, so the project went back to the Residential Design Team and scheduled for a hearing on July 9, 2015.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	June 29, 2015	June 29, 2015	10 days
Mailed Notice	10 days	June 29, 2015	June 26, 2015	13 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		1 (DR Requestor)	
Other neighbors on the block or directly across the street		13	
Neighborhood groups			

The comments received from other neighbors have been uniformly opposed to the project, primarily on the grounds that the third-story vertical addition would drastically alter the character of the neighborhood, and would set a precedent allowing others in the neighborhood to also expand. In turn, this would cause an increase in density to the neighborhood, potentially facilitating the creation of illegal second units and causing issues with limited off-street parking.

DR REQUESTOR

Kathleen Ue of 15 Lake Forest Court, located immediately adjacent to the right (northeast) of the subject property.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

Issue #1: The vertical addition of the project will block the southwest sunlight into the 2nd floor bedroom and kitchen, and the ground floor family room of the DR requestor's home. Currently, the DR requestor receives full afternoon sunlight to these rooms, representing about half of their total living area. The vertical addition would allow no sunlight to enter and result in an increase in heating and lighting costs.

Issue #2: The windows of the vertical addition and deck at the rear over the second story will allow for viewing into the DR requestor's bedroom, kitchen, and backyard, representing an invasion of privacy.

Issue #3: The need for curbside parking will naturally increase for a 5-bedroom home, as compared to a 3-bedroom unit. The subject property is located at the intersection of three graded slopes and a cul-de-sac, making parking even more difficult in practice.

Issue #4: A three-story house and an expanded second floor will extraordinarily change the character of a two-story home neighborhood. There are no homes on Lake Forest Court or on Oak Park Drive from Christopher Dr. to Devonshire Way which have three stories.

See attached *Discretionary Review Application*, dated May 30, 2008, for more information.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The project sponsor is proposing a modest addition to the home in order to accommodate a growing family, with elderly parents moving in and more young children. The project sponsor has shown a willingness to modify the project at the request of the Planning Department, in order to align with Residential Design Guidelines and not cause significant impacts to the adjacent neighbors. The neighbors would only accept a complete removal of the proposed third story, and this effectively eliminates the project's goals.

See attached *Response to Discretionary Review*, dated June 19, 2015, for more information.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) found that the proposed project meets the standards of the Residential Design Guidelines (RDGs) and that the project does not present any exceptional or extraordinary circumstances. The project provides adequate setbacks from the adjacent building and is within the RH-1(D) district, which minimizes concerns over blocking of sunlight. The deck is set back

from the side property lines and is oriented toward the subject property's rear yard; privacy is achieved within thresholds to be expected for dense City environments. Parking and traffic is not addressed by the RDGs, however, the project is compliant with the Planning Code and no additional off-street parking is required. Lastly, the RDGs support the vertical addition, as appropriate setbacks have been provided and taller buildings can be accommodated at corner lots.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION: Do not take DR and approve project as proposed
--

Attachments:

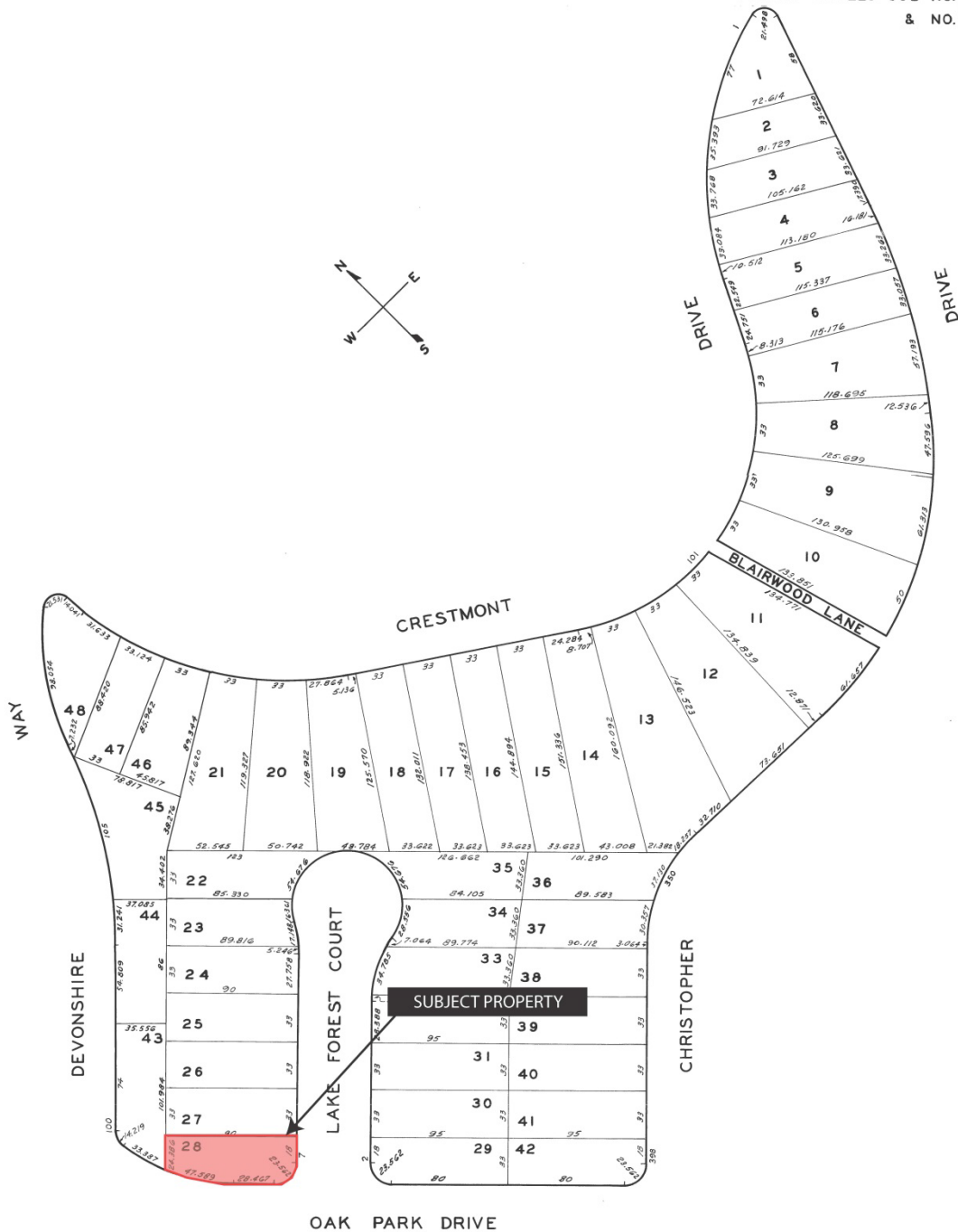
Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice (2008 Notice)
Section 311 Notice (2015 Notice)
DR Application dated May 30, 2008
Response to DR Application dated June 19, 2015
 Exhibit A – 3D rendering
 Exhibit B – Neighborhood examples of 3-story buildings
Reduced Plans
Letters of Opposition from Neighbors

AP: G:\Plan Checks\7 Lake Forest Ct\7_Lake Forest Court_DR - Abbreviated Analysis.doc

Block Book Map

2 6 7 5

FOREST KNOLLS SUB NO. 2
& NO. 3

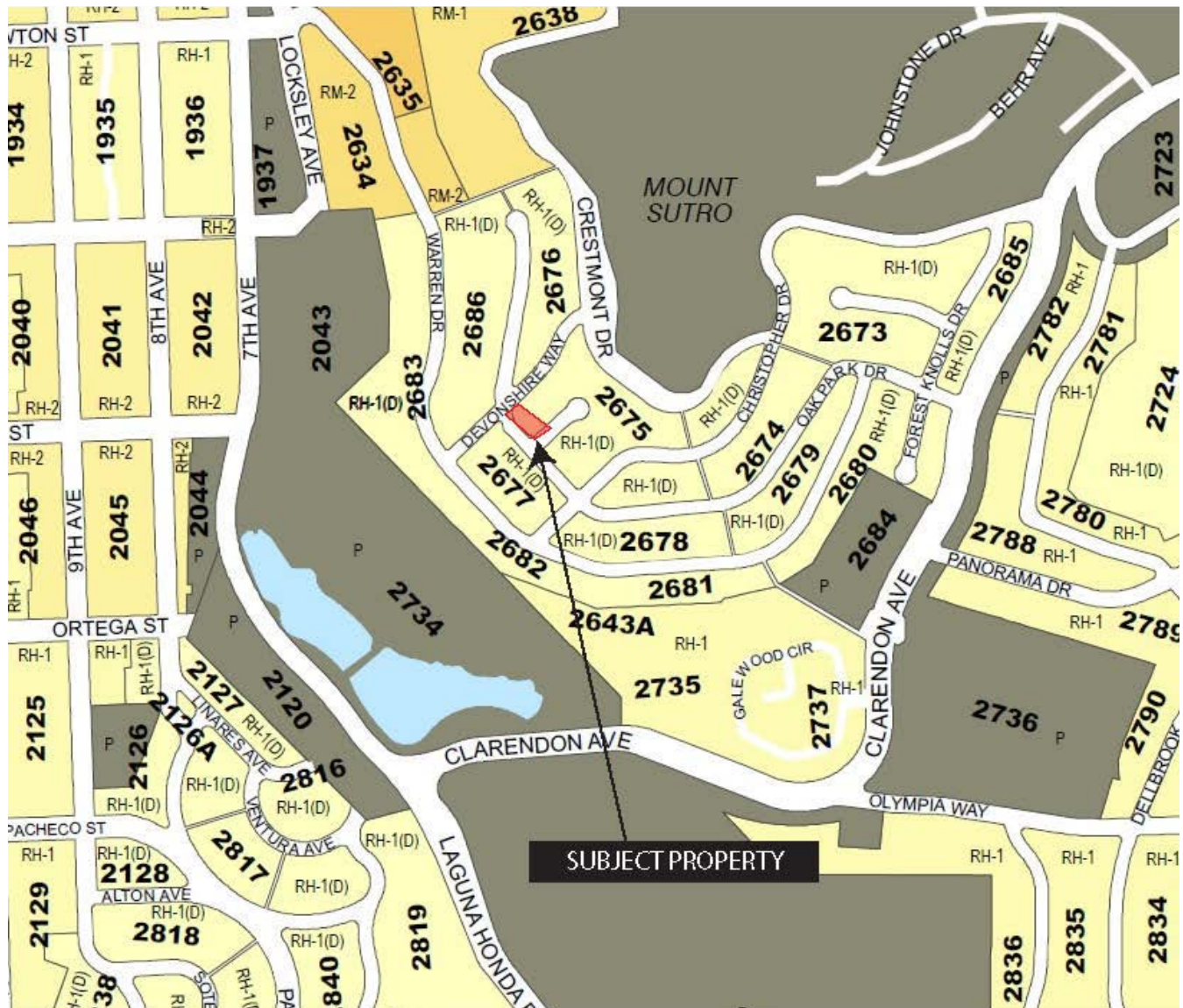


Sanborn Map*

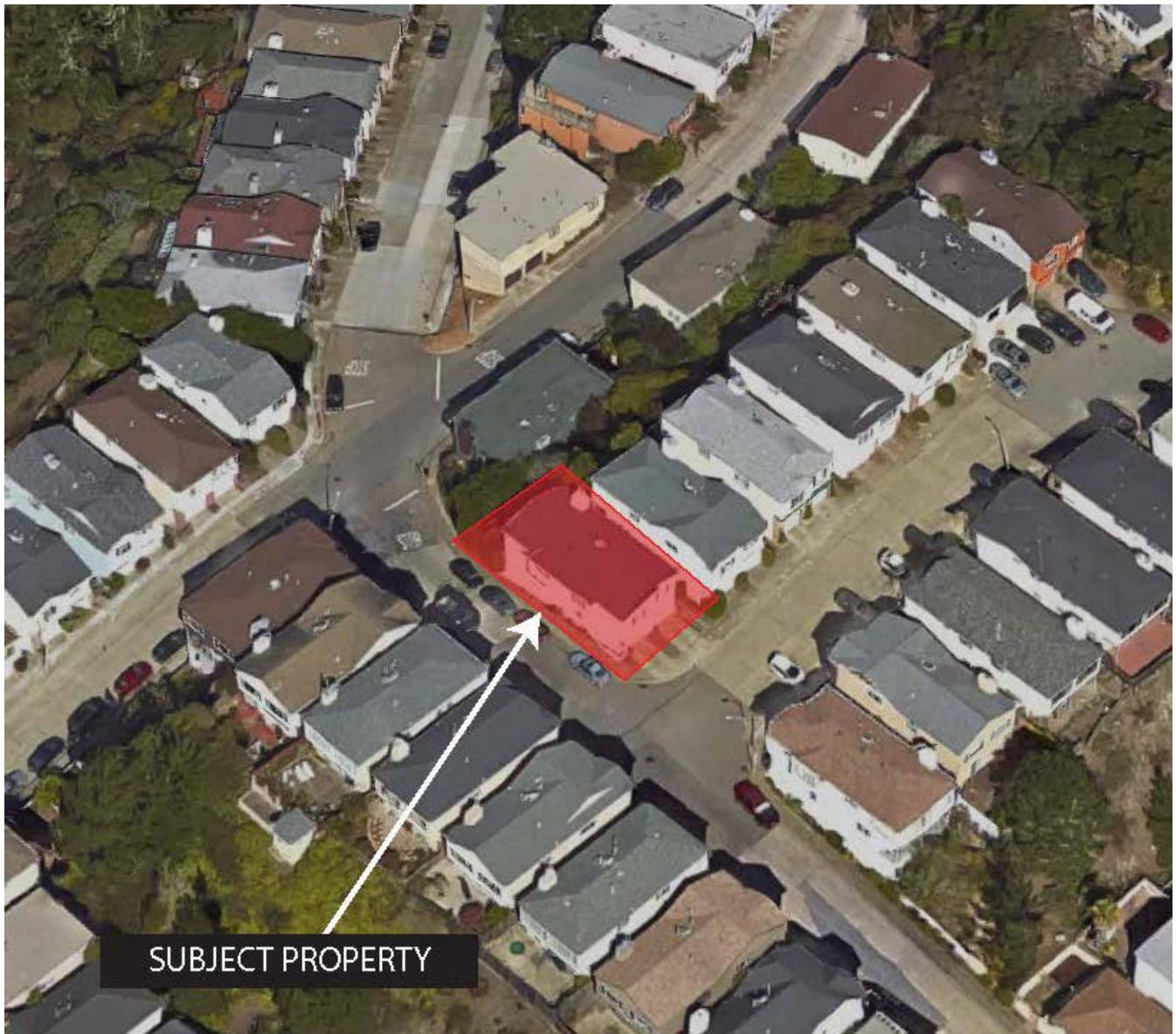


* The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

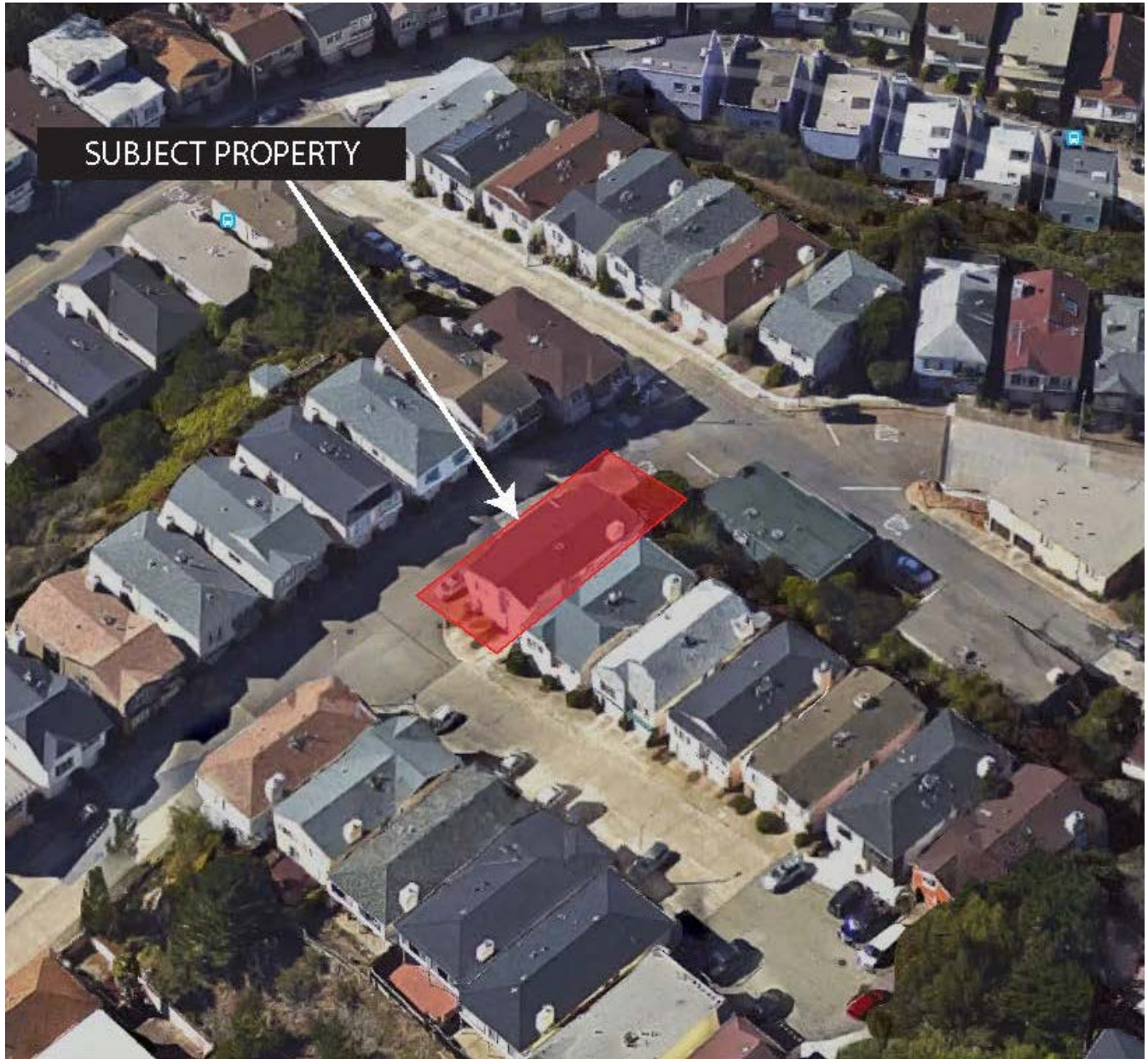
Zoning Map



Aerial Photo (looking north)



Aerial Photo (looking west)



Aerial Photo

(looking east)



Site Photo

(at Lake Forest Court and Oak Park Drive, looking northwest)





SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On November 5, 2007, the Applicant named below filed Building Permit Application No. 2007.11.05.7258 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Justin Tin	Project Address:	7 Lake Forest Court
Address:	7 Lake Forest Court	Cross Street:	Oak Park Drive
City, State:	San Francisco, CA 94131	Assessor's Block /Lot #:	2675/028
Telephone:	415.368.1295	Zoning District:	RH-1(D)
		Height-Bulk District:	40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS <input checked="" type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input type="checkbox"/> HORIZ. EXTENSION (REAR)
PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING DEPTH	±67 feet, 6 inches	No Change
SIDE SETBACK (OF VERTICAL ADDITION)	N/A	At least ±3 feet
REAR YARD	±22 feet, 6 inches	No Change
HEIGHT OF BUILDING	±21 feet (avg.)	±29 feet, 6 inches (avg.)
NUMBER OF STORIES	2	3
NUMBER OF DWELLING UNITS	1	No Change
NUMBER OF OFF-STREET PARKING SPACES	2	No Change

PROJECT DESCRIPTION

The proposal is to construct a third-story addition to an existing two-story, single-family dwelling. New vertical addition will be setback at least 24 feet from the front property line, and will increase the height of the existing dwelling by approximately 8 feet, 6 inches.

PLANNER'S NAME: Adrian C. Putra
PHONE NUMBER: (415) 575-9079
EMAIL: adrian.putra@sfgov.org

DATE OF THIS NOTICE:

5/09/2008

EXPIRATION DATE:

6/08/2008



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **November 5, 2007**, the Applicant named below filed Building Permit Application No. **2007.11.05.7258** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	7 Lake Forest Court	Applicant:	Aidin Massoudi
Cross Street(s):	Oak Park Drive	Address:	1256 Howard St.
Block/Lot No.:	2675/028	City, State:	San Francisco, CA 94103
Zoning District(s):	RH-1(D) / 40-X	Telephone:	(415) 922-0200 x 105

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Height	~21 feet	~30 feet
Number of Stories	2	3
Number of Dwelling Units	1	No Change
PROJECT DESCRIPTION		
<p>The proposal is to construct a third story vertical addition with a new roof deck at the rear of the house, over an existing two-story, single-family home. The addition will add approximately 830sf of habitable space to the home. This project was previously noticed from 5/9/2008 – 6/8/2008, however must be renoticed given the length of time that has elapsed since that original notice. There is currently an active Discretionary Review case filed against the project, filed in 2008 during the original notification period. This second notification will allow neighbors to file additional Discretionary Reviews, should there be additional concerns, however this project will appear before the Planning Commission regardless, at a future hearing date, which will receive separate notice. See attached plans.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Andrew Perry
Telephone: (415) 575-9017
E-mail: andrew.perry@sfgov.org

Notice Date:
Expiration Date:

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name KATHLEEN UE Telephone No: 415-564-9039

D.R. Applicant's Address 15 LAKE FOREST CT.
Number & Street (Apt. #)
SAN FRANCISCO 94131
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): 415-564-9039
If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name _____ Telephone No: _____

Address _____
Number & Street (Apt. #)

City Zip Code

Address of the property that you are requesting the Commission consider under the Discretionary Review: 7 LAKE FOREST CT., SAN FRANCISCO, CA 94131

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: JUSTIN TIN, 415-368-1295

Building Permit Application Number of the project for which you are requesting D.R.: 2007-11-05-7258

Where is your property located in relation to the permit applicant's property?

I AM THE NEXT DOOR NEIGHBOR. MY PROPERTY IS ON THE NORTHEAST SIDE OF THE PERMIT APPLICANT'S PROPERTY.

A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

1. Have you discussed this project with the permit applicant? ☒ YES ☐ NO ☐ G
2. Did you discuss the project with the Planning Department permit review planner? ☒ YES ☐ NO ☐ G
SEE ATTACHMENT PAGE 1 SECTION A2.
3. Did you participate in outside mediation on this case? Community Board ☐ G Other ☐ G ☒ NO ☐ G
SEE ATTACHMENT P1 SECTION A3.

4. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the results, including any changes that were made to the proposed project so far.

SEE ATTACHMENT PAGE 1 SECTION A4.

ON OCTOBER 27, 2007, THE APPLICANT, MR. JUSTIN TIN, HELD AN OPEN HOUSE IN WHICH HE DISPLAYED HIS PRELIMINARY PLAN FOR HIS REMODELING. AT THIS POINT, NO DOCUMENTS HAD BEEN FILED TO THE PLANNING DEPARTMENT. DURING THIS OPEN HOUSE, I VOICED MY CONCERN ABOUT THE THIRD FLOOR ADDITION TO THE APPLICANT, MR. TIN. IN THE CURRENT VERSION.....

SEE ATTACHMENT PAGE 1 SECTION A4.

B. DISCRETIONARY REVIEW REQUEST

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

SEE ATTACHMENT PAGE 1,2 SECTION B1.

a. BLOCKING OF DIRECT SUNLIGHT

b. INVASION OF PRIVACY

c. INCREASE PARKING AND TRAFFIC ISSUES.

d. CHANGING NEIGHBORHOOD CHARACTER.

PLEASE SEE ATTACHMENT PAGE 1 SECTION B1 FOR DETAILS.

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

SEE ATTACHMENT PAGE 2,3 SECTION B2.

INCLUDING MY PROPERTY, THERE WILL BE NO HOMES THAT WILL BE AFFECTED. PLEASE SEE ATTACHMENT PAGE 2,3 SECTION B2 FOR DETAILS.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

ELIMINATION OF THE 3rd FLOOR ADDITION WILL REDUCE THE ADVERSE EFFECTS ON MY PROPERTY AND THE NEIGHBOR'S PROPERTY.

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

CHECKLIST FOR APPLICANT:

Indicate which of the following are included with this Application:

REQUIRED:

- ☒ Check made payable to Planning Department (see current fee schedule).
- ☒ Address list for nearby property owners, in label format, plus photocopy of labels.
- ☒ Letter of authorization for representative/agent of D.R. applicant (if applicable).
- ☒ Photocopy of this completed application.

OPTIONAL:

- ☒ Photographs that illustrate your concerns.
- ☒ Covenants or Deed Restrictions.
- ☒ Other Items (specify).

File this objection in person at the Planning Information Center. If you have questions about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.

Signed Kathleen He 5-30-2008
Applicant Date

Requesting Discretionary Review of: 7 Lake Forest Court

A. ACTION PRIOR TO A DISCRETIONARY REVIEW REQUEST

Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

1. Have you discussed this project with the permit applicant?

Yes.

2. Did you discuss the project with the Planning Department permit review planner?

Yes.

On May 21, 2008 I called and talked to Mr. Adrian Putra, the Planning Department permit review planner. The subject matter covered sunlight blocking, traffic and parking, privacy, and the impact on the character of the neighborhood. In our discussion, suggestions were made by Mr. Putra and me as alterations to the proposed plan but both Mr. Putra and I could not agree upon any alterations that were suggested.

3. Did you participate in outside mediation on this case?

No.

As a result of the 5/21/2008 discussion, Mr. Putra suggested to request for a discretionary review.

4. If you have discussed the project with the application with the applicant, planning staff or gone thorough mediation, please summarize the results, including any changes that were made to the proposed project so far.

On October 27, 2007 the applicant, Mr. Justin Tin held an open house in which he displayed his preliminary plan for his remodeling. At this point, no documents had been filed to the Planning Department. During this open house, I voiced my concern about the third floor addition to the applicant, Mr. Tin. In the current version of Mr. Tin's application (dated 4/21/08), none of my concerns were addressed. According to my conversation with Mr. Putra on May 21, 2008, one 3rd floor window in the original plan has been eliminated from the northeast side of applicant's building.

B. DISCRETIONARY REVIEW REQUEST

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary

Requesting Discretionary Review of: 7 Lake Forest Court

Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

- a. **Blocking of direct sunlight:** The applicant's plans propose an 8 foot 6 inch; 3rd floor addition to his home. This addition will block the southwest sunlight into my 2nd floor bedroom, kitchen, and most importantly, my ground floor family room, and the laundry area. Currently I receive a full afternoon of direct sunlight in these rooms which represent approximately 1/2 of my total living area. This is an exceptional and extraordinary circumstance that an 8 foot 6 inch vertical addition would allow no sunlight to enter any of the four windows on the southwest side of my home in the winter. One of the immediate impacts on me, a retiree, will be the increase of heating and lighting cost.
- b. **Invasion of privacy:** The 3rd floor Roof Deck and windows of the addition provide direct viewing of my bedroom, kitchen and back yard. This is an invasion of privacy.
- c. **Increase parking and traffic issues:** 7 Lake Forest Court is located at the intersection of three graded slopes and the entrance to the Lake Forest Court cul-de-sac. The need for curbside parking will naturally increase for a 5 bedroom home as compared to a 3 bedroom home (entertainment, house guests, etc). This will also greatly increase the possibility of traffic problems (lack of parking space, increase of traffic accidents, etc).
- d. **Changing neighborhood character:** A three story house and an expanded second floor building will extraordinarily change the character of a two story home neighborhood. There are no homes on Lake Forest Court or on Oak Park Drive from Christopher Drive to Devonshire Way which have three stories.

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Name	Address	How Neighbor is Affected
Peter Wohlers	100 Devonshire Way SF, CA 94131	- Invasion of privacy - Increase parking and traffic issues - Changing of neighborhood character
Evelyn Campi	429 Oak Park Dr. SF, CA 94131	- Increase parking and traffic issues - Changing of neighborhood character
Mario Onetto	425 Oak Park Dr.	- Increase parking and

08.06450

Requesting Discretionary Review of: 7 Lake Forest Court

	SF, CA 94131	traffic issues - Changing of neighborhood character
Patrick Yi	421 Oak Park Dr. SF, CA 94131	- Increase parking and traffic issues - Changing of neighborhood character
Grace Dito	2 Lake Forest Ct. SF, CA 94131	- Increase parking and traffic issues - Changing of neighborhood character
Jeremiah Robison	14 Lake Forest Ct. SF, CA 94131	- Increase parking and traffic issues - Changing of neighborhood character
Lisa Spranger	29 Lake Forest Ct. SF, CA 94131	- Increase parking and traffic issues - Changing of neighborhood character
Penny Hubhes	57 Lake Forest Ct. SF, CA 94131	- Increase parking and traffic issues - Changing of neighborhood character
David Gendreau	41 Lake Forest Ct. SF, CA 94131	- Increase parking and traffic issues - Changing of neighborhood character

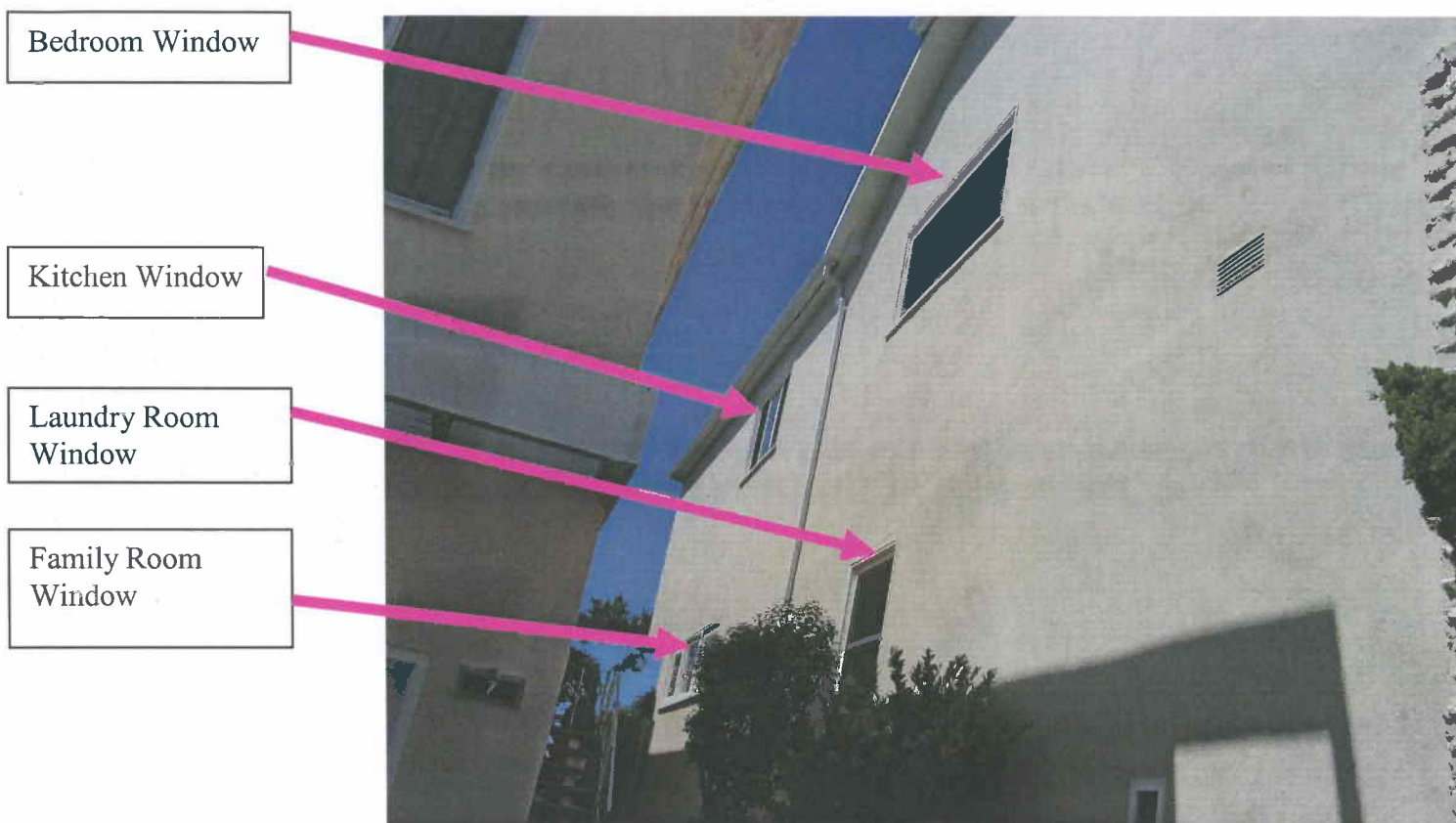
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

Elimination of the 3rd floor addition will reduce the adverse effects on my property and the neighbors' properties.

08.06450

Requesting Discretionary Review of: 7 Lake Forest Court

The following pages are photos of the windows that will be blocked if the applicant is approved to build his 3rd floor. As you see in the photos, currently these windows receive direct sunlight.



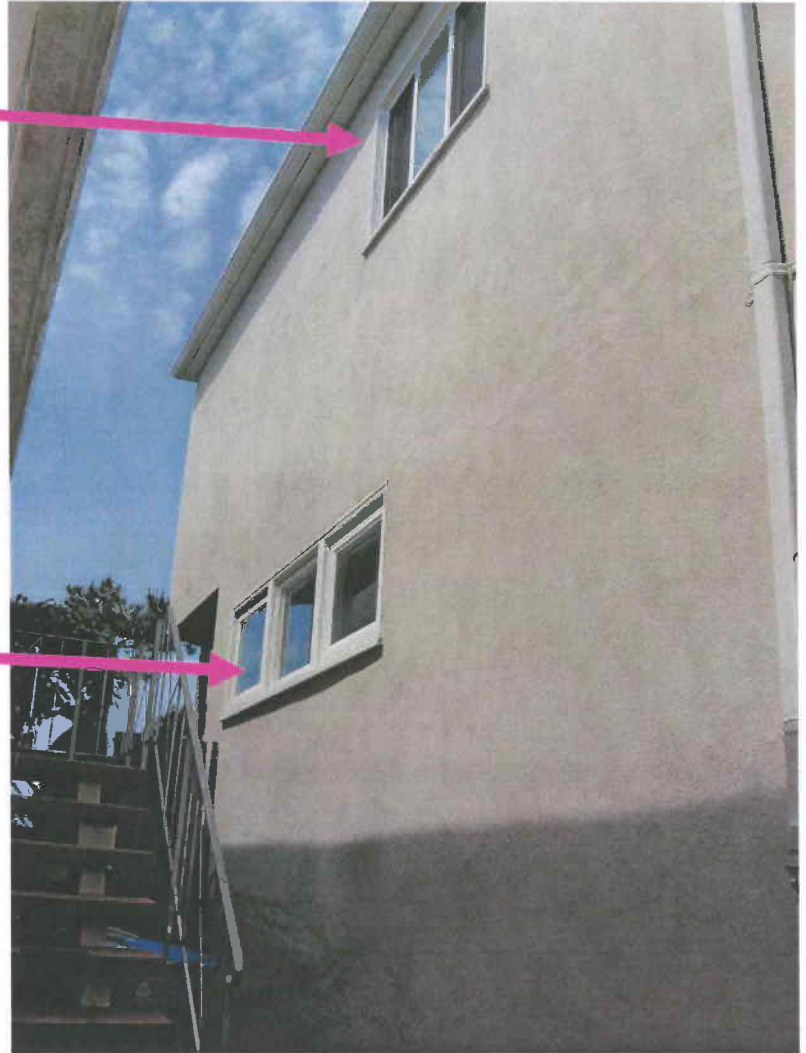
08.0645D

Requesting Discretionary Review of: 7 Lake Forest Court

Second photo exhibiting the windows (specifically the kitchen and family room windows) on my property that will be blocked if the 3rd floor addition is approved.

Kitchen Window

Family Room Window



08.06450

REUBEN, JUNIUS & ROSE, LLP

June 19, 2015

By Hand Delivery

President Rodney Fong
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 7 Lake Forest Court – Brief in Opposition to Discretionary Review Request
Our file: 8848.01

Dear President Fong:

Our office represents Justin Tin, owner of the property located at 7 Lake Forest Court (the “Property”). The Property is currently improved with a two-story single family home. Mr. Tin has two young children and is proposing the current project (the “Project”) to accommodate his growing, multi-generational family. The Project consists of a modest third story addition to the existing single-family home. The third floor is proposed for the purpose of moving in Mr. Tin’s elderly parents, who are especially in need of the additional support and could greatly benefit from the proximity to their son, daughter-in-law, and grandchildren.

The proposed third floor consists of 827 square feet. It will have a significant front setback of 24 feet, 6 inches from the property line and a rear setback of 31 feet, 10 inches from the rear property line. The Project will increase the maximum height of the building by just 8 feet, 9 inches. The architectural style of the proposed third story is completely consistent with the architectural style of the existing home.

As will be detailed in this letter, Mr. Tin has worked hard and in good faith to consult his neighbors and the Planning Department to craft a project that the neighborhood is comfortable with and the Planning Department has supported. This has resulted in a project that proposes a modest expansion of the home, increases the building area by 827 square feet, increases the effective height by 8 feet, 9 inches, and significantly sets back the new third story from both the front and the rear of the lot. Despite working diligently with the Planning Department and extensively reaching out to neighbors to achieve a design that would (1) meet the needs of his family, (2) be supported by the entire neighborhood, and (3) be supported by the Department, Mr. Tin has been unable to satisfy all of his neighbors, one of which, Kathleen Ue of 15 Lake Forest Court (the “DR Requestor”), requested a discretionary review hearing at the Planning Commission.

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin

Jay F. Drake | Lindsay M. Petrone | Sheryl Reuben¹ | Tuija I. Catalano | Thomas Tunny | David Silverman

Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey | Jared Eigerman^{2,3} | John McNerney III²

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

www.reubenlaw.com

The Project will allow Mr. Tin's parents to move into an accessible and comfortable living area on-site along with Mr. Tin's family. The Project will allow his family to live under one roof. We respectfully ask that you deny the request for discretionary review and approve the modest home expansion as proposed.

A. Neighborhood Outreach and Design Development

Throughout the entire entitlement process to date, Mr. Tin has strived to design a project that meets his and his family's needs that also fulfills the aesthetic and design considerations of the neighborhood and the Planning Department. On October 27, 2007, Mr. Tin held a pre-application meeting at the Property. From the beginning of the process, the DR Requester, who lives in the adjacent property, did not support a vertical addition to the home.

Mr. Tin has been willing to change the proposed project in response to reasonable requests. The third floor plans have been updated to include a 15-foot setback from the front building wall, as requested by the Planning Department. Also, Mr. Tin has reconsidered window options in response to the Residential Design Team comment to select higher quality windows for the third floor. What the DR Requestor proposes – eliminating the third floor in its entirety – is unreasonable. Limiting Mr. Tin, his wife, their two children, and his elderly parents within the existing home would put a 6-person household in a space with only three bedrooms. Eliminating the proposed third floor is simply not adequate to meet the needs of Mr. Tin's growing family and his elderly parents.

Mr. Tin's goal of providing a single home for his multi-generational family is reasonable, and the Project he proposes is modest in scale. Mr. Tin has shown he is flexible and responsive to design requests that still allow him to achieve that goal. Mr. Tin has demonstrated good faith in reaching out and attempting to accommodate neighbors.

B. The Project Complies with Residential Design Guidelines

The DR Requestor cites only two areas of inconsistency between the Project and the Residential Design Guidelines: neighborhood character and light. However, the focus of the DR Requestor's argument is really on the height of the Project. The DR Requestor's argument is essentially this: there is no other three-story residence on the same block face or on the block of Oak Park Drive that intersects with Lake Forest Court, and therefore the Project disrupts neighborhood character and is not consistent with the Residential Design Guidelines (the "Guidelines"). This is a far too narrow application of the Guidelines and does not in fact express their actual intent.

The Guidelines include specific guidance on how to provide appropriate building scale at the street when adding height to a building. The general guideline is:

Design the height and depth of the building to be compatible with the existing building scale at the street. (Guidelines, page 24.)

The Guidelines go on to say that when “a new floor is being added to an existing building, it may be necessary to modify the building height or depth to maintain the existing scale at the street.” (Guidelines, page 24). The Guidelines then recommend four specific modifications to make the new story compatible with and sensitive to the surrounding neighborhood, three of which the Project fully incorporates:

- Setback the upper story by 15 feet from the front building wall. The Project has incorporated a 15-foot setback from the existing building’s front wall, for a total setback of 26 feet, 6 inches from the front property line.
- Eliminate the building parapet. The new third story has no parapet, and is as short as feasibly possible. The height of the third story is further mitigated by the addition occupying existing attic space and sloping roofline at the second story, limiting the effective height increase of the Project to 8 feet, 9 inches.
- Provide a sloping roofline. The side-facing roofline of the proposed third story slopes at a 33½ degree angle. This slope will be covered with asphalt shingles, consistent with the architectural style of the existing building and many of the other homes in the neighborhood.

A rendering of the Project is attached as **Exhibit A.**

With respect to neighborhood character, the DR Requestor doesn’t provide a full picture of the neighborhood. While the adjacent and nearby homes on the same block face are two stories, the homes in the neighborhood are on the slope of Mount Sutro. As such, the properties closer to the peak are at higher elevation than the Property. Due to the slope, the DR Requestor’s home will be nearly as tall as the Tins’ home. Also, there are numerous homes just one block away Oak Park Drive, where there are three story homes lining the up-slope side of the street with two story building on the down-slope side. (See **Exhibit B** with photos attached.)

The Guidelines expressly state that “a building that is larger than its neighbors can still be in scale and compatible with smaller buildings in the area.” (Guidelines, page 23.) The Project does everything possible to minimize the impact of the new third floor, and will not change the character of the neighborhood, which already has dozens of three-story homes. The Residential Design Team confirmed, “there is nothing exceptional or extraordinary about the property or project, pursuant to RDG pgs. 19, 24-25,” which cover corner buildings, building scale at the street and building scale at the mid-block open space.

The architectural style of the Project will also ensure that the third story addition will not change the character of the existing home. The design of the Project will maintain its existing style with the third floor addition. Stucco surfaces and asphalt shingles on the third floor roof will be used to match the style of the existing home, which will leave the third floor architecturally indistinguishable from the existing first two floors.

When considering neighborhood character, it is important to consider the character in the context of someone living in or walking through the neighborhood. As discussed above, the third story addition is designed in a way that has minimal effect on someone at street level. Even the impact on those occupying the second third floor of buildings across the street on Oak Park would be limited due to the modest scale of the proposed addition (essentially looking at the partial third floor of the Property instead of the south wall of the DR Requestor's home).

The DR Requestor asserts that the third floor addition would block sunlight to four windows of her home facing the Property. One of the Residential Design Guidelines states "maintain light to adjacent properties by providing adequate setbacks." (Guidelines, page 5.) The proposed third floor addition will maintain the existing side spacing between the buildings. There is a 7 foot, 3 inch-wide open space between the buildings.

When the project was reviewed by the Residential Design Team, the planners commented that "there are no significant impacts due to the side setbacks at both properties." For these reasons, the Planning Commission should find that the Design Principle and the Guidelines concerning light are met.

The DR Requestor also raises a concern over privacy. The Guidelines covers the issue of privacy: "As with light, some loss of privacy to existing neighboring buildings can be expected with a building expansion. However, there may be special situations where a proposed project will have an unusual impact on privacy to neighboring interior living spaces." (Guidelines, page 17.) On the new floor, there will only be two small windows facing DR Requestor's property. There will not be an unusual impact due to the third floor addition.

C. Conclusion

Mr. Tin is proposing a modest addition to his family home so that his elderly parents can live comfortably and safely with his wife and children. Mr. Tin and his family represent a shrinking demographic in San Francisco: families with children. According to the City's Housing Element, "under 12% of the city's total population is 14 years old and younger, giving San Francisco the distinction of having the fewest children per capita of all major U.S. cities." (2014 Housing Element, page I.3.) To that end, Housing Element Policy 4.1 states "Develop new housing, and encourage the remodeling of existing housing, for families with children."

The Project design has been modified over the course of Planning Department review to incorporate reasonable recommendations. The Project has the support of the Planning

Department, which has expressly recognized that the Project will not cause significant light or air impacts and that there is nothing exceptional or extraordinary about the Project with regard to scale at the street and at the mid-block open space or considering its location at the corner of the block.

Mr. Tin has reached out to the neighborhood in a good faith attempt to design the Project in a way that will assuage their concerns. Having realized that the remaining opponents will not accept a third story in any case, and since the third story is the only way to accommodate Mr. Tin's family and parents, Mr. Tin now appeals to the Planning Commission to confirm that the Project is reasonable and modest in nature, and does not rise to the threshold of "exceptional and extraordinary circumstances" that are required to approve the DR request. We respectfully ask the Planning Commission to deny the discretionary review request and to allow the Project to move forward. Thank you for your consideration.

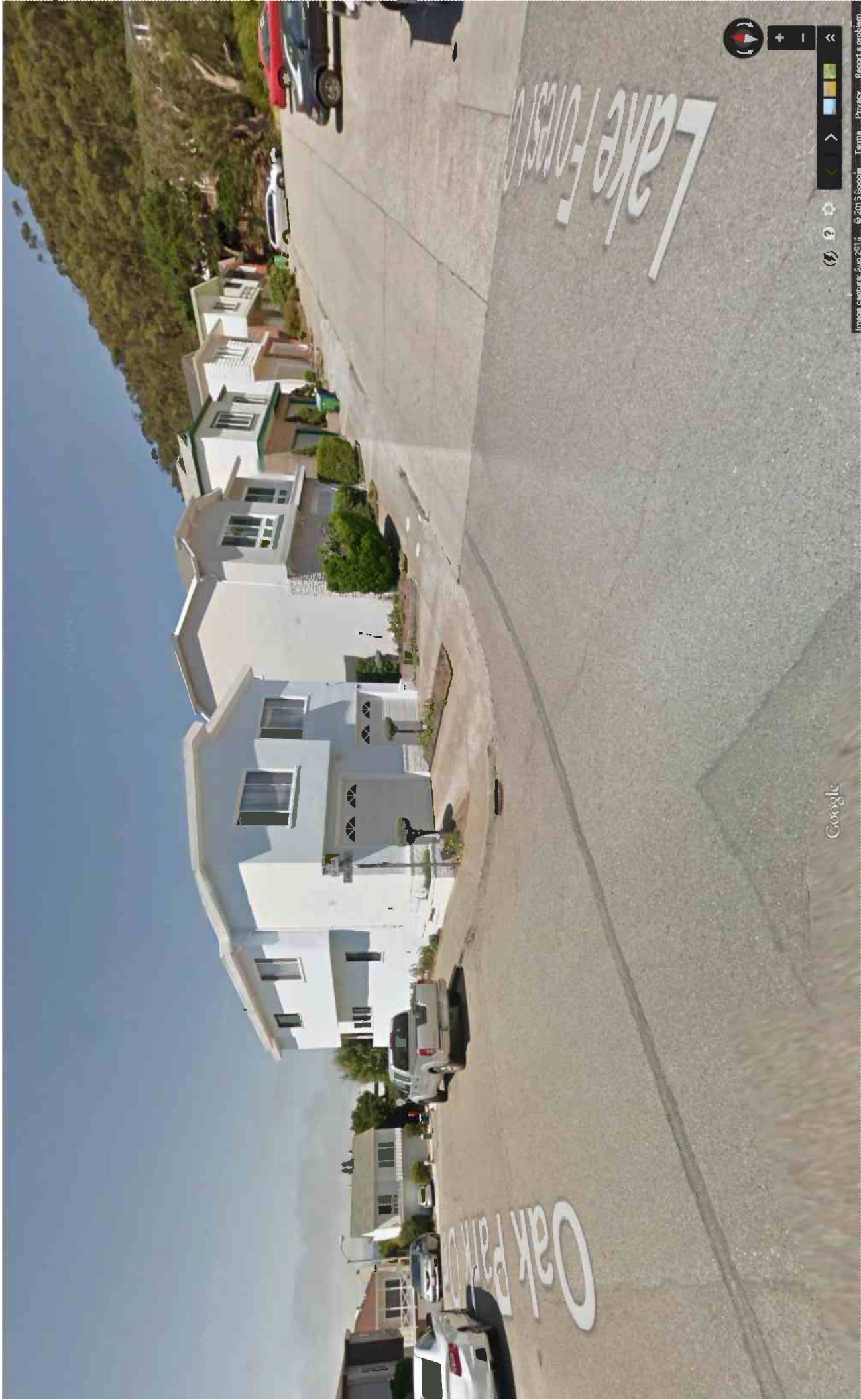
Very truly yours,

REUBEN & JUNIUS, LLP



John Kevlin

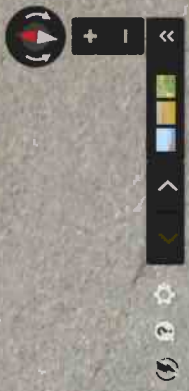
cc: Vice President Cindy Wu
Commissioner Michael Antonini
Commissioner Rich Hillis
Commissioner Christine Johnson
Commissioner Kathrin Moore
Commissioner Dennis Richards
Jonas Ionan - Commission Secretary
Andrew Perry – Southwest Quadrant Planner
Justin Tin – Project Sponsor

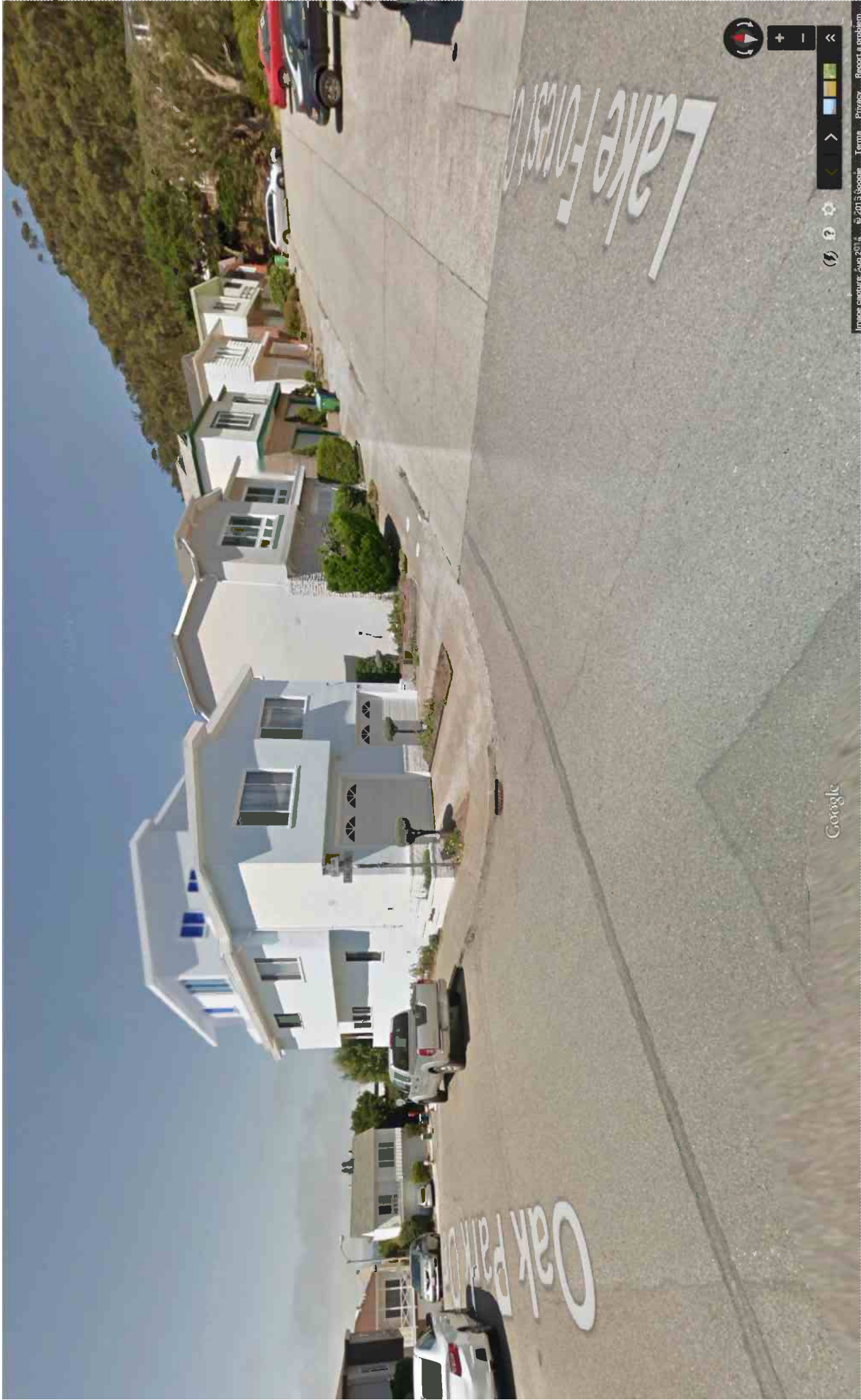


Google

Lake Forest Dr

Oak Park Dr





Google

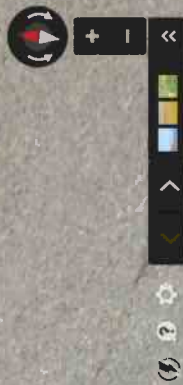
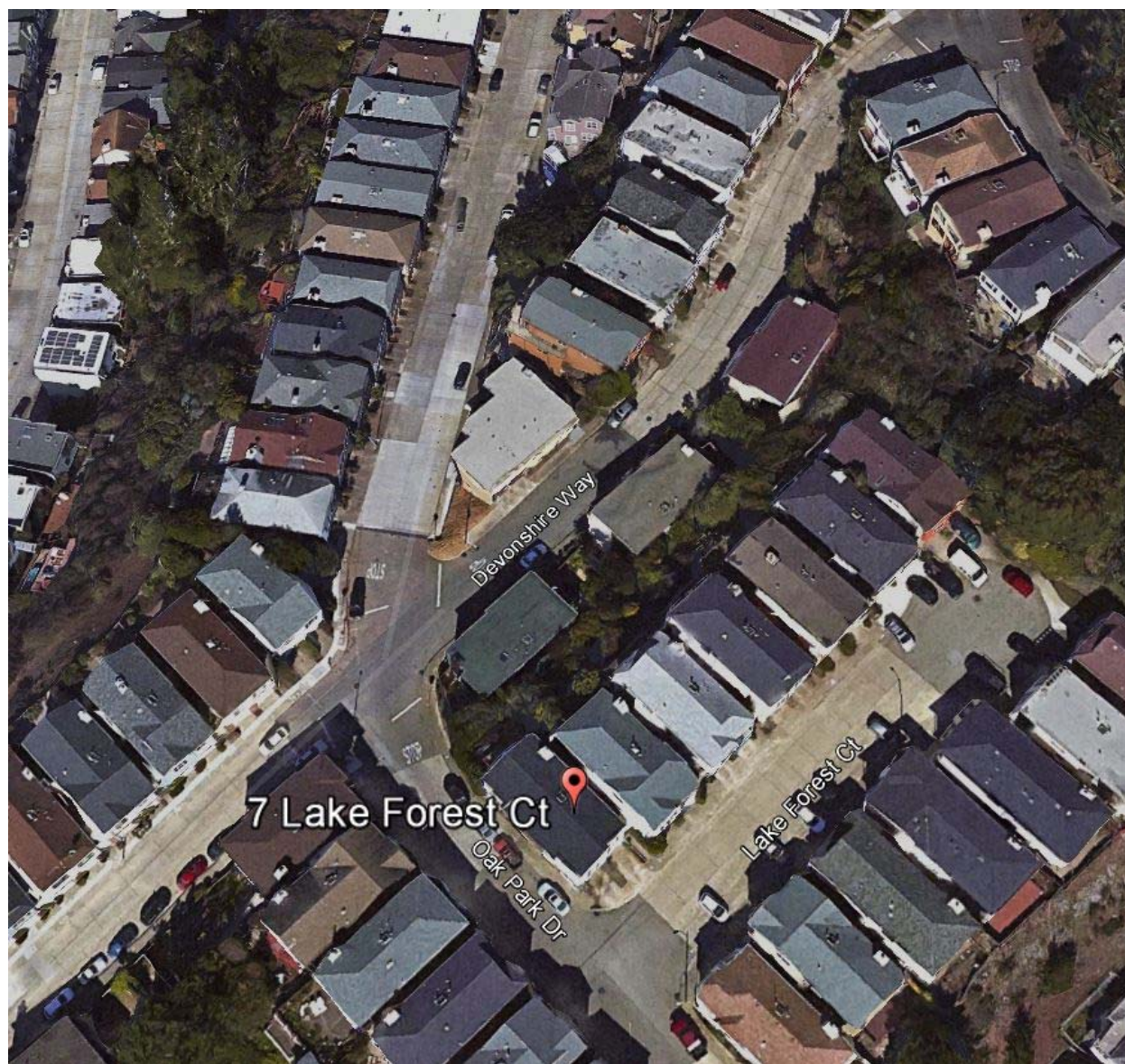


Exhibit B

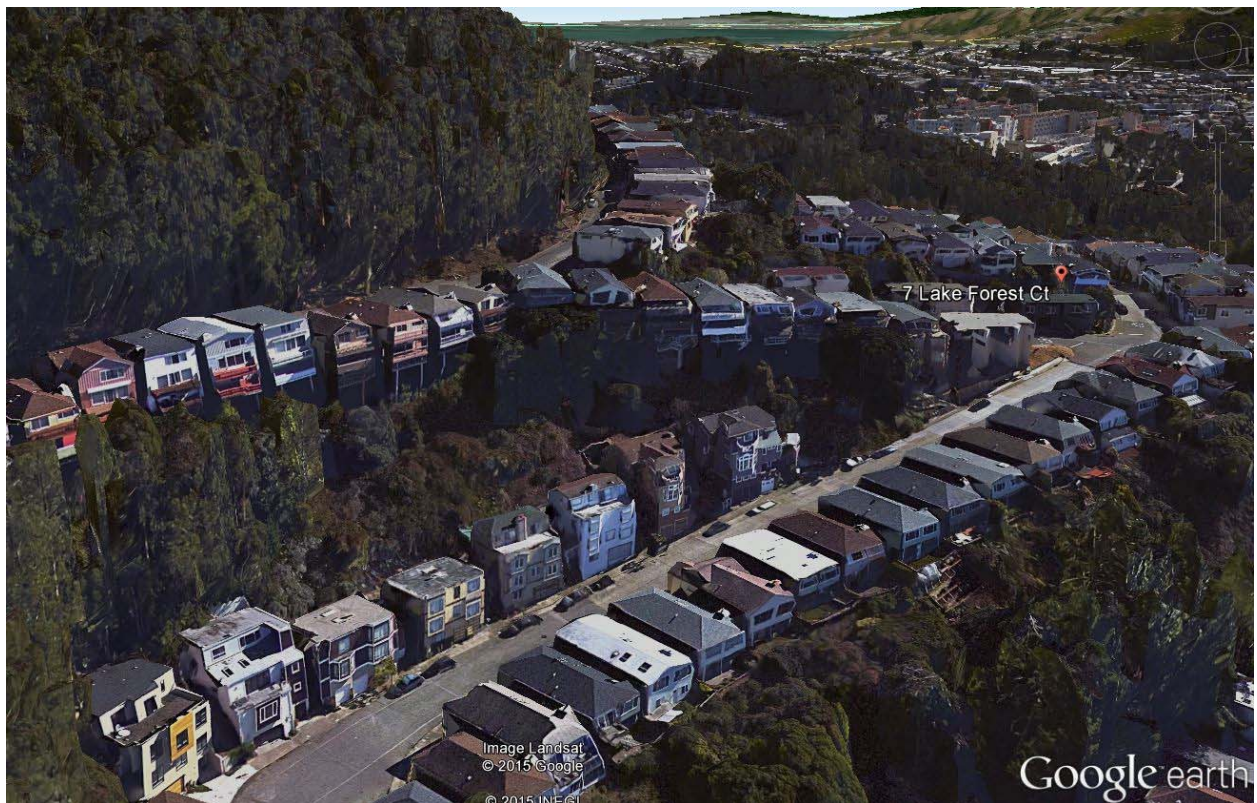
Aerial view of the 7 Lake Forest Court (the “Property”) and neighboring streets



Nearby 3-story homes on Devonshire Way and Oak Park Drive



Nearby 3-story homes on Devonshire Way and Oak Park Drive

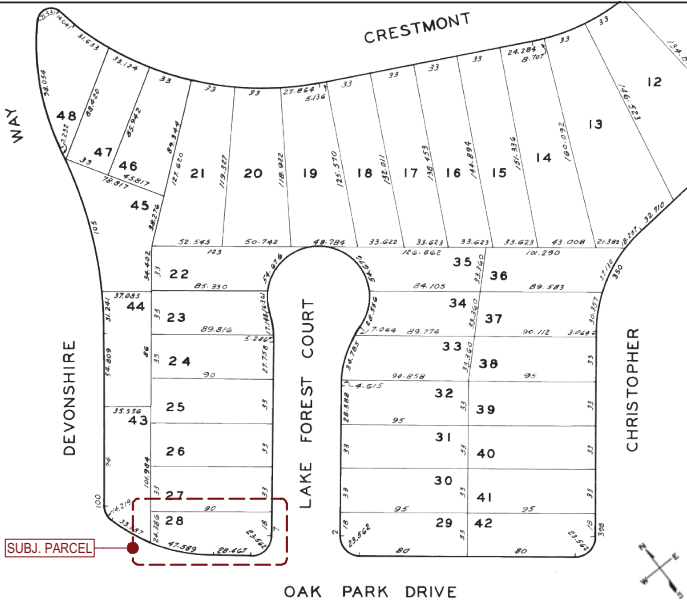



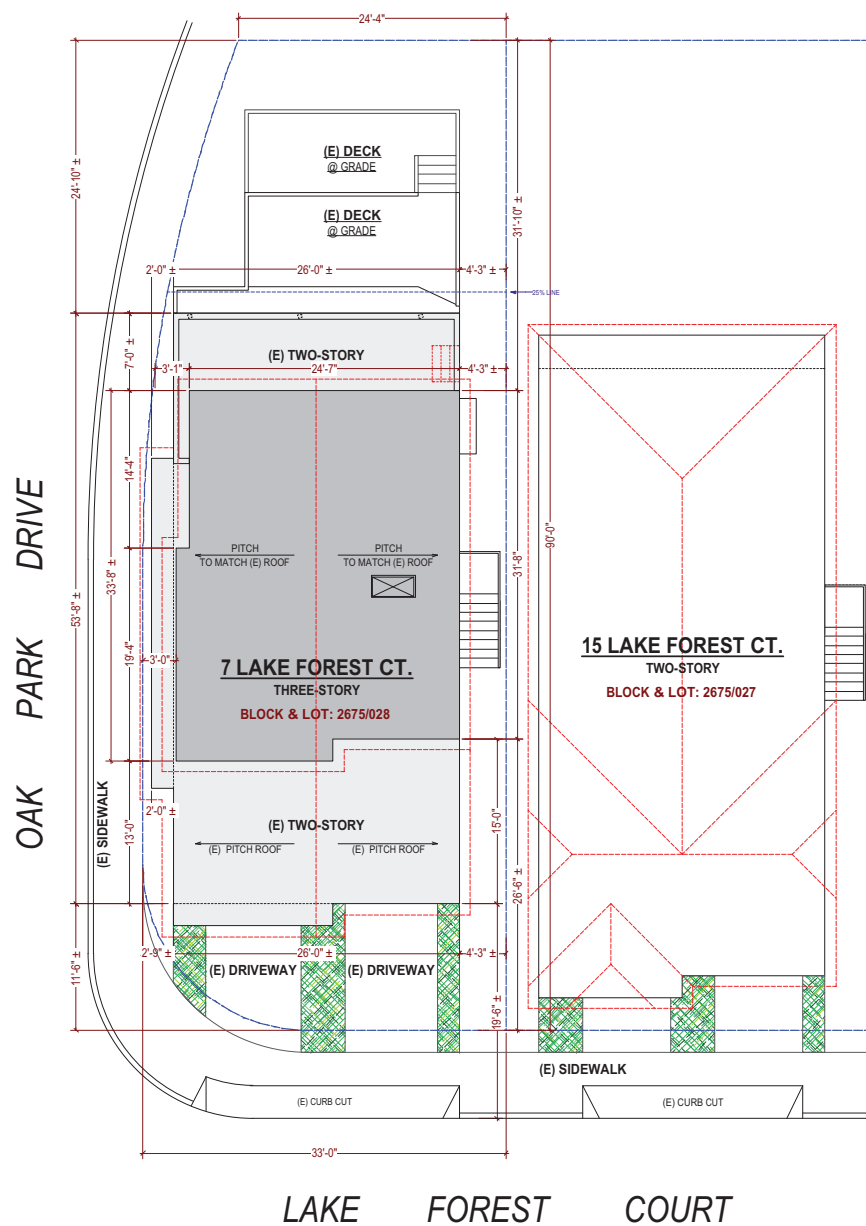
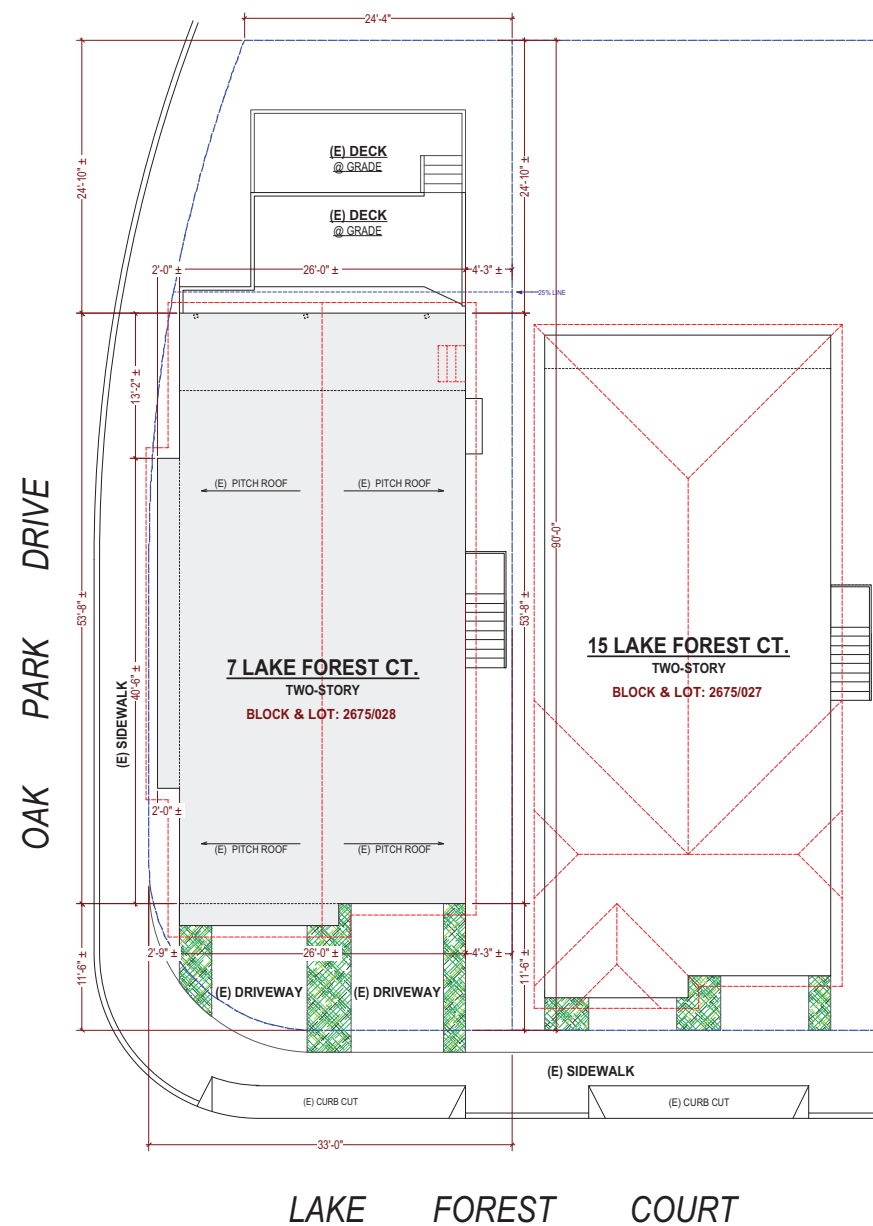
Street View of Oak Park Drive – One block away from 7 Lake Forest Court



Street view of the Property and the slope of Lake Forest Court



	1	2	3	4	5	6	7	8	9	10																																																																																																																																																																																																																																																																																													
A	ASSESSOR'S MAP			SCOPE OF WORK			DRAWING INDEX			PROJECT NAME	7 Lake Forest Court SAN FRANCISCO, CA																																																																																																																																																																																																																																																																																												
				-PROPOSED VERTICAL ADDITION TO EXISTING SINGLE FAMILY HOME			<u>ARCHITECTURAL</u> A-0.1 COVER SHEET A-1.1 SITE PLANS & NOTES A-2.1 FIRST FLOOR PLANS A-2.2 SECOND FLOOR PLANS A-2.3 THIRD FLOOR PLAN, & ROOF PLAN A-3.1 FRONT ELEVATIONS A-3.2 REAR ELEVATIONS A-3.3 LEFT ELEVATIONS A-3.4 RIGHT ELEVATIONS A-4.1 BUILDING SECTION A-4.2 GENRAL NOTES AND TYPICAL DETAILS G-0.1 GREEN BUILDING CHECKLIST			 SIA CONSULTING CORPORATION 1256 HOWARD STREET SAN FRANCISCO CA 94103 TEL: (415) 922.0200 FAX: (415) 922.0203 WEBSITE:WWW.SIACONSULT.COM																																																																																																																																																																																																																																																																																													
B																																																																																																																																																																																																																																																																																																							
C	GENERAL NOTES			ABBREVIATION			PROJECT DATA			SHEET TITLE	Cover Sheet																																																																																																																																																																																																																																																																																												
	<p>1. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.</p> <p>2. ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL.</p> <p>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DIMENSIONS, AND MEASUREMENTS IN THE FIELD BEFORE BEGINNING WORK. ANY AND ALL DISCREPANCIES, UNUSUAL CIRCUMSTANCES, ERRORS OMISSIONS AND/OR CONFLICTS FUNDS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER'S AND THE OWNER ATTENTION IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.</p> <p>5. UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.</p> <p>6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.</p> <p>7. DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED.</p> <p>8. ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.</p> <p>9. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT, CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.</p> <p>11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.</p> <p>12. DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.</p> <p>13. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF , OR INSTALLATION OF ANY ITEM OF WORK.</p> <p>14. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS. PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.</p> <p>15. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.</p> <p>16. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH CBC SEC. 719.</p> <p>17. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.</p> <p>18. ALL NEW SMOKE DETECTORS TO E HARD WIRED.</p> <div>NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS</div>			<table><tr><td>#</td><td>POUND OR NUMBER</td><td>H.C.</td><td>HANDICAPPED</td></tr><tr><td>AND</td><td>AND</td><td>HI</td><td>HIGH</td></tr><tr><td>@</td><td>AT</td><td>HM</td><td>HOLLOW METAL</td></tr><tr><td>ABV</td><td>ABOVE</td><td>HP</td><td>HIGH POINT</td></tr><tr><td>ACT</td><td>ACOUSTIC CEILING TILE</td><td>HR</td><td>HOUR</td></tr><tr><td>AD</td><td>AREA DRAIN</td><td>HVAC</td><td>HEATING, VENTILATING, AND AIR CONDITIONING</td></tr><tr><td>AFF</td><td>ABOVE FINISHED FLOOR</td><td>IRGWB</td><td>IMPACT RESISTANT GYPSUM WALLBOARD</td></tr><tr><td>ALUM</td><td>ALUMINUM</td><td>ILO</td><td>IN LIEU OF</td></tr><tr><td>APPROX</td><td>APPROXIMATE</td><td>INSUL</td><td>INSULATED</td></tr><tr><td>ANOD</td><td>ANODIZED</td><td>INT</td><td>INTERIOR</td></tr><tr><td>ASPH</td><td>ASPHALT</td><td>LO</td><td>LOW</td></tr><tr><td>BD</td><td>BOARD</td><td>MAX</td><td>MAXIMUM</td></tr><tr><td>BLDG</td><td>BUILDING</td><td>MECH</td><td>MECHANICAL</td></tr><tr><td>BLKG</td><td>BLOCKING</td><td>MEMBR</td><td>MEMBRANE</td></tr><tr><td>BOT</td><td>BOTTOM</td><td>MIN</td><td>MINIMUM</td></tr><tr><td>BSMT</td><td>BASEMENT</td><td>MO</td><td>MASONRY OPENING</td></tr><tr><td>BST</td><td>BOTTOM OF STAIRS</td><td>MTL</td><td>METAL</td></tr><tr><td>BYND</td><td>BEYOND</td><td>(N)</td><td>NEW</td></tr><tr><td>CIP</td><td>CAST IN PLACE</td><td>NIC</td><td>NOT IN CONTRACT</td></tr><tr><td>CHNL</td><td>CHANNEL</td><td>NO</td><td>NUMBER</td></tr><tr><td>CJ</td><td>CONTROL JOINT</td><td>NOM</td><td>NOMINAL</td></tr><tr><td>CLG</td><td>CEILING</td><td>N.T.S.</td><td>NOT TO SCALE</td></tr><tr><td>CLO</td><td>CLOSET</td><td>O.C.</td><td>ON CENTER</td></tr><tr><td>CLR</td><td>CLEAR</td><td>OFF</td><td>OFFICE</td></tr><tr><td>CNTR</td><td>COUNTER</td><td>OH</td><td>OPPOSITE HAND</td></tr><tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>OZ</td><td>OUNCE</td></tr><tr><td>COL</td><td>COLUMN</td><td>PCC</td><td>PRE-CAST CONCRETE</td></tr><tr><td>COMPR</td><td>COMPRESSIBLE</td><td>P.L.</td><td>PROPERTY LINE</td></tr><tr><td>CONC</td><td>CONCRETE</td><td>PLUMB</td><td>PLUMBING</td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td>PLYD</td><td>PLYWOOD</td></tr><tr><td>CORR</td><td>CORRIDOR</td><td>PT</td><td>PRESSURE TREATED</td></tr><tr><td>CPT</td><td>CARPET</td><td>PNT</td><td>PAINT/PAINTED</td></tr><tr><td>CT</td><td>CERAMIC TILE</td><td>PVC</td><td>POLYVINYL CHLORIDE</td></tr><tr><td>CTR</td><td>CENTER</td><td>RBR</td><td>RUBBER</td></tr><tr><td>CTYD</td><td>COURTYARD</td><td>RCP</td><td>REFLECTED CEILING PLAN</td></tr><tr><td>DBL</td><td>DOUBLE</td><td>RD</td><td>ROOF DRAIN</td></tr><tr><td>DEMO</td><td>DEMOLISH</td><td>RDWD</td><td>REDWOOD</td></tr><tr><td>DET</td><td>DETAIL</td><td>REQD</td><td>REQUIRED</td></tr><tr><td>D.F.</td><td>DRINKING FOUNTAIN</td><td>RM</td><td>ROOM</td></tr><tr><td>DIA</td><td>DIAMETER</td><td>S.F.</td><td>SQUARE FOOT</td></tr><tr><td>DIMS</td><td>DIMENSIONS</td><td>SIM</td><td>SIMILIAR</td></tr><tr><td>DN</td><td>DOWN</td><td>SPEC</td><td>SPECIFIED OR SPECIFICATION</td></tr><tr><td>DR</td><td>DOOR</td><td>SPK</td><td>SPRINKLER</td></tr><tr><td>DWG</td><td>DRAWING</td><td>SSTL</td><td>STAINLESS STEEL</td></tr><tr><td>(E)</td><td>EXISTING</td><td>STC</td><td>SOUND TRANSMISSION COEFFICIENT</td></tr><tr><td>EA</td><td>EACH</td><td>STD</td><td>STANDARD</td></tr><tr><td>EL</td><td>ELEVATION</td><td>STL</td><td>STEEL</td></tr><tr><td>ELEC</td><td>ELECTRICAL</td><td>STRUCT</td><td>STRUCTURAL</td></tr><tr><td>ELEV</td><td>ELEVATOR/ELEVATION</td><td>SQ.</td><td>SQUARE</td></tr><tr><td>EQ</td><td>EQUAL</td><td>T&G</td><td>TONGUE AND GROOVE</td></tr><tr><td>EXT</td><td>EXTERIOR</td><td>TC</td><td>TOP OF CURB</td></tr><tr><td>EXP JT</td><td>EXPANSION JOINT</td><td>TELE</td><td>TELEPHONE</td></tr><tr><td>EXT</td><td>EXTERIOR</td><td>TLT</td><td>TOILET</td></tr><tr><td>F.D.</td><td>FLOOR DRAIN</td><td>TO</td><td>TOP OF</td></tr><tr><td>FEC</td><td>FIRE EXTINGUISHER CABINET</td><td>TOC</td><td>TOP OF CONCRETE</td></tr><tr><td>FIXT</td><td>FIXTURE</td><td>TOS</td><td>TOP OF STEEL</td></tr><tr><td>FLR</td><td>FLOOR</td><td>TP</td><td>TOILET PAPER DISPENSER</td></tr><tr><td>FLUOR</td><td>FLUORESCENT</td><td>T/D</td><td>TELEPHONE/DATA</td></tr><tr><td>FM</td><td>FILLED METAL</td><td>TST</td><td>TOP OF STAIRS</td></tr><tr><td>FND</td><td>FOUNDATION</td><td>TYP</td><td>TYPICAL</td></tr><tr><td>FO</td><td>FACE OF</td><td>U.N.O.</td><td>UNLESS NOTED OTHERWISE</td></tr><tr><td>F.O.F.</td><td>FACE OF FININSH</td><td>UIS</td><td>UNDERSIDE</td></tr><tr><td>FURR</td><td>FURRING</td><td>V.I.F.</td><td>VERIFY IN FIELD</td></tr><tr><td>GA</td><td>GAUGE</td><td>VP</td><td>VISION PANEL</td></tr><tr><td>GALV</td><td>GALVANIZED</td><td>W</td><td>WITH</td></tr><tr><td>G.B.</td><td>GRAB BAR</td><td>WD</td><td>WOOD</td></tr><tr><td>GND</td><td>GROUND</td><td>W.H.</td><td>WATER HEATER</td></tr><tr><td>GRP</td><td>GROUP</td><td></td><td></td></tr><tr><td>GWB</td><td>GYPSUM WALL BOARD</td><td></td><td></td></tr><tr><td>GYP</td><td>GYPSUM</td><td></td><td></td></tr></table>			#	POUND OR NUMBER	H.C.	HANDICAPPED		AND	AND	HI	HIGH	@	AT	HM	HOLLOW METAL	ABV	ABOVE	HP	HIGH POINT	ACT	ACOUSTIC CEILING TILE	HR	HOUR	AD	AREA DRAIN	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	AFF	ABOVE FINISHED FLOOR	IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD	ALUM	ALUMINUM	ILO	IN LIEU OF	APPROX	APPROXIMATE	INSUL	INSULATED	ANOD	ANODIZED	INT	INTERIOR	ASPH	ASPHALT	LO	LOW	BD	BOARD	MAX	MAXIMUM	BLDG	BUILDING	MECH	MECHANICAL	BLKG	BLOCKING	MEMBR	MEMBRANE	BOT	BOTTOM	MIN	MINIMUM	BSMT	BASEMENT	MO	MASONRY OPENING	BST	BOTTOM OF STAIRS	MTL	METAL	BYND	BEYOND	(N)	NEW	CIP	CAST IN PLACE	NIC	NOT IN CONTRACT	CHNL	CHANNEL	NO	NUMBER	CJ	CONTROL JOINT	NOM	NOMINAL	CLG	CEILING	N.T.S.	NOT TO SCALE	CLO	CLOSET	O.C.	ON CENTER	CLR	CLEAR	OFF	OFFICE	CNTR	COUNTER	OH	OPPOSITE HAND	CMU	CONCRETE MASONRY UNIT	OZ	OUNCE	COL	COLUMN	PCC	PRE-CAST CONCRETE	COMPR	COMPRESSIBLE	P.L.	PROPERTY LINE	CONC	CONCRETE	PLUMB	PLUMBING	CONT	CONTINUOUS	PLYD	PLYWOOD	CORR	CORRIDOR	PT	PRESSURE TREATED	CPT	CARPET	PNT	PAINT/PAINTED	CT	CERAMIC TILE	PVC	POLYVINYL CHLORIDE	CTR	CENTER	RBR	RUBBER	CTYD	COURTYARD	RCP	REFLECTED CEILING PLAN	DBL	DOUBLE	RD	ROOF DRAIN	DEMO	DEMOLISH	RDWD	REDWOOD	DET	DETAIL	REQD	REQUIRED	D.F.	DRINKING FOUNTAIN	RM	ROOM	DIA	DIAMETER	S.F.	SQUARE FOOT	DIMS	DIMENSIONS	SIM	SIMILIAR	DN	DOWN	SPEC	SPECIFIED OR SPECIFICATION	DR	DOOR	SPK	SPRINKLER	DWG	DRAWING	SSTL	STAINLESS STEEL	(E)	EXISTING	STC	SOUND TRANSMISSION COEFFICIENT	EA	EACH	STD	STANDARD	EL	ELEVATION	STL	STEEL	ELEC	ELECTRICAL	STRUCT	STRUCTURAL	ELEV	ELEVATOR/ELEVATION	SQ.	SQUARE	EQ	EQUAL	T&G	TONGUE AND GROOVE	EXT	EXTERIOR	TC	TOP OF CURB	EXP JT	EXPANSION JOINT	TELE	TELEPHONE	EXT	EXTERIOR	TLT	TOILET	F.D.	FLOOR DRAIN	TO	TOP OF	FEC	FIRE EXTINGUISHER CABINET	TOC	TOP OF CONCRETE	FIXT	FIXTURE	TOS	TOP OF STEEL	FLR	FLOOR	TP	TOILET PAPER DISPENSER	FLUOR	FLUORESCENT	T/D	TELEPHONE/DATA	FM	FILLED METAL	TST	TOP OF STAIRS	FND	FOUNDATION	TYP	TYPICAL	FO	FACE OF	U.N.O.	UNLESS NOTED OTHERWISE	F.O.F.	FACE OF FININSH	UIS	UNDERSIDE	FURR	FURRING	V.I.F.	VERIFY IN FIELD	GA	GAUGE	VP	VISION PANEL	GALV	GALVANIZED	W	WITH	G.B.	GRAB BAR	WD	WOOD	GND	GROUND	W.H.	WATER HEATER	GRP	GROUP			GWB	GYPSUM WALL BOARD			GYP	GYPSUM			<div>LOT AREA: 2,962 ± S.F.</div> <div>(E) NUMBER OF UNITS: 1 (NO CHANGE)</div> <div>(E) NUMBER OF STORIES: 2 PLUS ATTIC</div> <div>(N) NUMBER OF STORIES 3</div> <div>(E) BUILDING HEIGHT @ FRONT P.L.: 24'-0" ±</div> <div>(N) BUILDING HEIGHT @ FRONT P.L.: 32'-9" ±</div> <div>CONSTRUCTION TYPE: V-B</div> <div>OCCUPANCY GROUP: R-3 (NO CHANGE)</div> <div>BLOCK & LOT : 2675 / 028</div> <div>ZONING: RH-1</div> <div>APPLICABLE CODES: 2013 CALIFORNIA CODES EDITIONS W/ SAN FRANCISCO AMENDMENTS</div> <div>FLOOR AREA:</div> <div>(E) GARAGE FLOOR AREA (1ST FLR): 550 ± S.F. (NO CHANGE)</div> <div>(E) FIRST FLOOR AREA (INCL. GARAGE): 1,213 ± S.F. (NO CHANGE)</div> <div>(E) SECOND FLOOR AREA: 1,484 ± S.F. (NO CHANGE)</div> <div>(E) ATTIC FLOOR AREA: N/A</div> <div>(E) TOTAL BLDG. GROSS AREA (INCL. GARAGE): 2,697 ± S.F.</div> <div>(E) TOTAL HABITABLE FLOOR AREA (EXCL. GARAGE): 2,147 ± S.F.</div> <div>(N) THIRD FLOOR AREA: 827 ± S.F.</div> <div>(N) TOTAL BLDG. GROSS AREA (INCL GARAGE): 3,524 ± S.F.</div> <div>(N) TOTAL HABITABLE FLOOR AREA (EXCL GARAGE): 2,974 ± S.F.</div>			<div>These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.</div> <div>ISSUES / REVISIONS</div> <table><tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td></td><td>12/02/2014</td><td>REVISION PER COMMENT</td></tr></table>	NO.	DATE	DESCRIPTION	
#	POUND OR NUMBER	H.C.	HANDICAPPED																																																																																																																																																																																																																																																																																																				
AND	AND	HI	HIGH																																																																																																																																																																																																																																																																																																				
@	AT	HM	HOLLOW METAL																																																																																																																																																																																																																																																																																																				
ABV	ABOVE	HP	HIGH POINT																																																																																																																																																																																																																																																																																																				
ACT	ACOUSTIC CEILING TILE	HR	HOUR																																																																																																																																																																																																																																																																																																				
AD	AREA DRAIN	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING																																																																																																																																																																																																																																																																																																				
AFF	ABOVE FINISHED FLOOR	IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD																																																																																																																																																																																																																																																																																																				
ALUM	ALUMINUM	ILO	IN LIEU OF																																																																																																																																																																																																																																																																																																				
APPROX	APPROXIMATE	INSUL	INSULATED																																																																																																																																																																																																																																																																																																				
ANOD	ANODIZED	INT	INTERIOR																																																																																																																																																																																																																																																																																																				
ASPH	ASPHALT	LO	LOW																																																																																																																																																																																																																																																																																																				
BD	BOARD	MAX	MAXIMUM																																																																																																																																																																																																																																																																																																				
BLDG	BUILDING	MECH	MECHANICAL																																																																																																																																																																																																																																																																																																				
BLKG	BLOCKING	MEMBR	MEMBRANE																																																																																																																																																																																																																																																																																																				
BOT	BOTTOM	MIN	MINIMUM																																																																																																																																																																																																																																																																																																				
BSMT	BASEMENT	MO	MASONRY OPENING																																																																																																																																																																																																																																																																																																				
BST	BOTTOM OF STAIRS	MTL	METAL																																																																																																																																																																																																																																																																																																				
BYND	BEYOND	(N)	NEW																																																																																																																																																																																																																																																																																																				
CIP	CAST IN PLACE	NIC	NOT IN CONTRACT																																																																																																																																																																																																																																																																																																				
CHNL	CHANNEL	NO	NUMBER																																																																																																																																																																																																																																																																																																				
CJ	CONTROL JOINT	NOM	NOMINAL																																																																																																																																																																																																																																																																																																				
CLG	CEILING	N.T.S.	NOT TO SCALE																																																																																																																																																																																																																																																																																																				
CLO	CLOSET	O.C.	ON CENTER																																																																																																																																																																																																																																																																																																				
CLR	CLEAR	OFF	OFFICE																																																																																																																																																																																																																																																																																																				
CNTR	COUNTER	OH	OPPOSITE HAND																																																																																																																																																																																																																																																																																																				
CMU	CONCRETE MASONRY UNIT	OZ	OUNCE																																																																																																																																																																																																																																																																																																				
COL	COLUMN	PCC	PRE-CAST CONCRETE																																																																																																																																																																																																																																																																																																				
COMPR	COMPRESSIBLE	P.L.	PROPERTY LINE																																																																																																																																																																																																																																																																																																				
CONC	CONCRETE	PLUMB	PLUMBING																																																																																																																																																																																																																																																																																																				
CONT	CONTINUOUS	PLYD	PLYWOOD																																																																																																																																																																																																																																																																																																				
CORR	CORRIDOR	PT	PRESSURE TREATED																																																																																																																																																																																																																																																																																																				
CPT	CARPET	PNT	PAINT/PAINTED																																																																																																																																																																																																																																																																																																				
CT	CERAMIC TILE	PVC	POLYVINYL CHLORIDE																																																																																																																																																																																																																																																																																																				
CTR	CENTER	RBR	RUBBER																																																																																																																																																																																																																																																																																																				
CTYD	COURTYARD	RCP	REFLECTED CEILING PLAN																																																																																																																																																																																																																																																																																																				
DBL	DOUBLE	RD	ROOF DRAIN																																																																																																																																																																																																																																																																																																				
DEMO	DEMOLISH	RDWD	REDWOOD																																																																																																																																																																																																																																																																																																				
DET	DETAIL	REQD	REQUIRED																																																																																																																																																																																																																																																																																																				
D.F.	DRINKING FOUNTAIN	RM	ROOM																																																																																																																																																																																																																																																																																																				
DIA	DIAMETER	S.F.	SQUARE FOOT																																																																																																																																																																																																																																																																																																				
DIMS	DIMENSIONS	SIM	SIMILIAR																																																																																																																																																																																																																																																																																																				
DN	DOWN	SPEC	SPECIFIED OR SPECIFICATION																																																																																																																																																																																																																																																																																																				
DR	DOOR	SPK	SPRINKLER																																																																																																																																																																																																																																																																																																				
DWG	DRAWING	SSTL	STAINLESS STEEL																																																																																																																																																																																																																																																																																																				
(E)	EXISTING	STC	SOUND TRANSMISSION COEFFICIENT																																																																																																																																																																																																																																																																																																				
EA	EACH	STD	STANDARD																																																																																																																																																																																																																																																																																																				
EL	ELEVATION	STL	STEEL																																																																																																																																																																																																																																																																																																				
ELEC	ELECTRICAL	STRUCT	STRUCTURAL																																																																																																																																																																																																																																																																																																				
ELEV	ELEVATOR/ELEVATION	SQ.	SQUARE																																																																																																																																																																																																																																																																																																				
EQ	EQUAL	T&G	TONGUE AND GROOVE																																																																																																																																																																																																																																																																																																				
EXT	EXTERIOR	TC	TOP OF CURB																																																																																																																																																																																																																																																																																																				
EXP JT	EXPANSION JOINT	TELE	TELEPHONE																																																																																																																																																																																																																																																																																																				
EXT	EXTERIOR	TLT	TOILET																																																																																																																																																																																																																																																																																																				
F.D.	FLOOR DRAIN	TO	TOP OF																																																																																																																																																																																																																																																																																																				
FEC	FIRE EXTINGUISHER CABINET	TOC	TOP OF CONCRETE																																																																																																																																																																																																																																																																																																				
FIXT	FIXTURE	TOS	TOP OF STEEL																																																																																																																																																																																																																																																																																																				
FLR	FLOOR	TP	TOILET PAPER DISPENSER																																																																																																																																																																																																																																																																																																				
FLUOR	FLUORESCENT	T/D	TELEPHONE/DATA																																																																																																																																																																																																																																																																																																				
FM	FILLED METAL	TST	TOP OF STAIRS																																																																																																																																																																																																																																																																																																				
FND	FOUNDATION	TYP	TYPICAL																																																																																																																																																																																																																																																																																																				
FO	FACE OF	U.N.O.	UNLESS NOTED OTHERWISE																																																																																																																																																																																																																																																																																																				
F.O.F.	FACE OF FININSH	UIS	UNDERSIDE																																																																																																																																																																																																																																																																																																				
FURR	FURRING	V.I.F.	VERIFY IN FIELD																																																																																																																																																																																																																																																																																																				
GA	GAUGE	VP	VISION PANEL																																																																																																																																																																																																																																																																																																				
GALV	GALVANIZED	W	WITH																																																																																																																																																																																																																																																																																																				
G.B.	GRAB BAR	WD	WOOD																																																																																																																																																																																																																																																																																																				
GND	GROUND	W.H.	WATER HEATER																																																																																																																																																																																																																																																																																																				
GRP	GROUP																																																																																																																																																																																																																																																																																																						
GWB	GYPSUM WALL BOARD																																																																																																																																																																																																																																																																																																						
GYP	GYPSUM																																																																																																																																																																																																																																																																																																						
NO.	DATE	DESCRIPTION																																																																																																																																																																																																																																																																																																					
	12/02/2014	REVISION PER COMMENT																																																																																																																																																																																																																																																																																																					
D										D																																																																																																																																																																																																																																																																																													
E										E																																																																																																																																																																																																																																																																																													
F										F																																																																																																																																																																																																																																																																																													
	1	2	3	4	5	6	7	8	9	10																																																																																																																																																																																																																																																																																													



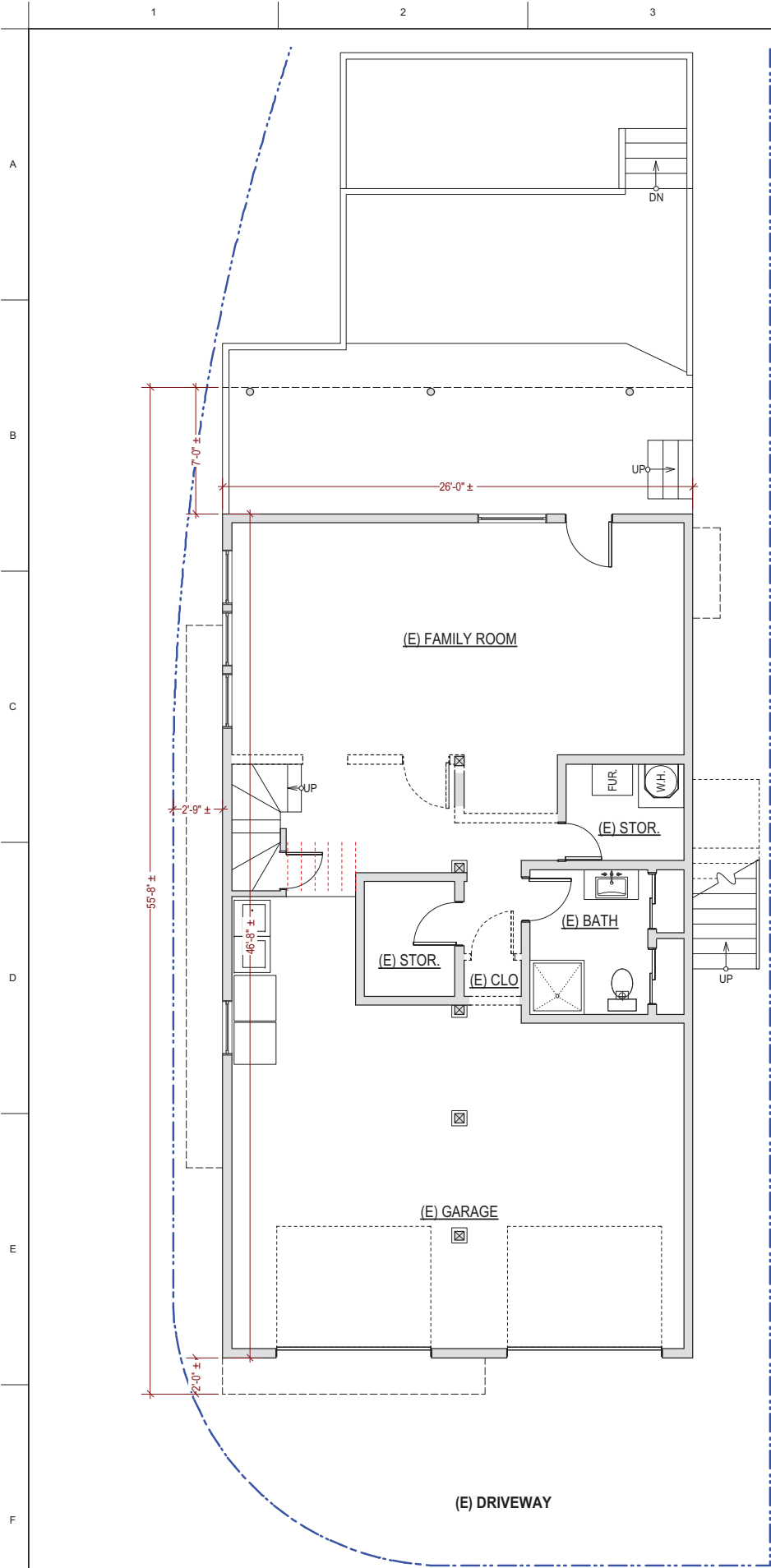
NOTE:
SITE PLAN HAS BEEN PREPARED BY LOCATION OF FENCE & ADJACENT PROPERTIES
& BY NO MEAN SHOWS ACCURATE LOCATION OF THE PROPERTY LINE.
FOR LOCATION OF PROPERTY LINES A LICENSED LAND SURVEYOR SHOULD BE
HIRED.

Site Plan & Notes

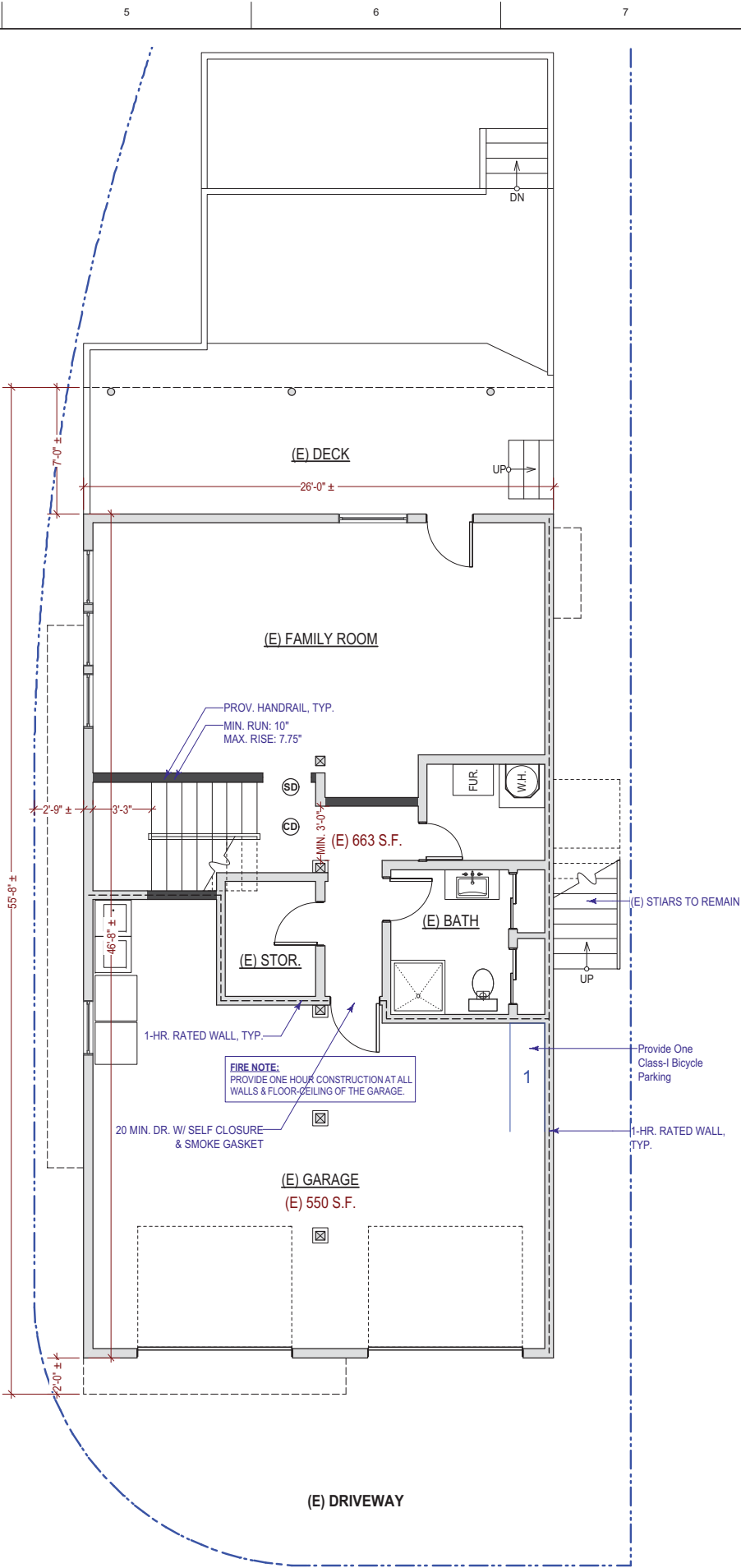
These documents are property of SIA CONSULTING
and are not to be produced changed or copied
without the expressed written consent of SIA
CONSULTING ENGINEERS.

ISSUES / REVISIONS		
NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT
DRAWN		R.L.
CHECKED		R.K.
DATE	09/02/2014	
REVISED DATE	06/18/2015	
JOB NO.	14-1628	
SHEET NO.		

A-1.1



Existing First Floor Plan
1/4" = 1'-0"



Proposed First Floor Plan
1/4" = 1'-0"



CD	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
SD	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
---	(N) WALL TO BE CONSTRUCTED
---	(N) WALL TO BE 1-HR. FIRE RATED

PROJECT NAME

7 Lake Forest Court
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

First Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT

DRAWN

R.L.

CHECKED

R.K.

DATE

09/02/2014

REVISED DATE

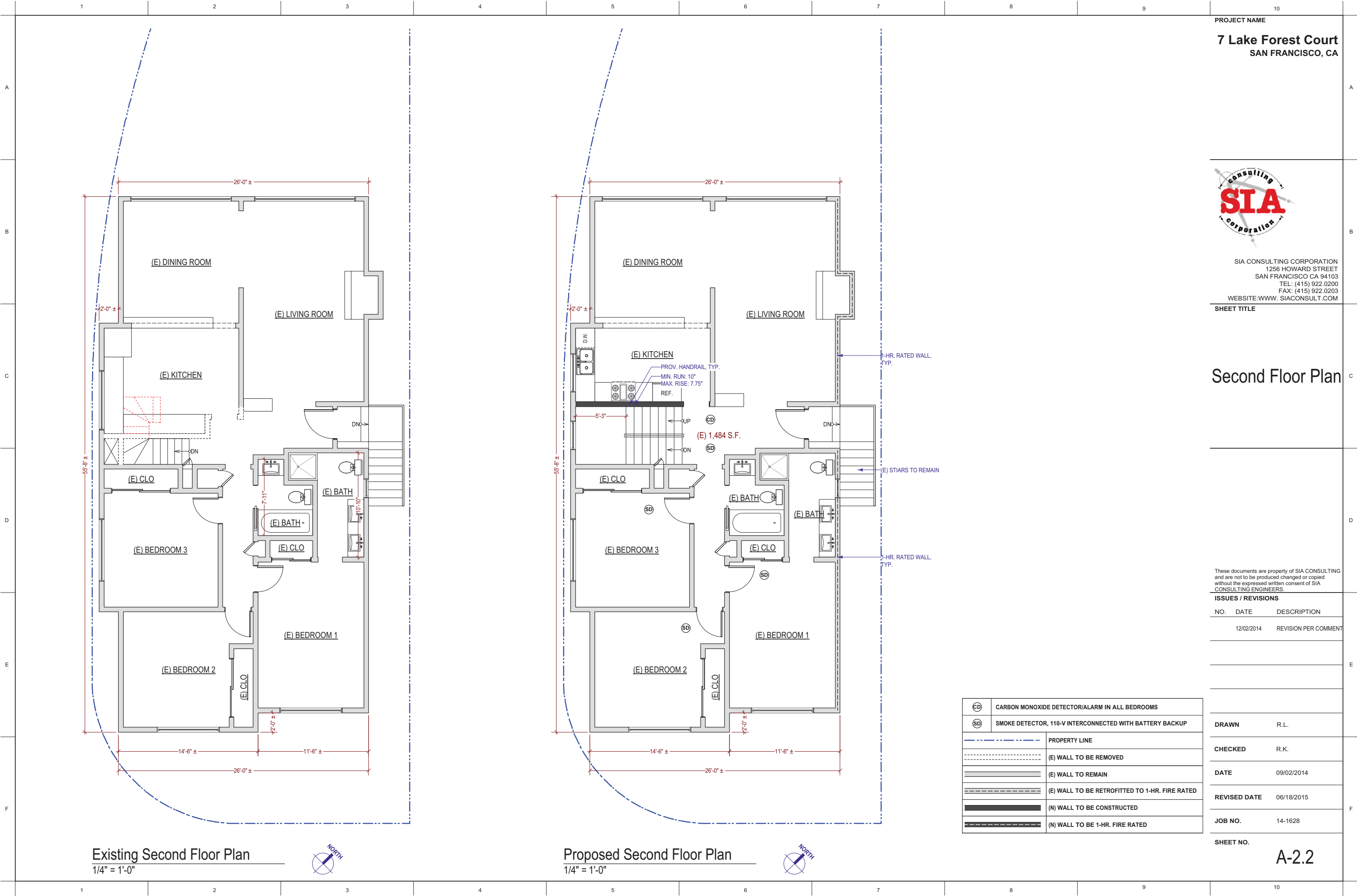
06/18/2015

JOB NO.

14-1628

SHEET NO.

A-2.1



PROJECT NAME
7 Lake Forest Court
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

Second Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT

CD	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
SD	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
---	(N) WALL TO BE CONSTRUCTED
---	(N) WALL TO BE 1-HR. FIRE RATED

DRAWN R.L.

CHECKED R.K.

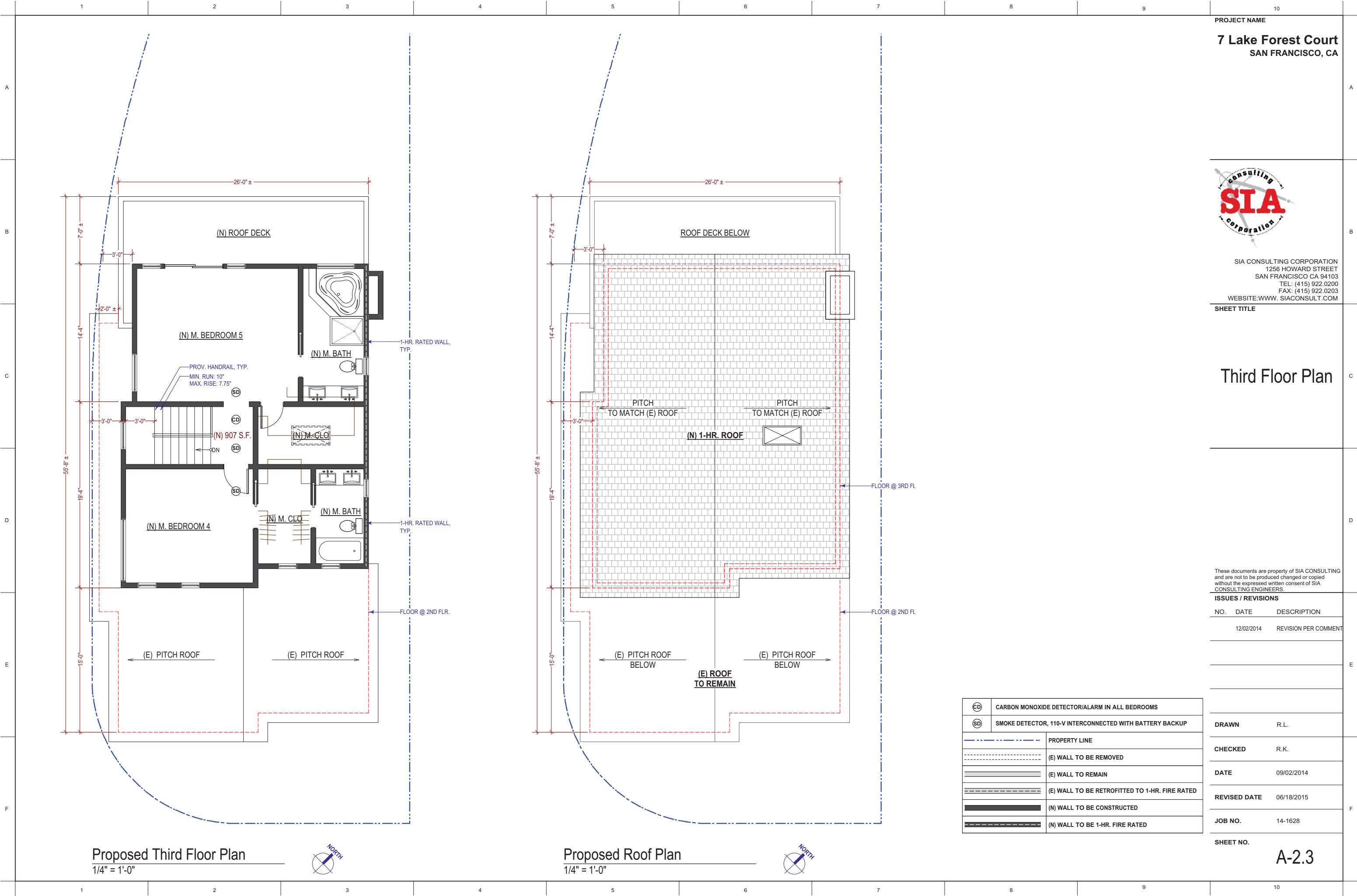
DATE 09/02/2014

REVISED DATE 06/18/2015

JOB NO. 14-1628

SHEET NO.

A-2.2



PROJECT NAME
7 Lake Forest Court
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

Third Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT

CD	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
SD	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
---	(N) WALL TO BE CONSTRUCTED
---	(N) WALL TO BE 1-HR. FIRE RATED

DRAWN R.L.

CHECKED R.K.

DATE 09/02/2014

REVISED DATE 06/18/2015

JOB NO. 14-1628

SHEET NO.

A-2.3



PROJECT NAME
7 Lake Forest Court
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE:WWW.SIACONSULT.COM

SHEET TITLE

Front Elevations
(Southeast)

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT

DRAWN R.L.

CHECKED R.K.

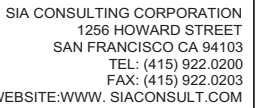
DATE 09/02/2014

REVISED DATE 06/18/2015

JOB NO. 14-1628

SHEET NO.

A-3.1



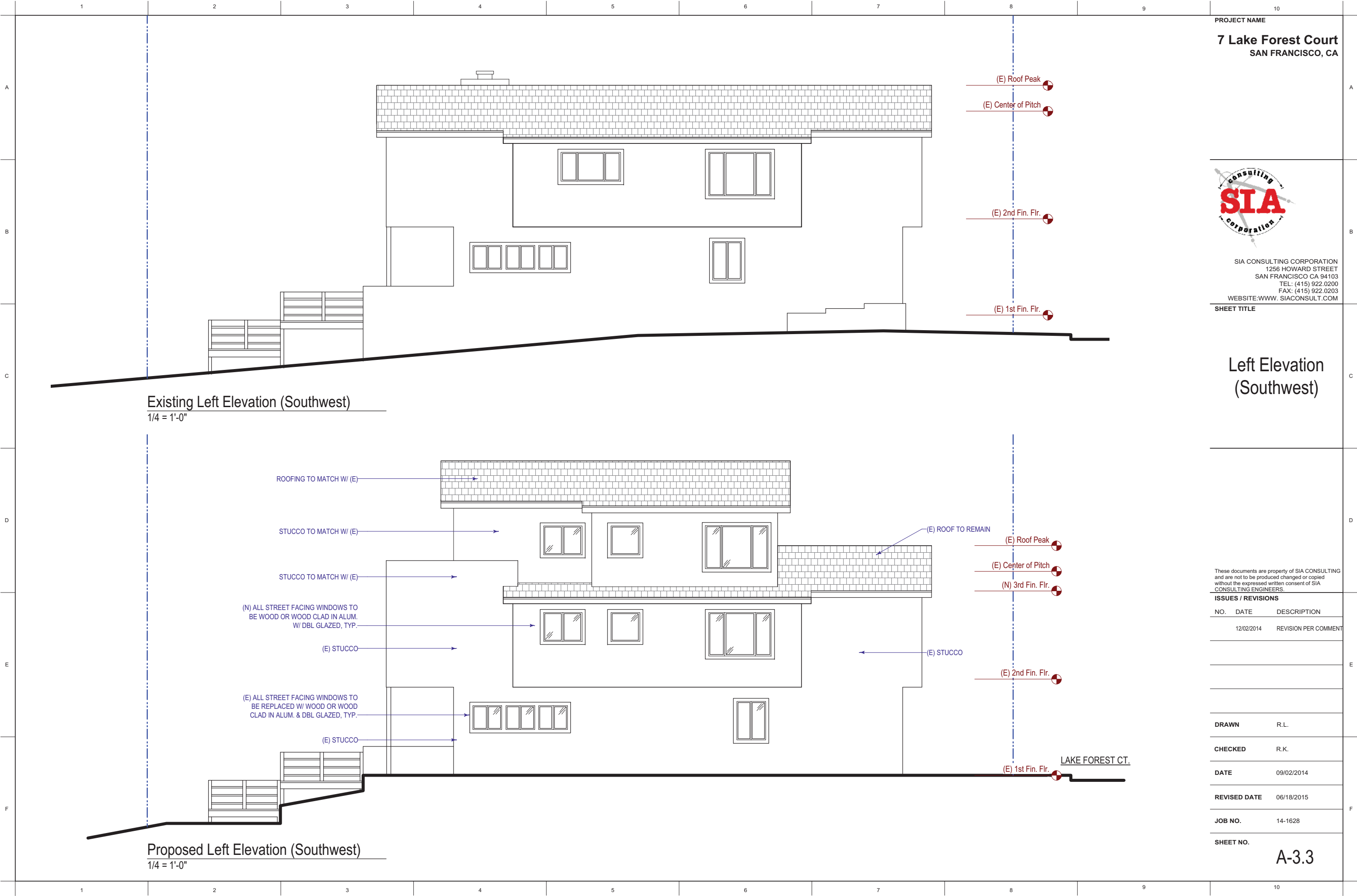
Rear Elevations (Northwest)

$$\frac{1}{4}'' = 1'-0''$$
$$\frac{1}{4"} = 1'-0"$$

(E) 1st Fin. Flr.

OAK PARK DR.

A-3.2



Existing Left Elevation (Southwest)
1/4 = 1'-0"

Proposed Left Elevation (Southwest)
1/4 = 1'-0"

PROJECT NAME
7 Lake Forest Court
SAN FRANCISCO, CA



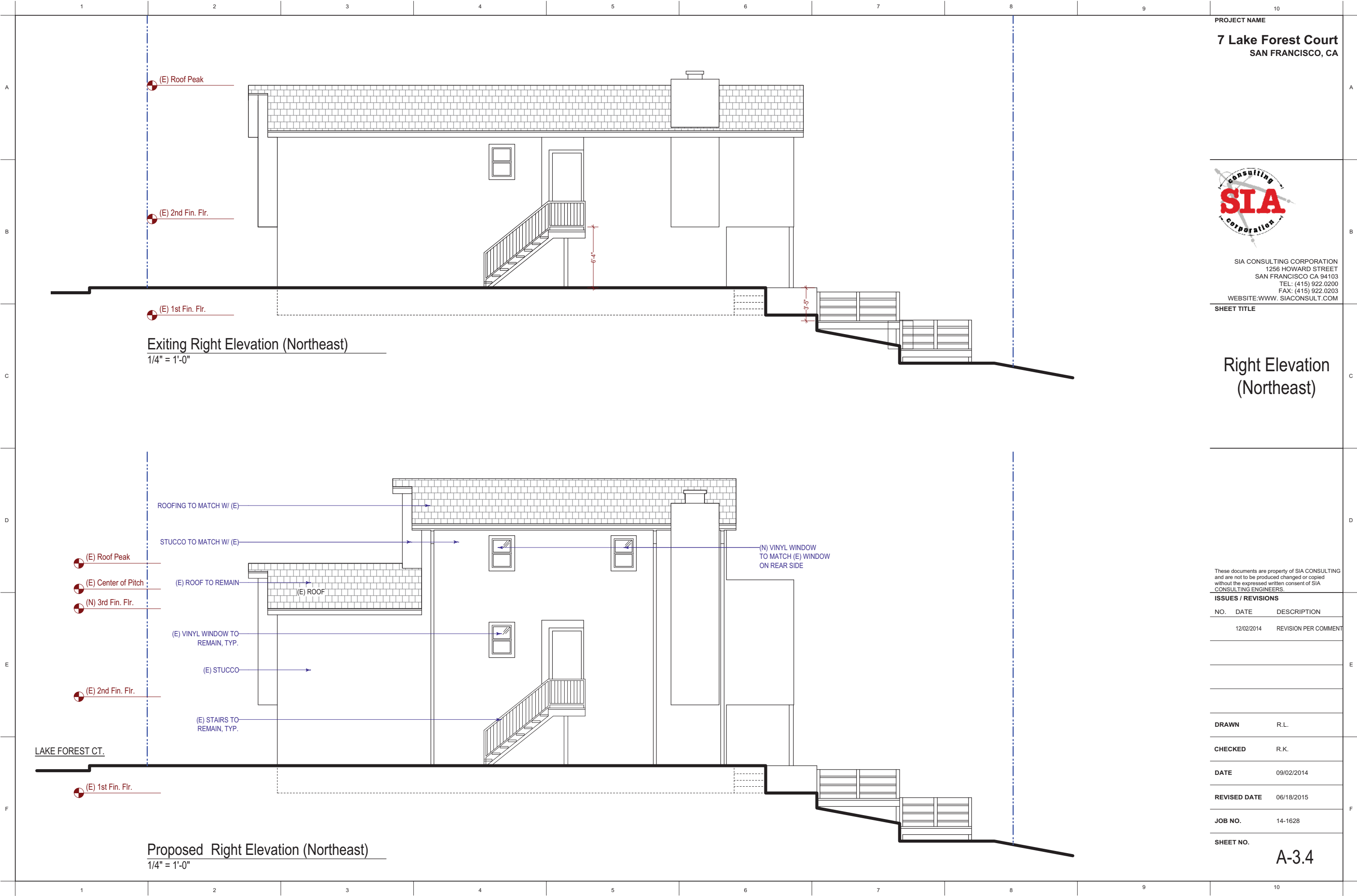
SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

Left Elevation
(Southwest)

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS		
NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT
DRAWN		R.L.
CHECKED		R.K.
DATE		09/02/2014
REVISED DATE		06/18/2015
JOB NO.		14-1628
SHEET NO.		A-3.3



PROJECT NAME
7 Lake Forest Court
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

**Right Elevation
(Northeast)**

These documents are property of SIA CONSULTING
and are not to be produced changed or copied
without the expressed written consent of SIA
CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT

DRAWN R.L.

CHECKED R.K.

DATE 09/02/2014

REVISED DATE 06/18/2015

JOB NO. 14-1628

SHEET NO.

A-3.4



PROJECT NAME
7 Lake Forest Court
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

Building Section

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT

DRAWN R.L.

CHECKED R.K.

DATE 09/02/2014

REVISED DATE 06/18/2015

JOB NO. 14-1628

SHEET NO.

A-4.1

1

2

3

W-1

(E) EXTERIOR WALLS AND EXTERIOR PARTITIONS, WOOD-FRAMED TO BE UPGRADED

1 HOUR FIRE

(E) EXTERIOR FINISH (SIDING)

(E) 2 X STUD

W/ ROCK-WOOL BATTS INSULATION, DENSITY OF 1LB/SF

2-LAYER 5/8" GYPSUM BOARD, TYPE X

W-2

EXTERIOR WALL, WOOD FRAME

GA FILE NO. WP 8105

GENERIC

1 HOUR FIRE

GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS

EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 3/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.

INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)

Thickness: 5/8"

Approx. Weight: 7 psf

Fire Test: See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)

Varies

See WP 3510

UL R3501-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)

W-3

(E) WALLS AND PARTITIONS, WOOD-FRAMED TO BE UPGRADED

1 HOUR FIRE

(E) 2 X STUD

(E) 2 X STUD

2-LAYER 5/8" GYPSUM BOARD, TYPE X

W-4

WALLS AND INTERIOR PARTITIONS, WOOD FRAME

GA FILE NO. WP 3243

GENERIC

1 HOUR FIRE

50 to 54 STC SOUND

GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1 1/4" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space.

OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 1 7/8" long, 0.0915" shank, 1/4" heads, 7" o.c.

Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)

Thickness: 5 3/8"

Approx. Weight: 7 psf

Fire Test: Based on UL R14196, 05NK05371, 2-15-05, UL Design U309

Sound Test: NRCC TL-93-103, IRC-IR-761, 3/98

1

2

3

HANDRAIL DETAIL

N.T.S.

1-1/4" TO 1-1/2"

1-1/2"

HANDRAIL TO BE LOCATED BETWEEN 34" TO 38" FROM THE NOISING OF THE THREADS AND LANDING END SHALL BE RETURNED.

WALL

STAIRS DETAIL

N.T.S.

SEE PLANS

SEE PLANS

16ds @ 12" O.C.

SOLID BLOCKING

(6)16ds INTO END OF HEADER

VARIES

ST24 (TYP.)

HDR. SEE PLAN FOR SIZE

2X STUD FOR OPENING 6'-0" & SMALLER (2)-2X STUD FOR OPENING GREATER THAN 6'-0" (2)-2X STUD MIN. @ SHEAR WALL HOLDOWNS

1

2

3

TYP. HDR. DET. @ EXTERIOR WALL

N.T.S.

4

5

6

C-1

(E) FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5105

PROPRIETARY*

1 HOUR FIRE

55 to 59 STC SOUND

GYPSUM WALLBOARD, RESILIENT CHANNELS, WOOD JOISTS

One layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 60" long with screws at 12" o.c. Resilient channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d common nails. Wood joists supporting 1 1/2" plywood and 1" proprietary sanded gypsum underlayment.

STC rated with 3 1/2" glass fiber insulation in joist spaces and with carpet and pad. **Second layer of 1/2" or 5/8" type X gypsum wallboard required to achieve 1 hour fire resistance rating when glass fiber insulation is used.**

PROPRIETARY GYPSUM BOARD

CertainTeed Gypsum Inc. - 1/2" CertainTeed® Type C Gypsum Board

CertainTeed Gypsum Canada Inc. - 1/2" CertainTeed® Type C Gypsum Board

Georgia Pacific Gypsum LLC - 1/2" ToughRock® Fireguard C® Gypsum Board

Lafarge North America Inc. - 1/2" Firecheck® Type C Gypsum Board

National Gypsum Company - 1/2" Gold Bond® Brand FIRE-SHIELD C™ Gypsum Board

PABCO Gypsum - 1/2" FLAME CURB® Super C™ Gypsum Board

Temple-Inland - 1/2" TG-C

Approx. Ceiling Weight: 2 psf

Fire Test: UL R6352, 4-21-71, UL Design L502

Sound Test: G&H BW-10 MT, 10-13-70 (73 C & P)

IIC & Test: G&H BW-10 MT, 10-13-70

C-2

(N) FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5011

PROPRIETARY*

1 HOUR FIRE

60 to 64 STC SOUND

WOOD I-JOISTS, WOOD STRUCTURAL PANELS, GYPSUM FLOOR TOPPING, RESILIENT CHANNELS, GLASS FIBER BATT OR LOOSE FILL INSULATION, GYPSUM WALLBOARD

Base layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. (16" o.c. when insulation is used) with 1" Type S drywall screws 16" o.c. Gypsum board end joints located midway between continuous channels and attached with screws 8" to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to minimum 10" deep wood I joists spaced a maximum of 19" o.c. with 1 1/4" Type S drywall screws. **Face layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 1 1/8" Type S drywall screws 8" o.c. and 1 1/2" Type G screws 8" o.c. at the butt joints located mid-span between the resilient channels. Glass fiber insulation secured to subfloor or loose fill insulation applied directly over gypsum board. Wood I joists supporting 1 1/2" wood structural panel subfloor applied at right angles to joists with construction adhesive and 6d ring shank nails 12" o.c. Minimum 1/2" proprietary gypsum floor topping applied over subfloor.**

STC rated with I joists spaced 24" o.c., 3 1/2" glass fiber insulation in joist spaces, 3/4" proprietary gypsum floor topping poured over 1/4" proprietary sound reduction mat, and with finish flooring of sheet vinyl, engineered wood laminate, and ceramic tile. (STC 64 when sheet vinyl or engineered wood laminate is applied to floor; STC 66 when tested with ceramic tile applied to floor.)

PROPRIETARY GYPSUM COMPONENTS

United States Gypsum Company - 1/2" SHEETROCK® Brand FIRECODE® C Core Gypsum Panels

LEVELROCK® Brand Floor Underlayment

Approx. Ceiling Weight: 3 psf

Fire Test: UL R1319, 05NK04589, 2-4-05; UL R1319, 05NK09496, 3-31-05; UL Design L570

Sound Test: RAL OT03-05, 4-22-03; RAL OT03-07, 4-29-03; RAL OT03-09, 6-18-03 (58 sheet vinyl); RAL OT03-06, 4-22-03; (62 engineered wood laminate) RAL OT03-08, 4-29-03; (54 ceramic tile) RAL OT03-10, 6-18-03

IIC & Test:

C-3

ROOF-CEILING, WOOD FRAME

GA FILE NO. RC 2601

GENERIC

1 HOUR FIRE

GYPSUM WALLBOARD, WOOD JOISTS, ROOF COVERING

Base layer 5/8" type X gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1 1/4" Type W or S drywall screws 24" o.c. **Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to joists with 1 7/8" Type W or S drywall screws 12" o.c. at joints and intermediate joists and 1 1/2" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting 1/2" plywood with exterior glue applied at right angles to joists with 8d nails. Appropriate roof covering. **Ceiling provides one hour fire resistance protection for framing, including trusses.****

Approx. Ceiling Weight: 5 psf

Fire Test: FM FC 172, 2-25-72; ITS, 8-6-98

MIN. 20"

MIN. 20"

MIN. 20"

MIN. 24"

MIN. 24"

MIN. 24"

MAX. 44"

FINISH FLOOR

BEDROOM EGRESS WINDOW DETAIL

N.T.S.

7

8

9

10

PROJECT NAME

7 Lake Forest Court

SAN FRANCISCO, CA

SEALANT

15 ga. ROLL-FORMED ALUMINUM FRAME WITH KYNAR 500 FINISH

INSULATE GLASS PANE WITH LOW-E COATING

STAINLESS STEEL WOOD SCREWS

3/8"

THERMAL BREAK GASKET WITH INTEGRAL CONDENSATION GUTTER AND CONDENSATE WEEP HOLES AT CORNERS

UNDERLAYMENT BY OTHERS

VELUX ECL FLASHING

SHINGLE BY OTHERS

DRYWALL BY OTHERS

1-1/2" WOOD CURB

2"x4" MINIMUM BY OTHERS

A

SKYLIGHT WIDTH

FRAME APERTURE WIDTH (INSIDE CURB)

FRAME WIDTH (OUTSIDE CURB)

THROAT WIDTH

A

Crossfield Products Corp.

Dex-O-Tex flashing (terminates in reglet or counter-flashing)

Dex-O-Tex Rubber-Cement Traffic Surface

Dex-O-Tex Slip Sheet

Dex-O-Tex Waterproof Latex Membrane (fabric-reinforced)

Substrate (concrete, concrete topping over insulation, plywood, or Dex-O-Tex underlayment)

TYPICAL SKYLIGHT DETAILS

N.T.S.

ROOF SHEATHING

CARRYING ROOFING OVER FLASHING RING, TYP.

3" CANT.

2X3 & 2X4 DRAIN SUPPORTS AS REQUIRED

ROOF DRAIN WITH DOME STRAINER

PROVIDE SUMP RECEIVER PLATE (FLASHING RING FROM 24 GA. G.I.)

UNDER DECK CLAMP

ROOF DRAIN PIPE

OVERFLOW DRAIN W/ DOME STRAINER

2"

ROOF & OVER FLOW DRAIN

N.T.S.

General Notes & Typical Details

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT

DRAWN

R.L.

CHECKED

R.K.

DATE

09/02/2014

REVISED DATE

06/18/2015

JOB NO.

14-1628

SHEET NO.

A-4.2

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name	Block/Lot	Address
7 Lake Forest Ct	2675 / 028	7 Lake Forest Ct
Gross Building Area	Primary Occupancy	Design Professional/Applicant: Sign & Date
3,524 S.F. +/-	R-3	Bahman Ghassemzadeh
# of Dwelling Units	Height to highest occupied floor	Number of occupied floors
1	32'-9" +/-	3

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management – Divert at least 65% of construction and demolition debris by complying with the San Francisco Construction & Demolition Debris Ordinance)	●

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

- 1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 75 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.
- 3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. Attachment C3, C4, or C5 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used .

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

LEED PROJECTS						
	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration
Type of Project Proposed (Indicate at right)						
Overall Requirements:						
LEED certification level (includes prerequisites):	SILVER	SILVER	SILVER	SILVER	SILVER	SILVER
Base number of required points:	50	2	50	50	50	50
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Recycling by Occupants: Provide space for storage, collection, and loading of compost, recycling, and trash. Exceeds requirements of LEED MR prerequisite 1. See Administrative Bulletin 088 for details.	●	●	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSC4.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155		●	n/r	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	See CBC 1207		●	n/r	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. ³	Other New Non-Residential	Addition >2,000 sq ft OR Alteration >\$500,000 ³
Type of Project Proposed (Check box if applicable)		
Recycling by Occupants: Provide space for storage, collection, and loading of recycling, compost and trash. (13C.5.410.1, et al) - See Administrative Bulletin 088 for details.	●	●
Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)	●	n/r
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSC4.2). (13C.5.106.4)	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C.5.106.5)	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	●
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.303.2)	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 square feet, testing and adjusting of systems is required. (13C.5.504.3)	●	● (Testing & Balancing)
Protect duct openings and mechanical equipment during construction (13C.5.504.3)	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label, AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	●	●
Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	●	Limited exceptions. See CA T24 Part 11 Section 5.714.8
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	● See CA T24 Part 11 Section 5.714.7
CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris (i.e. 10% more than required by the San Francisco Construction & Demolition Debris Ordinance)	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).	●	n/r

PROJECT NAME

7 Lake Forest Court
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 922.0200
FAX: (415) 922.0203
WEBSITE: WWW.SIACONSULT.COM

SHEET TITLE

Green Building Site Permit Checklist

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
	12/02/2014	REVISION PER COMMENT

DRAWN R.L.

CHECKED R.K.

DATE 09/02/2014

REVISED DATE 06/18/2015

JOB NO. 14-1628

SHEET NO.

G-0.1

From: [david.gendreau](#)
To: [Perry, Andrew \(CPC\)](#)
Cc: [Andrew Solow \(Gladding & Michel\)](#)
Subject: Proposed Construction at 7 Lake Forest Court
Date: Wednesday, April 08, 2015 8:43:18 PM

Mr Perry: This is to confirm a telephone conversation we had on April 3, 2015 in which I stated my objection to project #: 2007.11.05.7258 dated 3/10/2015 for construction at 7 Lake Forest Court. I object on the grounds that construction of a third floor addition would change the character of the neighborhood and set a precedent for other construction in the area.

I have spoken to other neighbors who also object to this proposed construction. This includes an objection by one property owner living within 150 feet of this property who was not issued with a notice. I have received signatures of other neighboring property owners who also object to this project. As you advised, I will submit these to you in writing within 10-14 days of the hearing so that they can be included in the Case Report.

Thank you for your attention in this matter.

David Gendreau
41 Lake Forest Court

April 3, 2015

Mr Andrew Perry
1650 Mission Street
San Francisco, CA

Dear Mr Perry:

This letter is to inform you that we, the undersigned, object to the proposed construction of a third story structure at 7 Lake Forest Court. There are no other houses with three stories on Lake Forest Court, adjacent Oak Park Drive and nearby Devonshire Way and Christopher Street.

Such a construction would dramatically change the character of this residential Forest Knolls Neighborhood. This would also serve as a precedent for other third story construction in this neighborhood. This would then lead to increased traffic congestion in the area.

Please contact me if you have any additional questions.

Sincerely,



David Gendreau

41 Lake Forest Court



Judy Ko & Charles Hodgins - 29 Lake Forest Ct

From: [Chip Hudgins](#)
To: [Perry, Andrew \(CPC\)](#)
Subject: Building Permit at 7 Lake Forest Court (2007.11.05.7258)
Date: Tuesday, March 24, 2015 3:35:24 PM

Hello Mr Perry,

I wanted to send you an email to express my concerns about the building permit application for a third level at the address of 7 Lake Forest Court.

There are currently no 3 story buildings on the block or in the neighborhood near to 7 Lake Forest Court. Such a change would dramatically change the character of the neighborhood. I feel such a change if approved would also set a precedence for many more third story additions in the neighbor, benefiting those who can afford such a change and penalizing those who cannot.

The addition of a third story at 7 Lake Forest Court will block all natural light to the home(s) next to the higher expansion. I feel this would also reduce the privacy of home(s) next to that dwelling as the third story height would expose the upper bedroom windows of the lower houses.

When the homes in Forest Knolls were built, all home owners abided by the 'Declaration of Restrictions' set forth by the original owners of the land, Joseph and Clara Stadler. These restrictions prevented the building of any structures on the roof of homes to preserve the equity and beauty of the neighborhood. While the time limit on this document of restrictions has expired, I would hope the spirit of the neighborhood would remain.

And lastly, despite concerns expressed by neighbors, there has been no attempt to reach out to those that would be impacted by the owners of 7 Lake Forest Court.

I did contact Mr Aidin Massoudi (as per the applicant on the application) but found he was only a lawyer hired by the owner and could not provide any relevant information about this project. This was most concerning.

I appreciate your time in listening to my concerns and how it will impact my family's home, street and neighborhood. It is my understanding that there will be a hearing which I also plan to attend.

Regards,
Charles Hudgins
chudgins@gmail.com
29 Lake Forest Court, SF CA 94131
415-335-9560

April 3, 2015

Mr Andrew Perry

1650 Mission Street

San Francisco, CA

Dear Mr Perry:

This letter is to inform you that we, the undersigned, object to the proposed construction of a third story structure at 7 Lake Forest Court. There are no other houses with three stories on Lake Forest Court, adjacent Oak Park Drive and nearby Devonshire Way and Christopher Street.

Such a construction would dramatically change the character of this residential Forest Knolls Neighborhood. This would also serve as a precedent for other third story construction in this neighborhood. This would then lead to increased traffic congestion in the area.

Please contact me if you have any additional questions.

Sincerely,



David Gendreau

41 Lake Forest Court



DANIEL SCHULTZ

89 LAKE FOREST CT.

From: [daniel.schultz](#)
To: [Perry, Andrew \(CPC\)](#)
Subject: Project #: 2007.11.05.7258 - 7 Lake Forest Ct. - third story vertical addition - OPPOSED!!!
Date: Wednesday, April 08, 2015 9:37:45 PM

Dear Mr. Perry,

I am writing in opposition to the proposed 3rd story addition at 7 Lake Forest. I never received notice of this project.

The proposed undertaking is totally out of character with the existing neighborhood which is two story detached homes less than 25 feet in height. I therefore request discretionary review of this project.

Approval of this out of scale project would set a precedent under which every house in the neighborhood will almost certainly be converted to a 3 story dwelling. This would fundamentally alter the character of this neighborhood by radically increasing the population density, promoting the creation of illegal dwelling units in an RH1 zoning district, and dramatically reducing the available street parking. That is why discretionary review of this out of scale project is critically important.

Yours truly,
Daniel Schultz

--

Daniel Schultz
89 Lake Forest Court
San Francisco, CA 94131
415.676.7055 (mobile)
415.681.1334 (fax)

April 3, 2015

Mr Andrew Perry
1650 Mission Street
San Francisco, CA

Dear Mr Perry:

This letter is to inform you that we, the undersigned, object to the proposed construction of a third story structure at 7 Lake Forest Court. There are no other houses with three stories on Lake Forest Court, adjacent Oak Park Drive and nearby Devonshire Way and Christopher Street.

Such a construction would dramatically change the character of this residential Forest Knolls Neighborhood. This would also serve as a precedent for other third story construction in this neighborhood. This would then lead to increased traffic congestion in the area.

Please contact me if you have any additional questions.

Sincerely,



David Gendreau

41 Lake Forest Court



PATRICK YI

421 OAK PARK DRIVE

From: [Patrick Y](#)
To: [Perry, Andrew \(CPC\)](#)
Subject: Notice of Building Permit Application for 7 Lake Forest Court
Date: Tuesday, March 24, 2015 11:18:01 AM

Hi Andrew,

I hope all is well.

This is a follow up to my voice mail this morning re: Notice of Building Permit Application for 7 Lake Forest Court to add a vertical addition.

As I stated on the VM, I am opposed to the vertical addition and would like to block this effort.

Thank you.

Regards,

Patrick Yi

421 Oak Park Drive

San Francisco, CA

650-787-9761

April 3, 2015

Mr Andrew Perry
1650 Mission Street
San Francisco, CA

Dear Mr Perry:

This letter is to inform you that we, the undersigned, object to the proposed construction of a third story structure at 7 Lake Forest Court. There are no other houses with three stories on Lake Forest Court, adjacent Oak Park Drive and nearby Devonshire Way and Christopher Street.

Such a construction would dramatically change the character of this residential Forest Knolls Neighborhood. This would also serve as a precedent for other third story construction in this neighborhood. This would then lead to increased traffic congestion in the area.

Please contact me if you have any additional questions.

Sincerely,



David Gendreau

41 Lake Forest Court

Grace Dito
2 Lake Forest Ct

GRACE DITO

April 3, 2015

Mr Andrew Perry
1650 Mission Street
San Francisco, CA

Dear Mr Perry:

This letter is to inform you that we, the undersigned, object to the proposed construction of a third story structure at 7 Lake Forest Court. There are no other houses with three stories on Lake Forest Court, adjacent Oak Park Drive and nearby Devonshire Way and Christopher Street.

Such a construction would dramatically change the character of this residential Forest Knolls Neighborhood. This would also serve as a precedent for other third story construction in this neighborhood. This would then lead to increased traffic congestion in the area.

Please contact me if you have any additional questions.

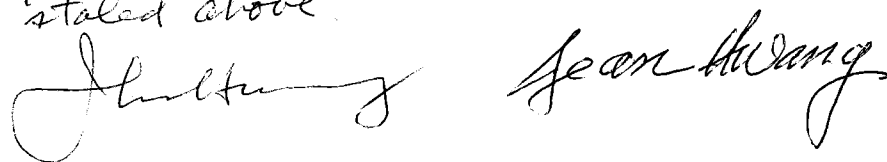
Sincerely,



David Gendreau

41 Lake Forest Court

The undersigned, co-owner of 26 Lake Forest Court
herby object to the proposed construction of a third
floor story structure at 7 Lake Forest Court for the
reasons stated above.



April 3, 2015

Mr Andrew Perry
1650 Mission Street
San Francisco, CA

Dear Mr Perry:

This letter is to inform you that we, the undersigned, object to the proposed construction of a third story structure at 7 Lake Forest Court. There are no other houses with three stories on Lake Forest Court, adjacent Oak Park Drive and nearby Devonshire Way and Christopher Street.

Such a construction would dramatically change the character of this residential Forest Knolls Neighborhood. This would also serve as a precedent for other third story construction in this neighborhood. This would then lead to increased traffic congestion in the area.

Please contact me if you have any additional questions.

Sincerely,



David Gendreau

41 Lake Forest Court

Penny Hughes
PENNY HUGHES
57 Lake Forest Ct.

April 3, 2015

Mr Andrew Perry
1650 Mission Street
San Francisco, CA

Dear Mr Perry:

This letter is to inform you that we, the undersigned, object to the proposed construction of a third story structure at 7 Lake Forest Court. There are no other houses with three stories on Lake Forest Court, adjacent Oak Park Drive and nearby Devonshire Way and Christopher Street.

Such a construction would dramatically change the character of this residential Forest Knolls Neighborhood. This would also serve as a precedent for other third story construction in this neighborhood. This would then lead to increased traffic congestion in the area.

Please contact me if you have any additional questions.

Sincerely,



David Gendreau

41 Lake Forest Court

Robert Karoukian

40 LAKE FOREST Ct.

San Francisco Planning Department
Re: 7 Lake Forest Ct.
Block/Lot No: 2675/028

Dear Planning Department:

The addition of a third story to 7 Lake Forest Ct. will have a negative impact on the neighborhood of mostly two-story homes. This single family residence has already been enlarged. A rear addition was added some years ago, so this home has a larger footprint than most of the other homes in Forest Knolls.

Adding a third story will make this home larger than the few three story homes in the development.

The reasons to deny a permit are:

1. Negative visual impact – we own 425 Oak Park Drive, directly across the street from 7 Lake Forest Ct.. I will no longer be able to see the sky or the Mt. Sutro tree line. Light into my home in this northerly direction will be diminished as well.

2. Increased traffic and parking issues. The probability of increased residents to the home will require street parking. This will severely impact the safety of Oak Park Drive from Devonshire to Lake Forest Ct.

a. Emergency vehicles as well as waste disposal trucks will not be able to turn onto Oak Park Drive from Devonshire. There can be cars parked along the north side of Oak Park Drive as well as the south side, creating a narrow, one lane road.

b. With cars parked as noted above, the intersection at Devonshire and Oak Park Drive becomes unsafe due to decreased visibility in spite of the stop sign.

3. The imposing footprint of the proposed third story is definitely out of character for the neighborhood considering this house already has an enlarged footprint.

4. Due to the above issues, this addition will decrease the property values of the surrounding homes including ours. If 7 Lake Forest is allowed to increase their footprint a precedent has been set for other homeowners to do the same.

Please consider the fact that this house has already been enlarged and any larger, more imposing structure will not improve the neighborhood, but seriously detract from the overall character of Forest Knolls and create visual and safety issues.

Please let me know when the hearing for 7 Lake Forest Ct. will take place.

Thank you for your consideration.

Lynda Oneto and Janice Oneto

Lynda Oneto
PO Box 2116
Boyes Hot Springs, CA 95416

707-539-3192

From: [Peter Wohlers](#)
To: [Perry, Andrew \(CPC\)](#)
Cc: [Pam Marks](#)
Subject: Building Permit Application No. 2007.11.05.7258
Date: Wednesday, April 01, 2015 9:52:04 PM

Mr. Perry-

I live at 100 Devonshire Way, at the property below 7 Lake Forest Court, the subject of the building permit # 2007.11.05.7258.

I would like to say that I plan on calling the applicant, but it seems like there are some legitimate concerns with this project:

1) the addition will change the character of the neighborhood. There is/was a deed restriction of 25 ft vertical height to the neighborhood, which dictated the look/feel of the neighborhood. Whether the deed restriction is still valid does not change that.

2) Our house is below the subject property. By 'below', I mean that we are downhill and the additional vertical addition would cause our property to be cast in shadow for a portion of the day, reducing our ability to garden, add solar to our house and generally, enjoy our yard.

3) We are concerned by the height in that it will reduce privacy in that it will allow the residents to violate our privacy, both inside our house as well as our yard.

4) Permitting this verbal addition will set a precedent for the rest of the houses on the block, casting our house in a permanent shadow throughout most of the day if they follow suit.

We plan on contacting Mr. Massoudi (applicant) directly, but want to see if there is anything else that can be done on our part to stop this project.

Peter Wohlers
pedro@whack.org

From: [Andrew Solow \(Comcast Alt Email\)](#)
To: [Perry, Andrew \(CPC\)](#)
Subject: Project #: 2007.11.05.7258 - 7 Lake Forest Ct. - CA Public Records Act Request - Mailing list for notice of project dated 3/10/2015
Date: Wednesday, April 08, 2015 10:50:49 PM

San Francisco Planning Dept.
1660 Mission St.
San Francisco, CA 94103

Attention: Andrew Perry, Planner – 415-575-9017

Hello Mr. Perry,

Pursuant to the public disclosure requirements of the CA Public Records Act and the San Francisco Sunshine Ordinance, I hereby request an electronic copy of the mailing list to which the notice of Project #: 2007.11.05.7258, dated 3/10/2015 (regarding 7 Lake Forest Ct.) was mailed. Please Email it to me at your earliest convenience.

On information and belief, the subject notice is defective on its face because it was not timely mailed to ALL property owners within 150 feet of the proposed undertaking at 7 Lake Forest Ct., San Francisco, CA.

I further contend that the proposed undertaking will change the zoning of the entire area to 2 dwelling units de facto within 300 feet of the proposed 3rd floor addition at 7 Lake Forest.

In consideration of the defective notice and the de facto zoning change, I demand that a new notice be mailed to ALL affected properties within 300 feet of 7 Lake Forest Ct.

Your immediate response would be greatly appreciated.

Yours truly,

Andrew Solow
58 Lake Forest Ct.
San Francisco, CA 94131-1025
Cell 415-722-3047

From: Andrew Solow (Comcast Alt Email) [mailto:andrewsolow08@comcast.net]
Sent: Wednesday, April 08, 2015 7:41 PM
To: 'andrew.perry@sfgov.org'
Subject: Project #: 2007.11.05.7258 - 7 Lake Forest Ct. - third story vertical addition - OPPOSED!!! - DEMAND FOR DISCRETIONARY REVIEW - DEFECTIVE NOTICE

San Francisco Planning Dept.
1660 Mission St.
San Francisco, CA 94103

Attention: Andrew Perry, Planner – 415-575-9017

Dear Mr. Perry,

I am writing in opposition to the proposed 3rd story addition at 7 Lake Forest Ct.

- 1) **DEFECTIVE NOTICE:** The Notice for project #: 2007.11.05.7258 dated 3/10/2015 is defective on its face because my primary residence at 58 Lake Forest Ct. is only 118 feet from 7 Lake Forest Ct., considerably less than the 150 foot radius specified on the notice. **I therefore DEMAND that this project be re-noticed to all property owners within at least 300 feet.**
- 2) **OUT OF CHARACTER WITH EXISTING NEIGHBORHOOD:** The proposed undertaking is totally out of character with the existing neighborhood which is two story detached homes less than 25 feet in height. I therefore request discretionary review of this project.
- 3) **DEMAND FOR DISCRETIONARY REVIEW:** Approval of this out of scale project would set a precedent under which every house in the neighborhood will almost certainly be converted to a 3 story dwelling. This would fundamentally alter the character of this neighborhood by radically increasing the population density, promoting the creation of illegal dwelling units in an RH1 zoning district, and dramatically reducing the available street parking. That is why discretionary review of this out of scale project is critically important.

Yours truly,

Andrew Solow
58 Lake Forest Ct.
San Francisco, CA 94131-1025
Cell 415-722-3047

From: [Billy Shen](#)
To: [Perry, Andrew \(CPC\)](#)
Cc: andrewsolow08@comcast.net; [Dan Schultz](#)
Subject: Project #: 2007.11.05.7258 - 7 Lake Forest Ct. - third story vertical addition - OPPOSED!!! - DEMAND FOR DISCRETIONARY REVIEW - DEFECTIVE NOTICE
Date: Thursday, April 09, 2015 10:44:44 AM

San Francisco Planning Dept.

[1660 Mission St.](#)

[San Francisco, CA 94103](#)

Opposed

Attention: Andrew Perry, Planner – [415-575-9017](tel:415-575-9017)

Dear Mr. Perry,

I am writing in opposition to the proposed 3rd story addition at [7 Lake Forest Ct.](#)

1) **DEFECTIVE NOTICE:** The Notice for project #: 2007.11.05.7258 dated 3/10/2015 is defective on its face because my primary residence at [58 Lake Forest Ct.](#) is only 118 feet from 7 Lake Forest Ct., considerably less than the 150 foot radius specified on the notice. **I therefore DEMAND that this project be re-noticed to all property owners within at least 300 feet.**

2) **OUT OF CHARACTER WITH EXISTING NEIGHBORHOOD:** The proposed undertaking is totally out of character with the existing neighborhood which is two story detached homes less than 25 feet in height. I therefore request discretionary review of this project.

3) **DEMAND FOR DISCRETIONARY REVIEW:** Approval of this out of scale project would set a precedent under which every house in the neighborhood will almost certainly be converted to a 3 story dwelling. This would fundamentally alter the character of this neighborhood by radically increasing the population density, promoting the creation of illegal dwelling units in an RH1 zoning district, and dramatically reducing the available street parking. That is why discretionary review of this out of scale project is critically important.

Thank you.
Billy

Billy Shen
Billy Shen Art Direction
415.731.6096
